

OF
URBAN AND RURAL PROPERTIES
SUBDIVISIONS - TOPOGRAPHIES
RIGHT-OF-WAYS - MORTGAGES
LAND TITLES - CONDOMINIUMS

Plat of Survey

By
ROBINSON ENGINEERING, LTD.
Registered Professional Engineers
& Land Surveyors

367 EAST 170TH STREET
SOUTH HOLLAND, ILLINOIS 60473-0386
312-331-6700
CHICAGO 312-468-1955
FAX 312-331-3826

LOT 10 IN BLUFF TRAILS SUBDIVISION PHASE 2, BEING A
SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION
23, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD
PRINCIPAL MERIDIAN IN WILL COUNTY, ILLINOIS AS PER
PLAT THEREOF RECORDED JUNE 21, 1988 AS DOCUMENT
#R88 - 26870.

STATE OF ILLINOIS)

) SS

COUNTY OF COOK)

TO: ILRECO, L.L.C.
CHICAGO TITLE INSURANCE COMPANY.
INTERNATIONAL CORPORATE REALTY & DEVELOPMENT, INC.
AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO
AS TRUSTEE UNDER TRUST AGREEMENT DATED JULY 7, 1998,
AND KNOWN AS TRUST NO. 105903-05.
JEFFERSON BANK & TRUST COMPANY

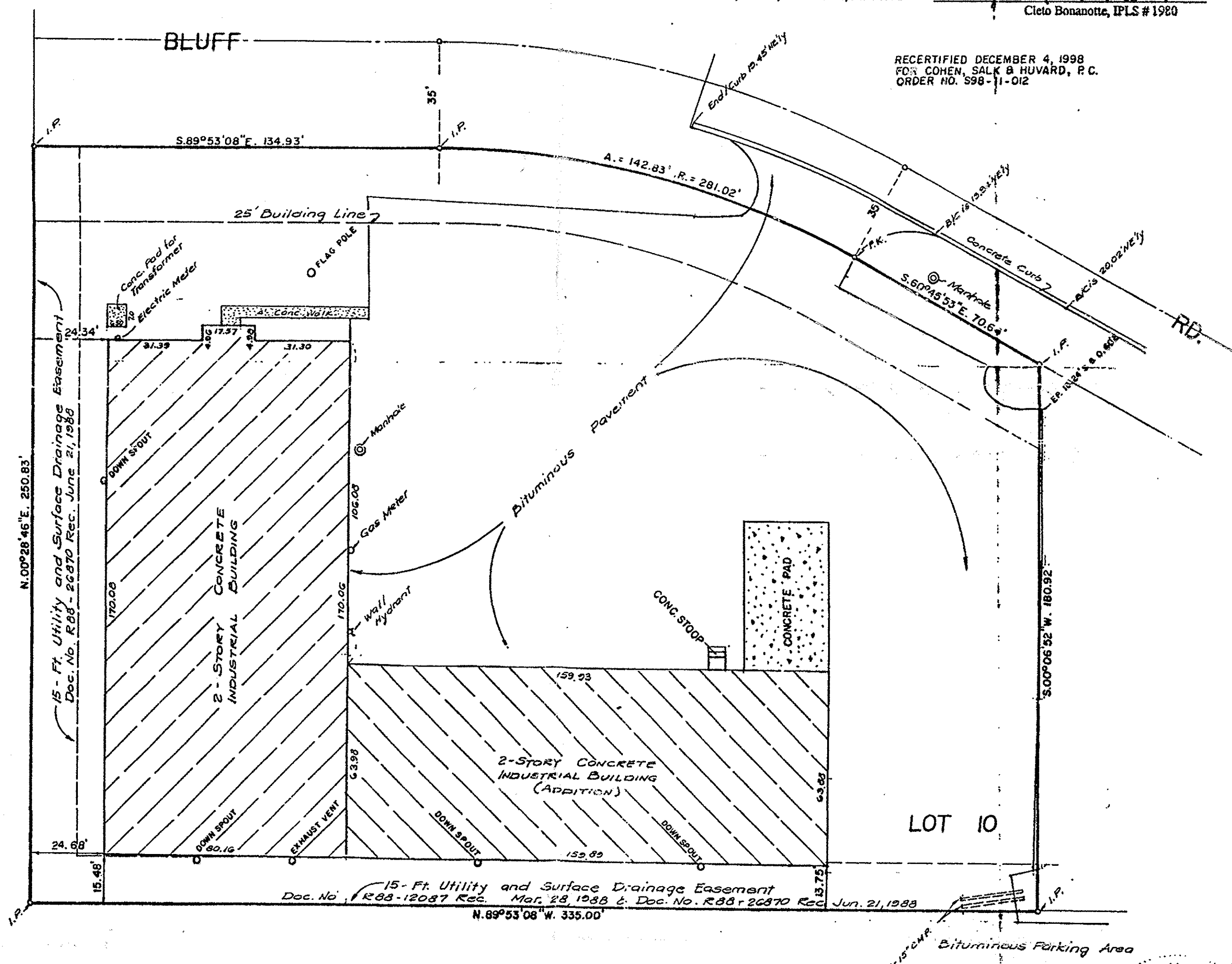
This is to certify that this plat of survey was made in accordance with "Minimum Standard Detail Requirements for
ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and ACSM in 1992, and meets the accuracy
requirements of an Urban Survey as defined therein.

South Holland, Illinois, December 4, A.D. 1998

Cleto Bonanotte, ILS #1980

Note:
No portion of the subject property appears to be located within the
100-year flood boundary as shown on the Flood Insurance Rate Map
(FIRM), No. 170695-0080-8 panel 80 of 350, effective April 15, 1982
prepared for the County of Will, Illinois unincorporated areas by
Federal Insurance Administration, Federal Emergency Management
Agency.

RECEIVED DECEMBER 4, 1998
FOR COHEN, SALK & HUWARD, P.C.
ORDER NO. '98-11-012



UPDATED MARCH 29, 1991
FOR METROPOLITAN PUMP COMPANY
ORDER NO. 91-3-14

AREA: 78,996 SQ. FT. OR 1.813 ACRES

ZONING: M-R : MANUFACTURING/RESEARCH

ADDRESS OF PROPERTY
1400 BLUFF ROAD
ROMEOLVILLE, IL. 60439

For: MAGG ENTERPRISES, INC.
Scale: 1" = 30'
Order No. 88-5-8

Resurveyed to locate buildings:

Date: JANUARY 27, 1989
Ordered by: METROPOLITAN PUMP CO.
Order No. 89-1-19

DECIMAL EQUIVALENTS

1/8" = 0.01	1" = 0.08	3" = 0.67
1/4" = 0.02	2" = 0.17	4" = 0.75
3/8" = 0.03	3" = 0.25	10" = 0.83
1/2" = 0.04	4" = 0.35	11" = 0.92
5/8" = 0.05	5" = 0.42	12" = 1.00
3/4" = 0.06	6" = 0.50	
7/8" = 0.07	7" = 0.58	

