



09 Ogden Avenue
Clarendon Hills
Illinois 60514

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andyk@
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A New Office/Warehouse For :

LBD Triangle

Illinois Route 53 & Joliet Road
Romeoville, IL. 60446

File No:	Date:
15-2489	7/8/2019

Checked:	Drawn:
J.W.K.	C.F.

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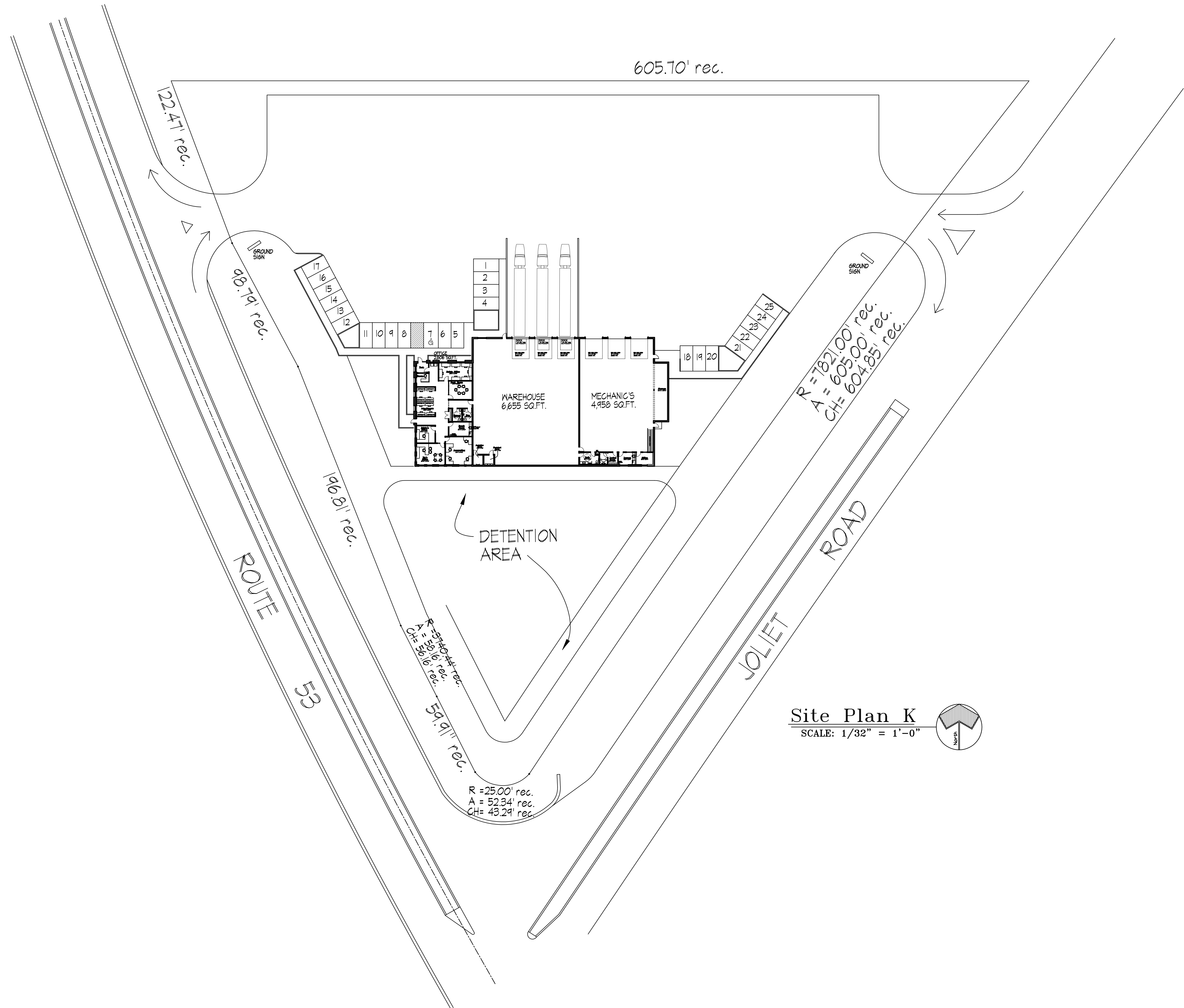
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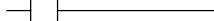
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1 OF 3 SHEETS

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