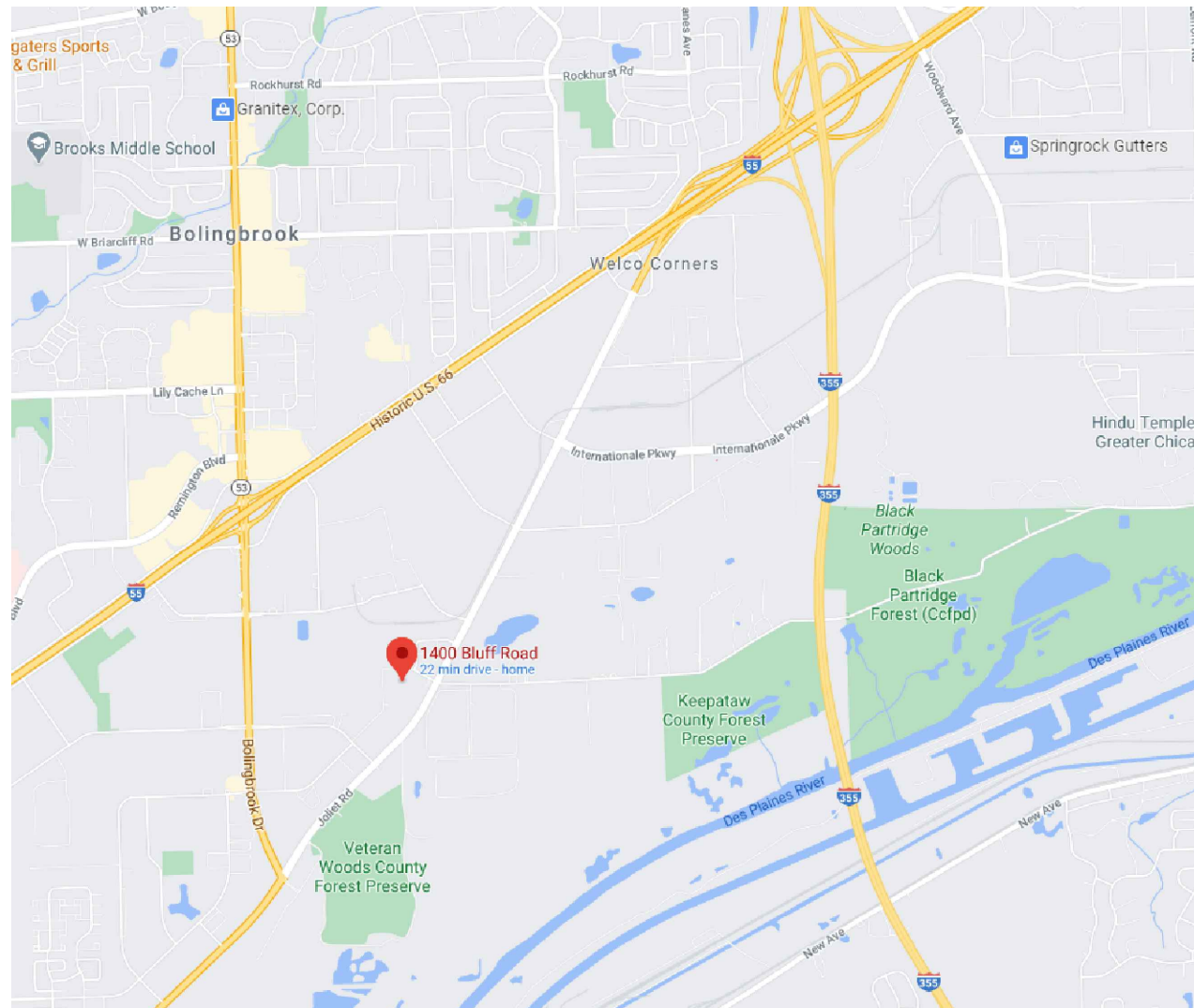
Compare all points before building and report any difference at once. For building lines, easements and other restrictions not shown hereon, refer to your deed, contract, title policy, zoning ordinance, etc.

State of Illinois)
County of Cook) SS

I, CLETO BONANOTTE, a Registered Illinois Land Surveyor,
do hereby state that I have surveyed the property described in the caption
to the hereon drawn plat and that the foregoing plat is a true and correct
representation of the same. All dimensions are in feet and decimal parts
thereof and are corrected to a temperature of 62 degrees Fahrenheit.

Date: June 22, 1988
Signature: Cleto Bonanotte
Certificate No. 1980

L 88-5-8"1"

[illegible]

LOT 10 IN BLUFF TRAILS SUBDIVISION PHASE 2, BEING A SUBDIVISION OF PART OF THE
NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD
PRINCIPAL MERIDIAN IN WILL COUNTY, ILLINOIS PER THE PLAT THEREOF RECORDED JUNE
21, 1988 AS DOCUMENT No. R88-26870

SITE BENCHMARK: MAG NAIL IN ASPHALT PARKING LOT, ELEVATION=688.64 NAVD88

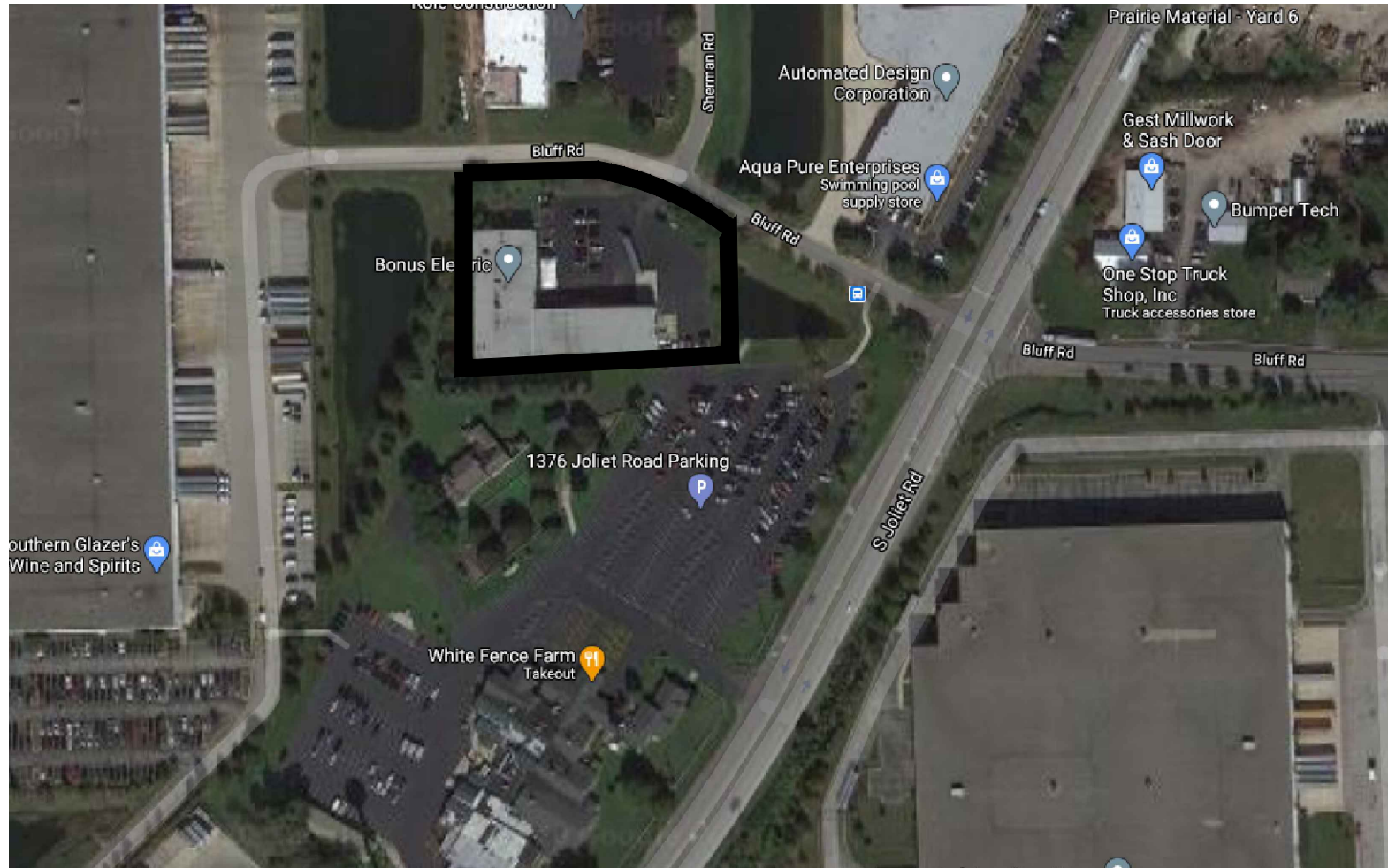
TYPE OF DEVELOPMENT:

AREA SUMMARY:
TOTAL PARCEL AREA: 1.81 ACRES
DISTURBED AREA 0.40 ACRES

UPSTREAM TRIBUTARY: THERE IS NO UPSTREAM TRIBUTARY AREA FOR THE SITE.

SOILS/INFILTRATION RATE: 353A ELPASO SILTY CLAY & 530B OZAUKEE SILT LOAM - WEB SOIL SURVEY

GROUNDWATER ELEVATION: UNKNOWN



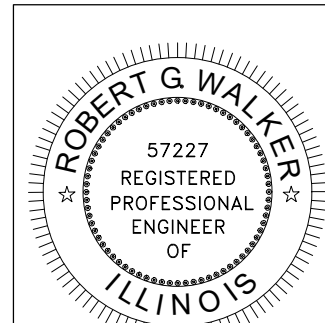
The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:
J.U.L.I.E. 1 (800) 892-0123

GENERAL NOTES:

1. ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING JULIE FOR UTILITY LOCATES A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING EXCAVATION.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE.
4. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS AS REQUIRED, PRIOR TO COMMENCING CONSTRUCTION.
5. CONSTRUCTION OPERATION SHALL BE CONDUCTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL, DEBRIS, ASPHALT AND CONCRETE ONTO PUBLIC THOROUGHFARES. AT THE END OF EACH DAY, THE CONTRACTOR SHALL REMOVE MATERIALS DEPOSITED ONTO PUBLIC STREETS AND ALLEYS.
6. PUBLIC STREETS AND ALLEYS SHALL BE RESTORED PROMPTLY MEETING VILLAGE OF ROMEVILLE STANDARDS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF ALL EXISTING UTILITIES AND APPURTENANCES PRIOR TO CONSTRUCTION, TO AVOID INTERFERENCES.
8. APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK.
9. ALL BUILDING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

11-06-2020
DATE

MY LICENSE EXPIRES ON NOVEMBER 30, 2021

PAGES OR SHEETS COVERED BY THIS SEAL: C-0 THRU C-5

TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP

NEW ADDITION

1400 BLUFF ROAD, ROMEOVILLE, IL 60446



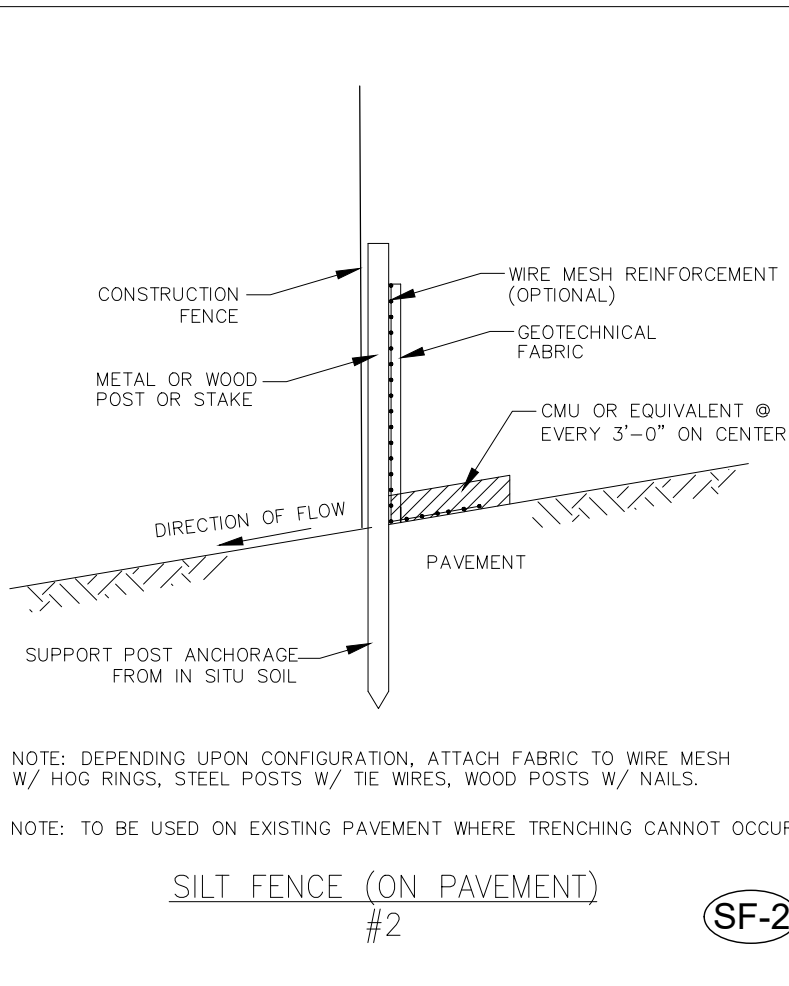
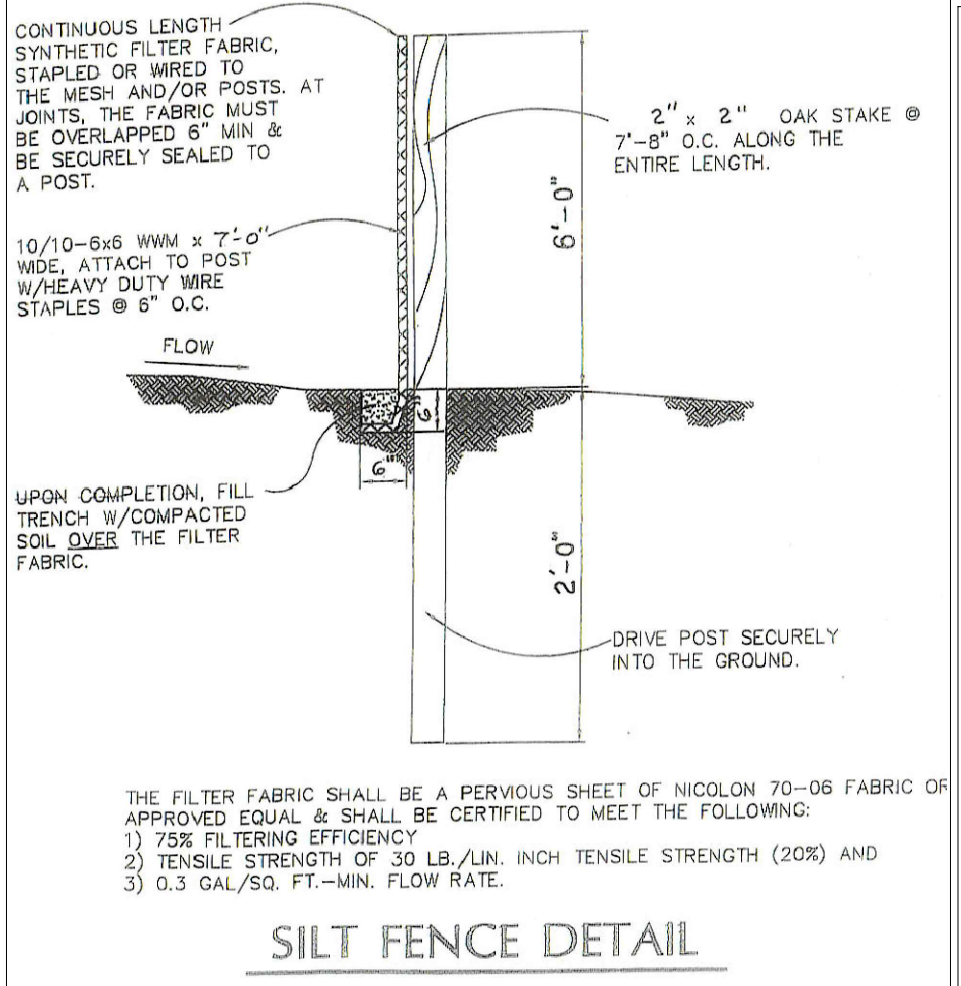
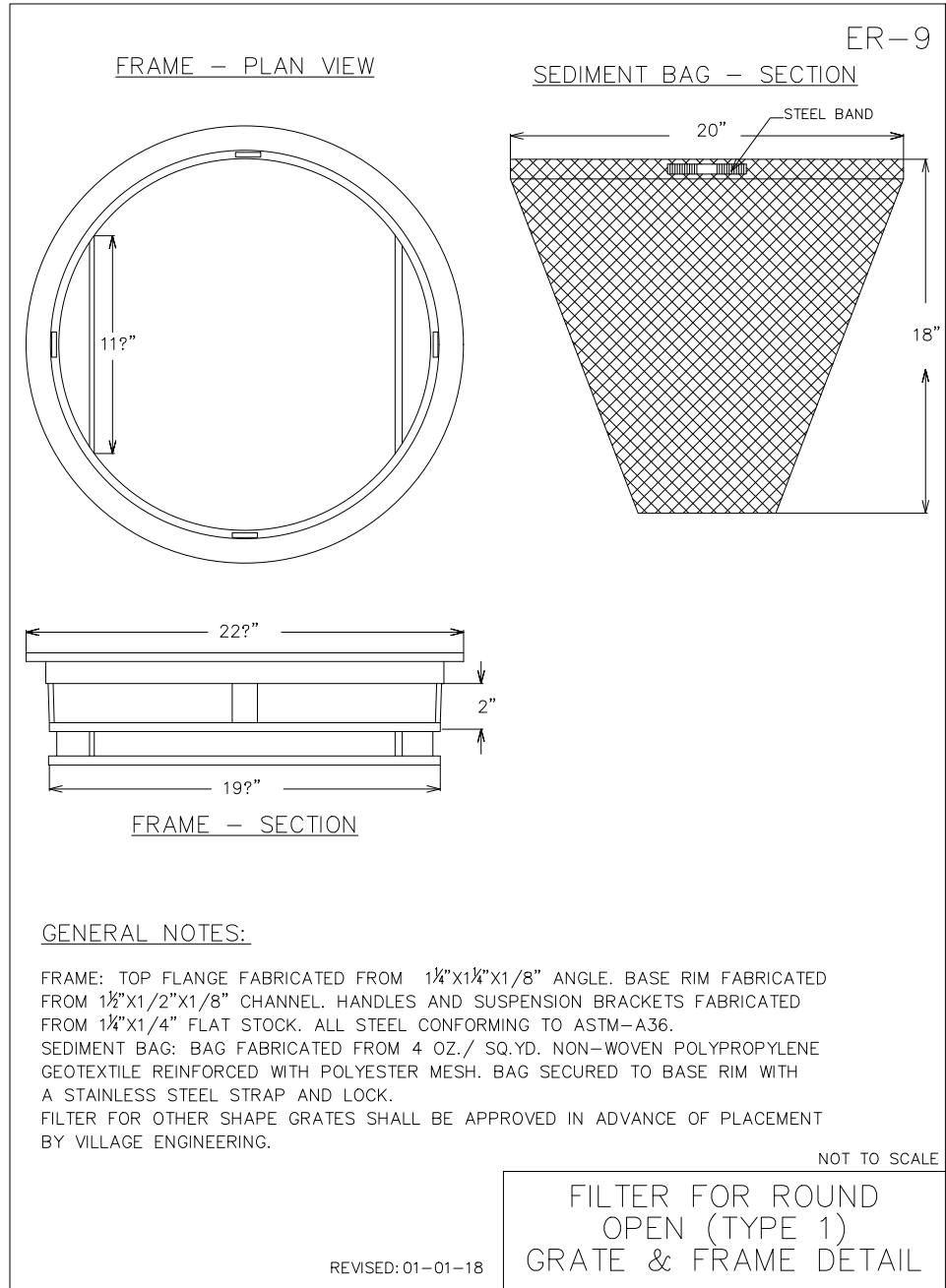
BONO CONSULTING, INC.
CIVIL ENGINEERS
PH : (637) 820-9300
FAX : (637) 823-3303
bbono@boniconsulting.com

COPYRIGHT:	
THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ENGINEER.	
PROJECT NO.:	20463
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	NOV 6, 2020
SCALE:	N.T.S.
SHEET NUMBER	
C-0	

PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: R. WALKER P.E.	1	PERMIT DRAWINGS	11-06-2020
ENGINEER: R. CARP			
ENGINEER:			
TECHNICIAN:			

DEMOLITION NOTES

1. INSTALL TEMPORARY TREE PROTECTION FENCING PRIOR TO ANY DEMOLITION WORK.
2. INSTALL TEMPORARY 6' HIGH CHAIN LINK FENCE AROUND THE PROPOSED WORK AREA AS SHOWN ON THE DRAWING.
3. CONTRACTOR TO CALL JULIE AT 1-800-892-0123. MINIMUM OF 48 HOURS PRIOR TO INITIATING ANY EXCAVATION OR DEMOLITION.
4. CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF ALL EXISTING UTILITIES AND APPURTENANCES PRIOR TO CONSTRUCTION, TO AVOID INTERFERENCES.
5. APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY AND THE OWNER, OR REPLACED.
6. ANY OPEN EXCAVATIONS, OR POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY.
7. **BONO CONSULTING INC IS NOT LIABLE FOR ANY CONSTRUCTION SITE SAFETY.** CONTRACTOR TO TAKE ALL OSHA REGULATED AND APPLICABLE LOCAL SAFETY PRECAUTIONS TO SAFE GUARD ALL POTENTIALLY HAZARD SITES/WORK.
8. CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADS FREE OF EXCESSIVE DEBRIS AT ALL TIMES.
9. ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH DAY.
10. TOPOGRAPHIC SURVEY BY BONO CONSULTING INC
11. ALL EXCAVATION SHALL BE TAPERED, OR, SHORED AND MAINTAINED PUMPED DRY.
12. DO NOT CREATE DUST OR OTHER NUISANCE TO NEIGHBORING PROPERTIES DURING CONSTRUCTION
13. "NO TRESPASSING" SIGNS SHALL BE MOUNTED ON THE FENCING IN CONSPICUOUS LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND APPROVED
14. ANY GATE IN THE PERIMETER FENCE SHALL BE ADEQUATELY HINGED TO PREVENT ENTRY, EXCEPT TO ALLOW INGRESS AND EGRESS TO AND FROM SITE, SUCH GATE MUST BE LOOKED AT ALL TIMES, OTHER THAN PERMITTED HOURS OF CONSTRUCTION.



SEEDING INFORMATION

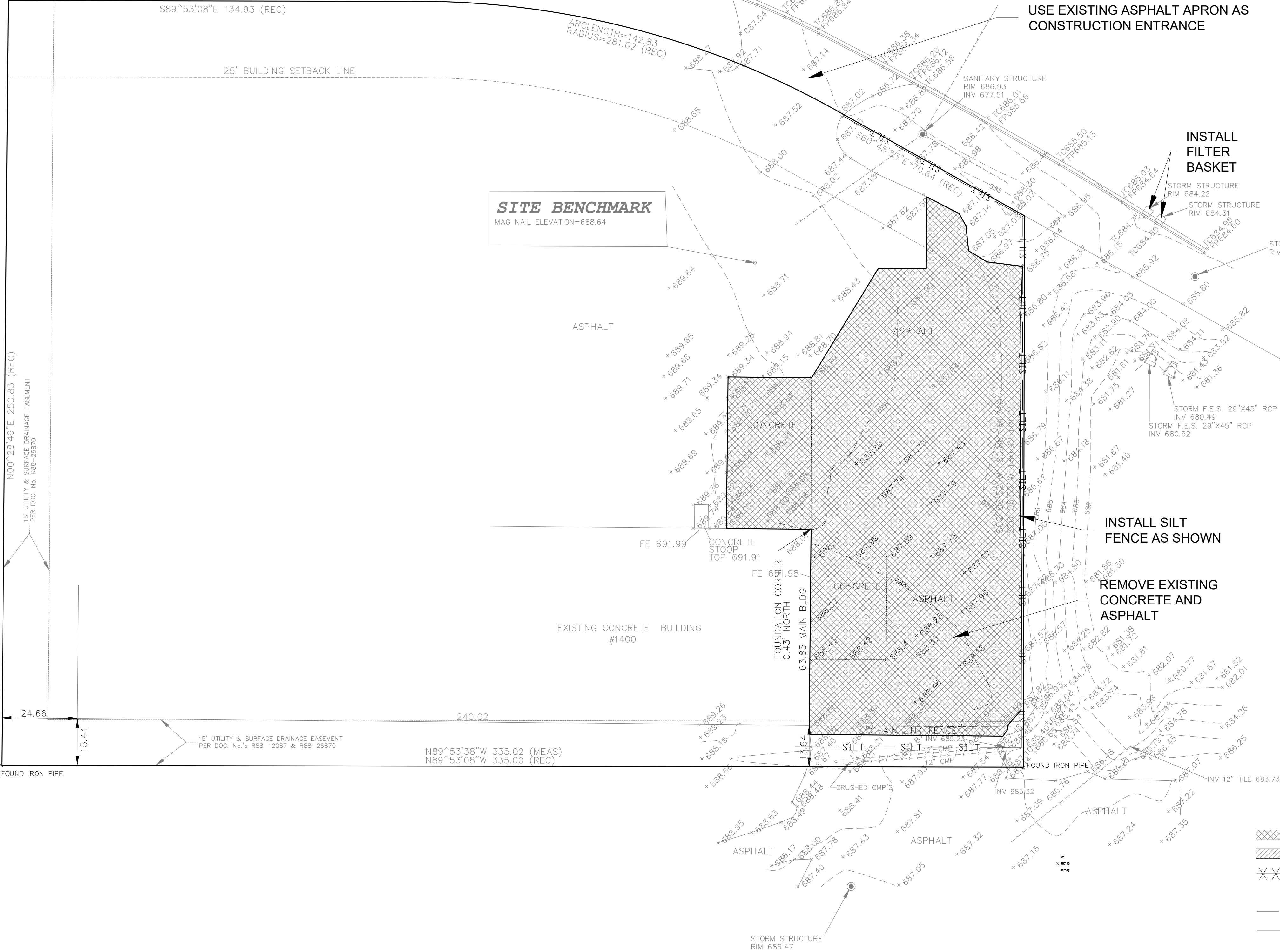
CONTRACTOR TO SEED ALL DISTURBED AREA.

TURF GRASS SEED MIX:

FURNISH AND APPLY SUNNY TURF GRASS SEED MIX (TIMOTHY-33.3% / ORCHARDGRASS-33.3% / KENTUCKY BLUEGRASS-33.3%, SEEDING RATE=70 LBS./ACRE AND COMMON OATS=30 LBS./ACRE FOR A TOTAL 100 LBS./ACRE. OVERSEED WITH 10 LBS./ACRE ANNUAL RYE. SEEDING MUST COMMENCE WITHIN 1 WEEK OF THE COMPLETION OF FINAL GRADING.

Temporary Seeding, Species, Rates, & Dates											
Species	lbs./acre	Seeding Dates									
		Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.
Oats	90										
Cereal Rye	90										
Winter Wheat	90										
Winter Mulch	25										

BLUFF ROAD

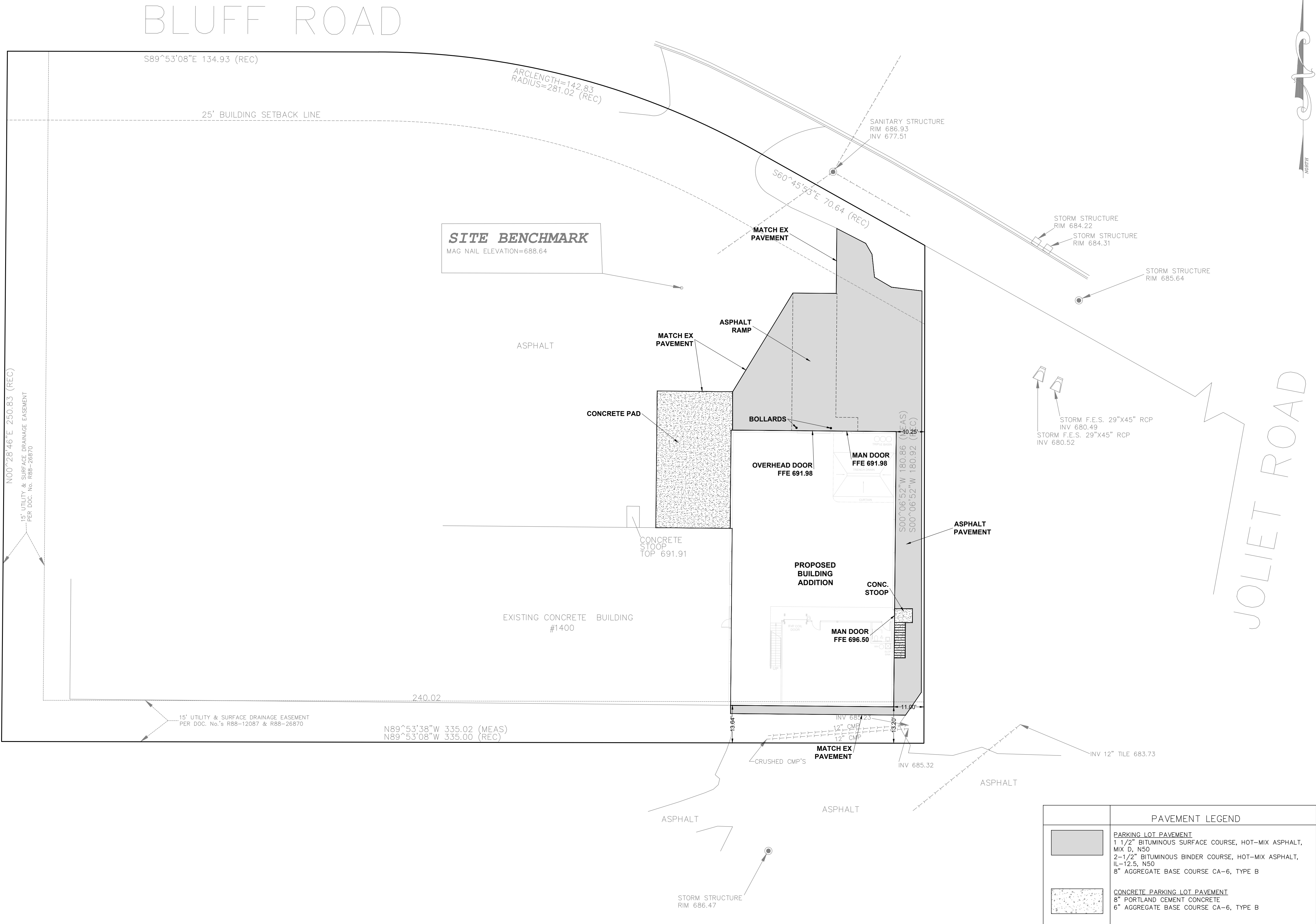


SITE PLAN NOTES:

- A. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY /COUNTY/FOX METRO REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- B. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL HEALTHY STAND OF GRASS IS ESTABLISHED UNLESS OTHERWISE NOTED.
- C. ALL CURBED RADII ARE TO BE 3' MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED.
- D. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB AND RADII ARE BACK OF CURB OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
- E. BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST, THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- F. ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
- G. EXISTING TOPOGRAPHY BY NOLAN & WEDOW SURVEY GROUP. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- H. THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- I. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- J. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY OTHERS.
- K. IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- L. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
- M. CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATIONS OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
- N. TOTAL LAND AREA IS 1.81 +/- ACRES.
- O. NO SPECIAL CONDITIONS WERE PRESENT ON THIS SITE.
- P. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."
- Q. MONUMENT AND/OR PYLON SIGNS SHALL BE CONSTRUCTED BY OWNER ASSIGNED CONTRACTOR. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT, IF REQUIRED.
- S. ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
- T. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- U. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE

CONCRETE AND ASPHALT NOTES:

1. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS SECTION 420. CONCRETE SURFACES MUST BE WARRENTEEDED FOR ONE YEAR AGAINST ANY BIRDBATHING, PONDING OR CRACKS OVER 1/4 WIDE.
2. ALL CONCRETE SHALL BE MINIMUM 3,500 PSI.
3. CLEAN, FULL DEPTH SAWCUTS THROUGH EXISTING SIDEWALK AND CURB SCHEDULED FOR REMOVAL.
4. COMBINATION CURB & GUTTER IS 6" HIGH UNLESS OTHERWISE NOTED.
5. A 3/4" FIBER EXPANSION JOINT SHALL BE INSTALLED WHEN THE NEW SIDEWALK OR CURB ABUTS ANY BUILDING.
6. CONTRACTION JOINTS SHOULD BE SAWCUT A MINIMUM OF TWO INCHES DEEP WITHIN 4-12 HOURS OF CONCRETE PLACEMENT, BUT NO LATER THAN 24 HOURS AFTER CONCRETE PLACEMENT, BE IN ACCORDANCE WITH SECTION 420.05 IDOT STANDARD SPECIFICATIONS.
7. MAXIMUM 50' C-C BETWEEN CONTRACTION JOINTS IN CURBS OR SIDEWALK.
8. ASPHALT SHALL BE PLACED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATION SECTION 406. ASPHALT SURFACES MUST BE WARRANTEED FOR ONE YEAR AGAINST BIRDBATHING/PONDING OF 1/2" STANDING WATER FOR AREAS GREATER THAN 25 SQUARE FEET.
9. ALL PARKING LOTS TO BE PROOF ROLLED PRIOR TO PLACEMENT OF AGGREGATE SUBBASE AND AGAIN PRIOR TO INITIAL ASPHALT LIFT. PROOF ROLL TO BE DONE WITH LOADED DOUBLE AXLE DUMP TRUCK AND WITNESSED BY AN OWNER'S REPRESENTATIVE.



DATE	11-06-2020
REVISIONS	
ISSUE	1
PROJECT STAFF	
PROJECT MANAGER:	R. WALKER P.E.
ENGINEER:	R. CARP
TECHNICIAN:	

BCI

BONO CONSULTING, INC.

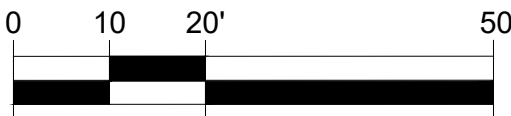
CIVIL ENGINEERS

1010 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH : (847) 823-3300
FAX : (847) 823-3303
bbono@boniconsulting.com

GEOMETRIC AND PAVING PLAN
NEW ADDITION
1400 BLUFF ROAD, ROMEOVILLE, IL 60446

COPYRIGHT:
THIS DRAWING SHALL NOT BE USED,
REPRODUCED, MODIFIED OR SOLD EITHER
WHOLLY OR IN PART, EXCEPT WHEN
AUTHORIZED IN WRITING BY THE ENGINEER.

PROJECT NO.: 20463
BASE FILE:
SHEET FILE:
ISSUE DATE: NOV 6, 2020
SCALE: 1"=20'
SHEET NUMBER
C-2



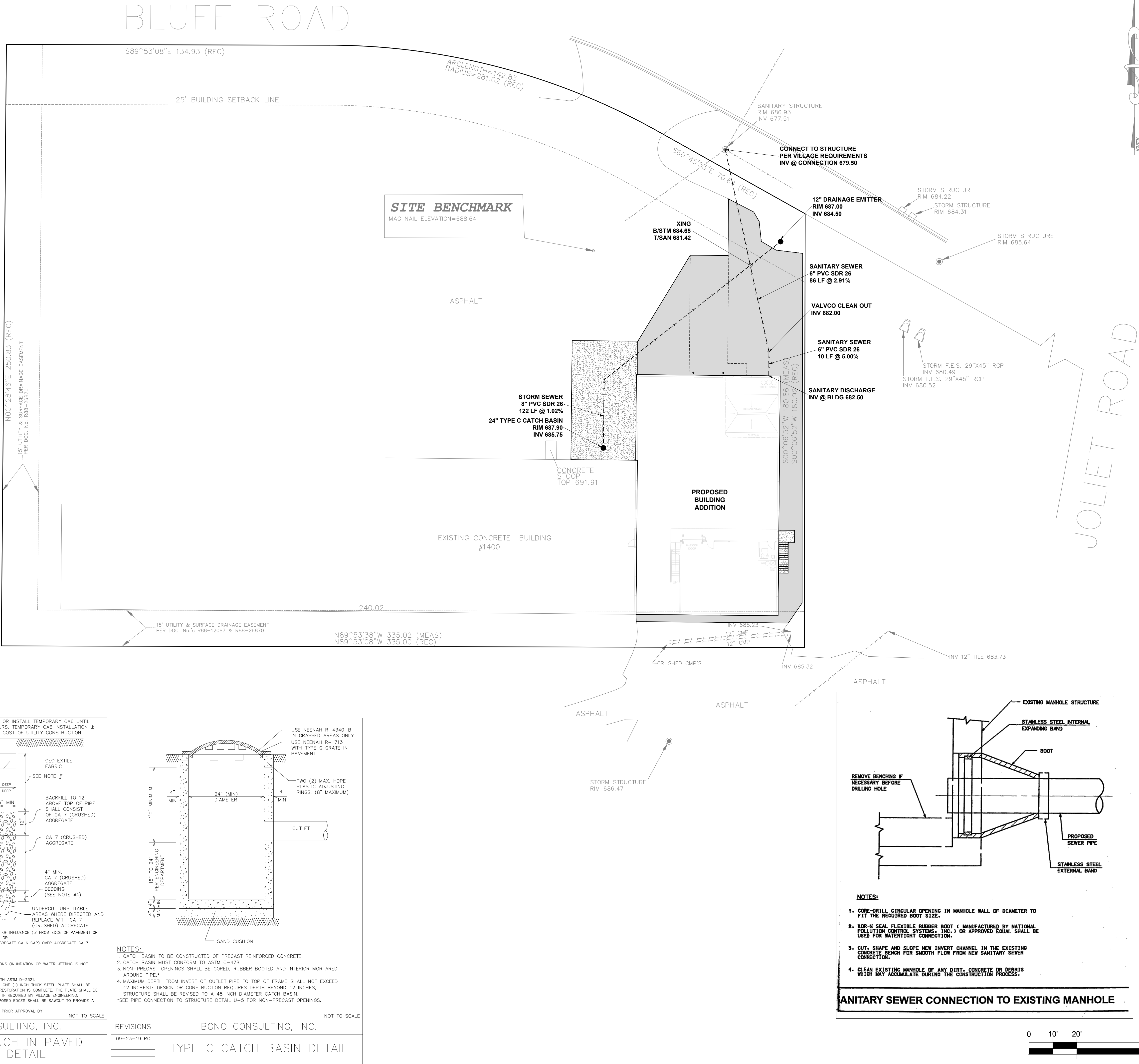
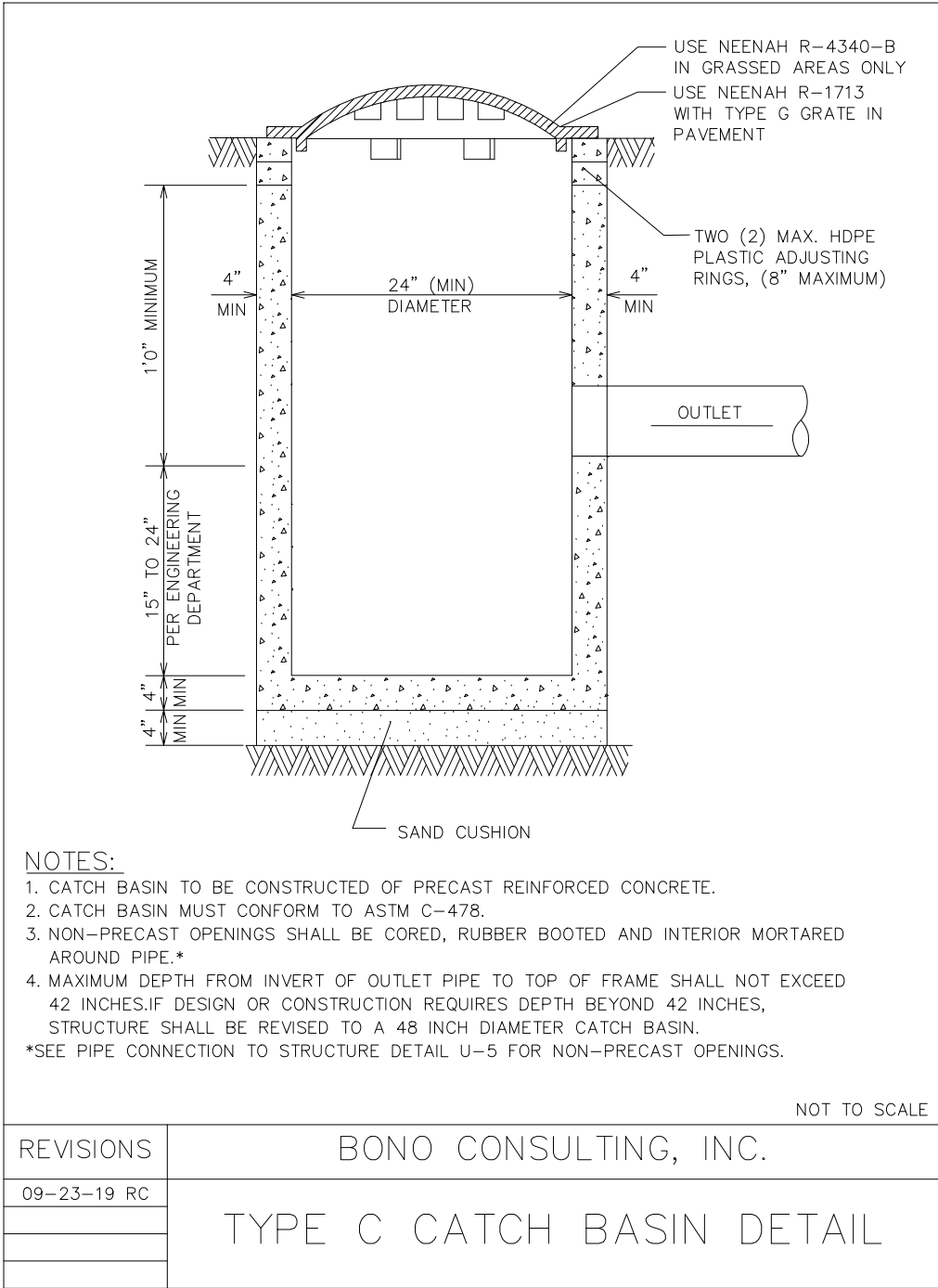
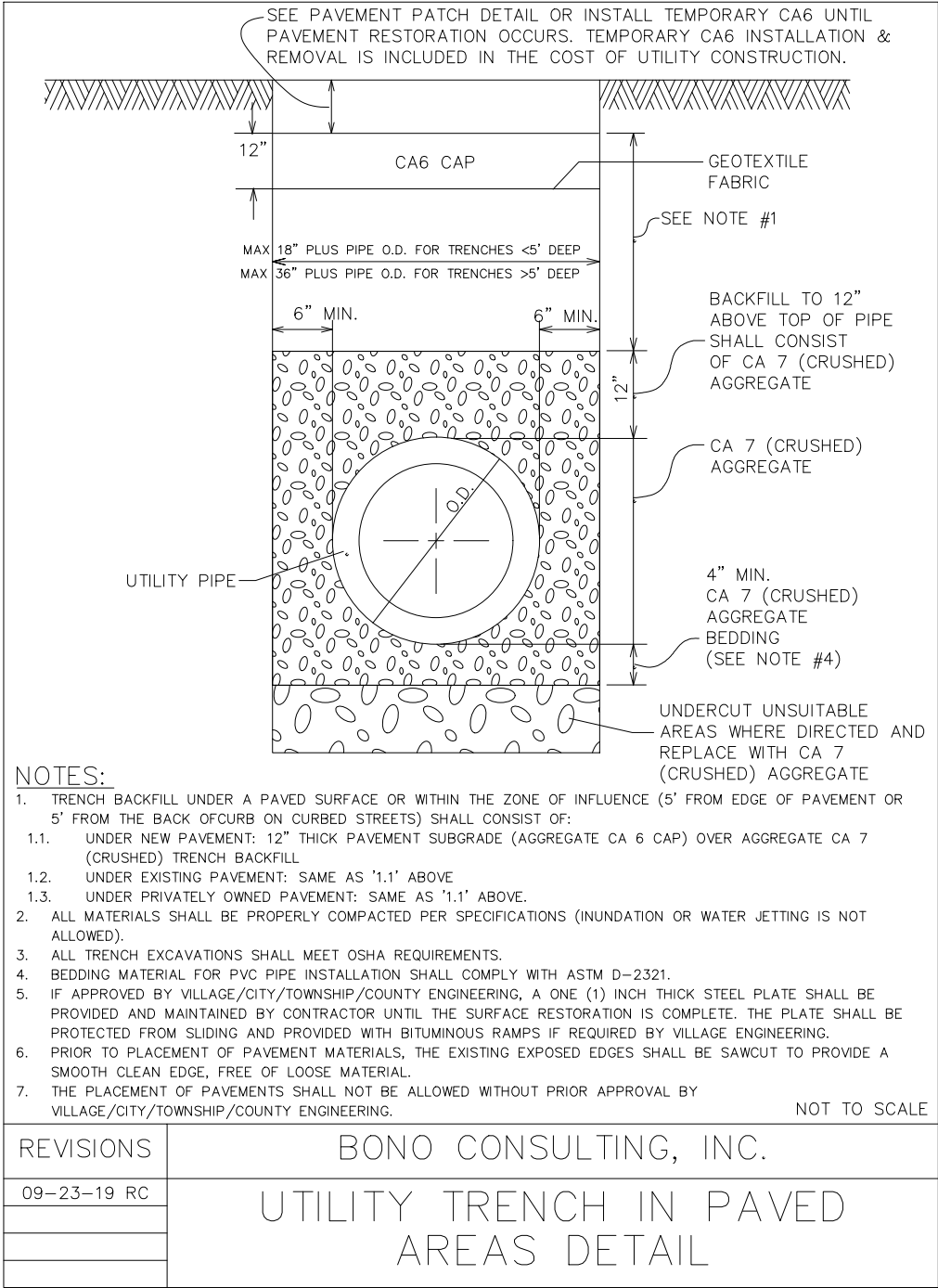
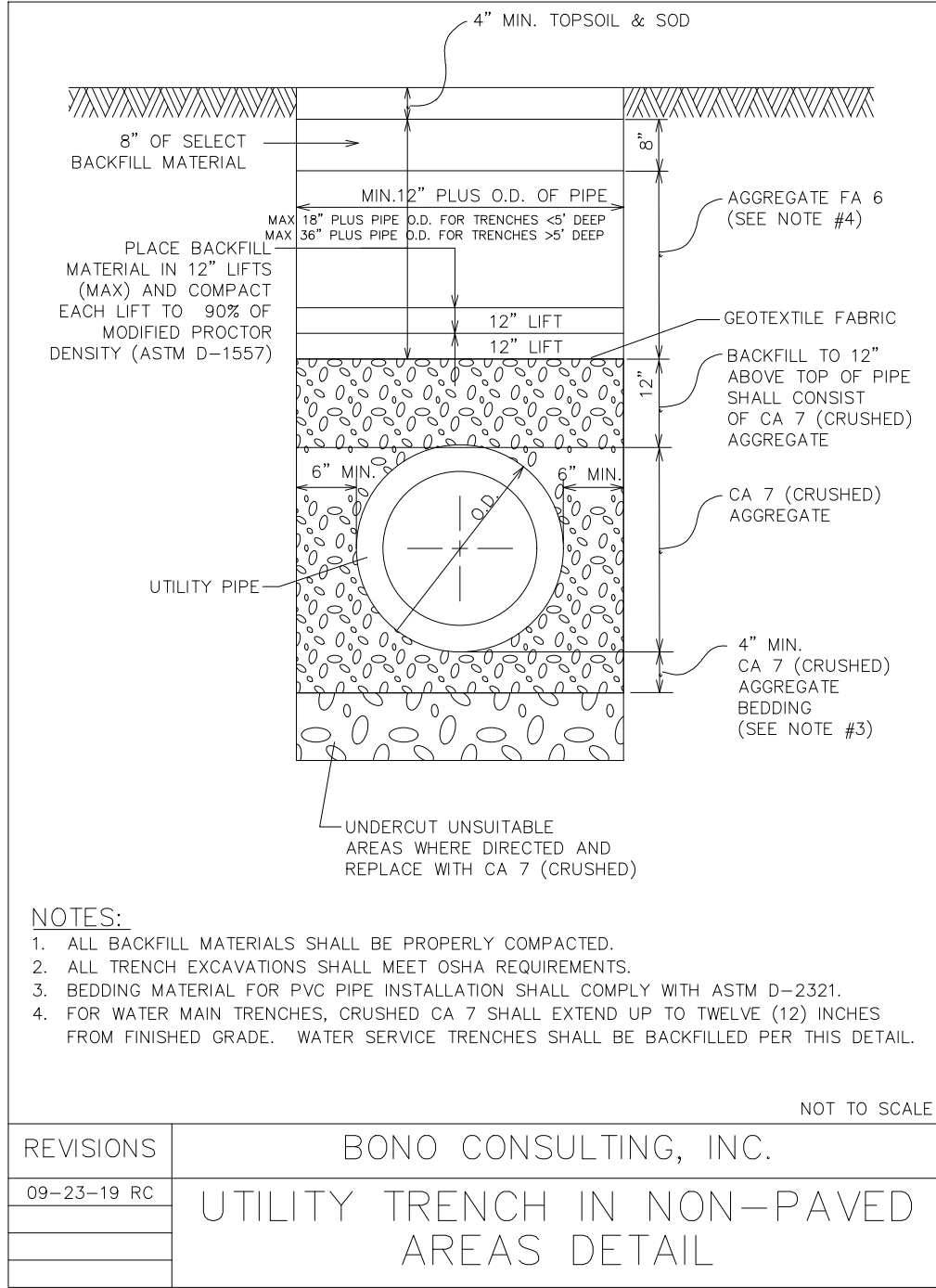
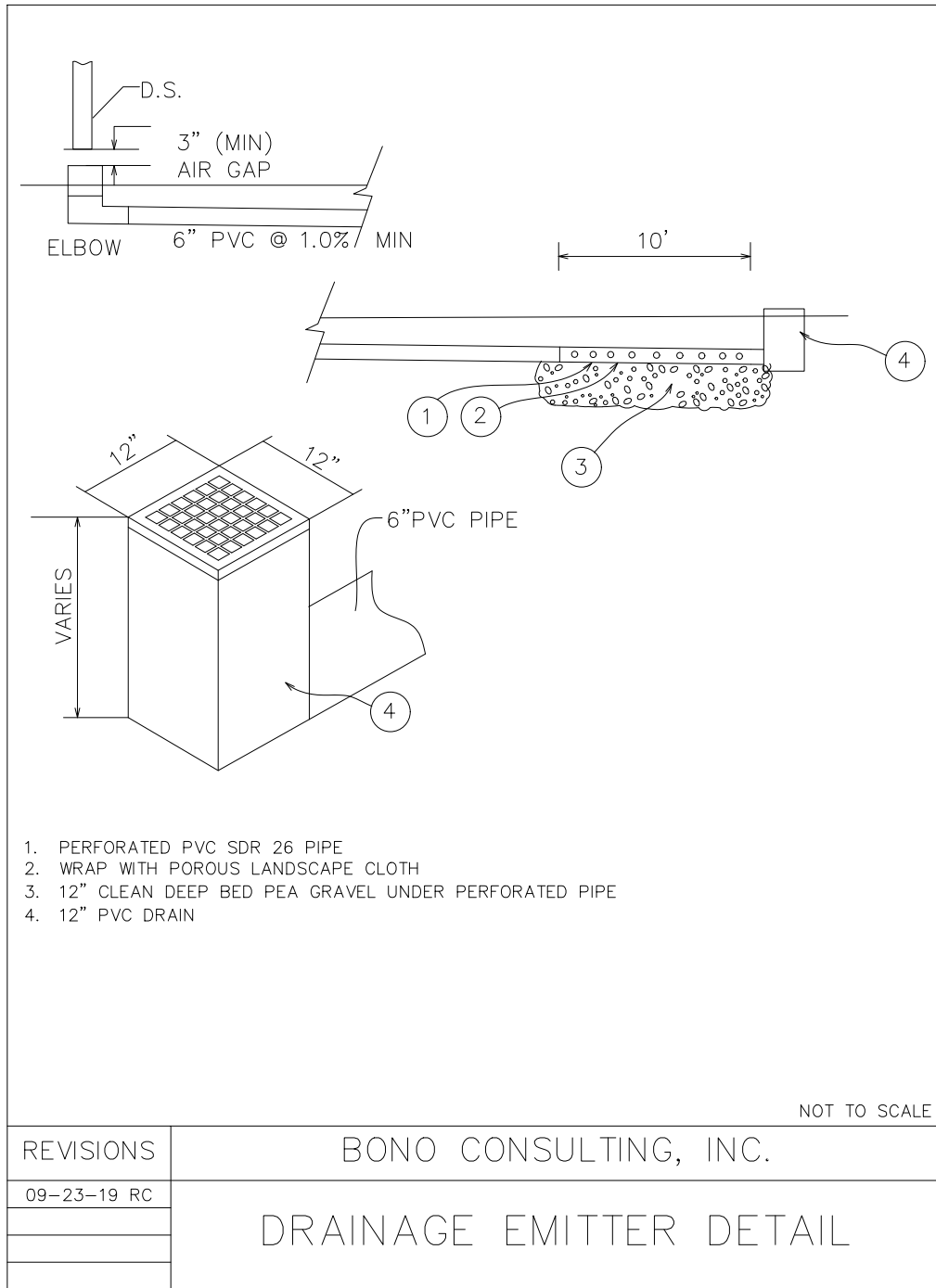
SANITARY SEWER NOTES:

1. FIELD VERIFY SANITARY SEWER LOCATION AND ELEVATION AND ALL CROSSINGS TO BE SURE SYSTEM WORKS AND ALL CONFLICTS ARE AVOIDED.
2. INSTALL NEW 6" SANITARY SEWER SERVICES AS SHOWN.
3. SEWER TO BE 6" PVC SDR 26 PER ASTM D-3034 AND PUSH ON JOINTS PER ASTM D-3212.
4. PROVIDE CA-7 TRENCH BACKFILL UNDER ALL PAVEMENT.
5. SANITARY MANHOLES TO BE PRE-CAST PER ASTM C478 WITH WATERTIGHT BOOT CONNECTIONS AND IDOT TYPE 1 FRAME AND LID WITH "SANITARY" CAST INTO LID.
6. FOLLOW ALL REQUIREMENTS OF THE VILLAGE OF ROMEOVILLE.

STORM SEWER NOTES:

1. FIELD VERIFY STORM SEWER LOCATION AND ELEVATION AND ALL CROSSINGS TO BE SURE SYSTEM WORKS AND ALL CONFLICTS ARE AVOIDED.
2. CONNECT TO EXISTING STORM SEWER STRUCTURE. FIELD VERIFY LOCATION AND ELEVATION PRIOR TO ANY STORM SEWER CONSTRUCTION.
3. STORM SEWER TO BE 6" PVC SDR 26 PER ASTM D-3034 AND PUSH ON JOINTS PER ASTM D-3212.
4. PROVIDE CA-7 TRENCH BACKFILL UNDER ALL PAVEMENT.
5. STORM SEWER STRUCTURES TO BE PRE-CAST PER ASTM C478 WITH STEPS 16" ON CENTER PER ASTM C478-05.
6. ALL WATER MAIN QUALITY STORM PIPE TO BE AWWA C900 PIPE CONFORMING TO NSF 14 WITH PUSH-ON JOINTS CONFORMING TO ASTM F477 AND ASTM D3139.
7. FOLLOW ALL REQUIREMENTS OF THE VILLAGE OF ROMEOVILLE.

NOTE:
INSTALL INLET BASKETS IN ALL PROPOSED OPEN LID STORM STRUCTURES WITHIN OR ADJACENT TO THE PROPOSED WORK LIMITS



DATE	11-06-2020
REVISIONS	
ISSUE	1
PROJECT STAFF	
PROJECT MANAGER:	R. WALKER P.E.
ENGINEER:	R. WALKER P.E.
TECHNICIAN:	R. WALKER P.E.

BCI

BONO CONSULTING, INC.

CIVIL ENGINEERS

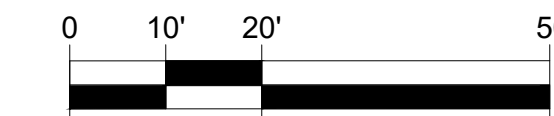
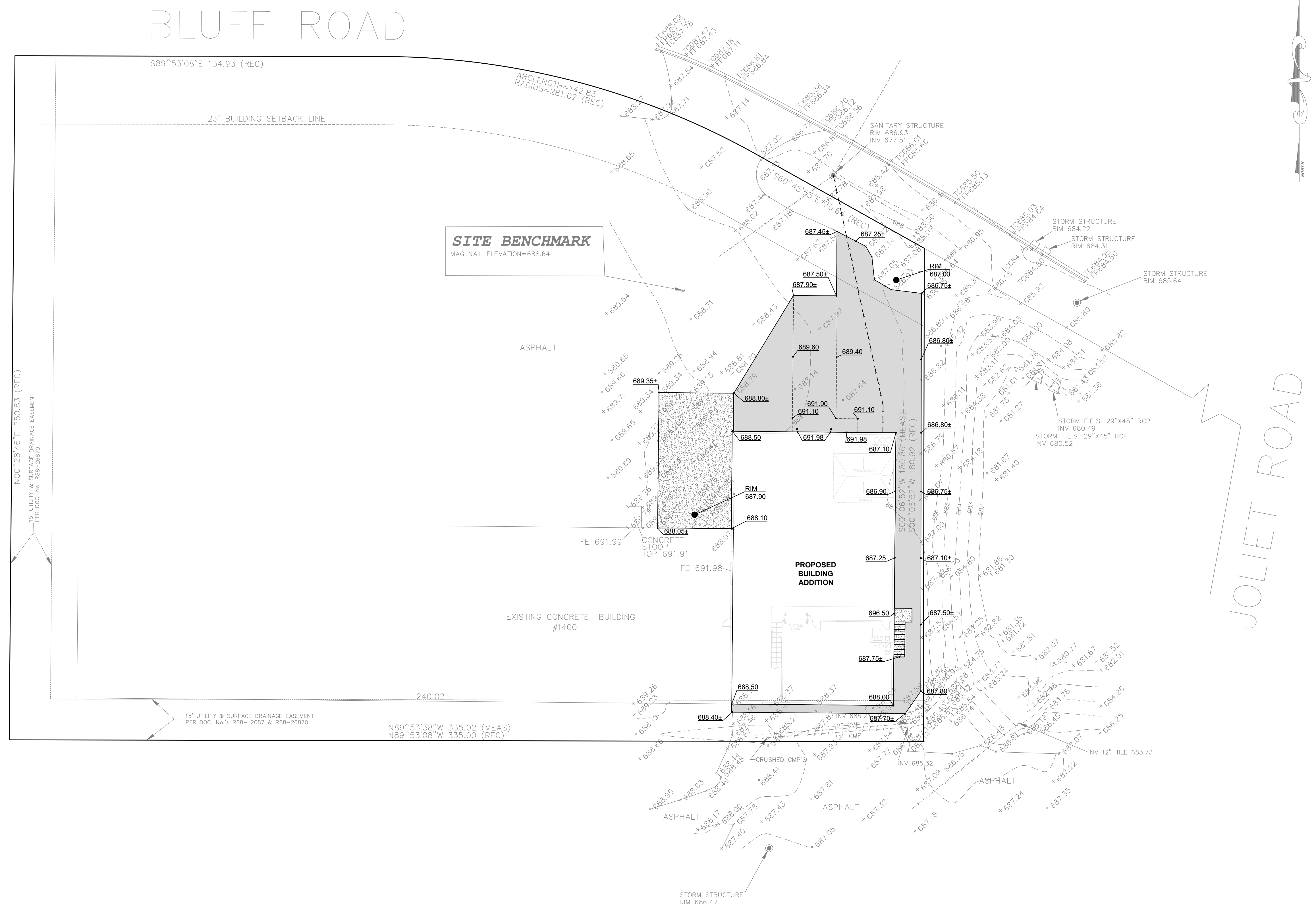
1010 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: (847) 823-3300
FAX: (847) 823-3303
bbono@bonoconsulting.com

PROPOSED UTILITY PLAN
NEW ADDITION
1400 BLUFF ROAD, ROMEOVILLE, IL 60446

COPYRIGHT:
THIS DRAWING SHALL NOT BE USED,
REPRODUCED, MODIFIED OR SOLD EITHER
WHOLLY OR IN PART, EXCEPT WHEN
AUTHORIZED IN WRITING BY THE ENGINEER.

PROJECT NO.: 20463
BASE FILE:
SHEET FILE:
ISSUE DATE: NOV 6, 2020
SCALE: 1"=20'
SHEET NUMBER
C-3

NOTE:
CONTRACTOR TO ENSURE
POSITIVE DRAINAGE FROM
PROPOSED GRADES TO EXISTING



PROPOSED GRADING AND DRAINAGE PLAN

NEW ADDITION

1400 BLUFF ROAD, ROMEDEVILLE, IL 60446

BCI

BONO CONSULTING, INC.

CIVIL ENGINEERS

1018 BUSSE HIGHWAY
PARK RIDGE, IL 60068

PH : (847) 823-3300
FAX : (847) 823-3303
bbono@bonoconsulting.com

DATE	REVISIONS	ISSUE	PROJECT STAFF
11-06-2020		1	R. WALKER P.E. PERMIT DRAWINGS
			ENGINEER
			R. CADRE
			DESIGNER
			TECHNICIAN

PROJECT NO.: 20463

BASE FILE:

SHEET FILE:

ISSUE DATE: NOV 6, 2020

SCALE: 1"=20'

SHEET NUMBER

C-4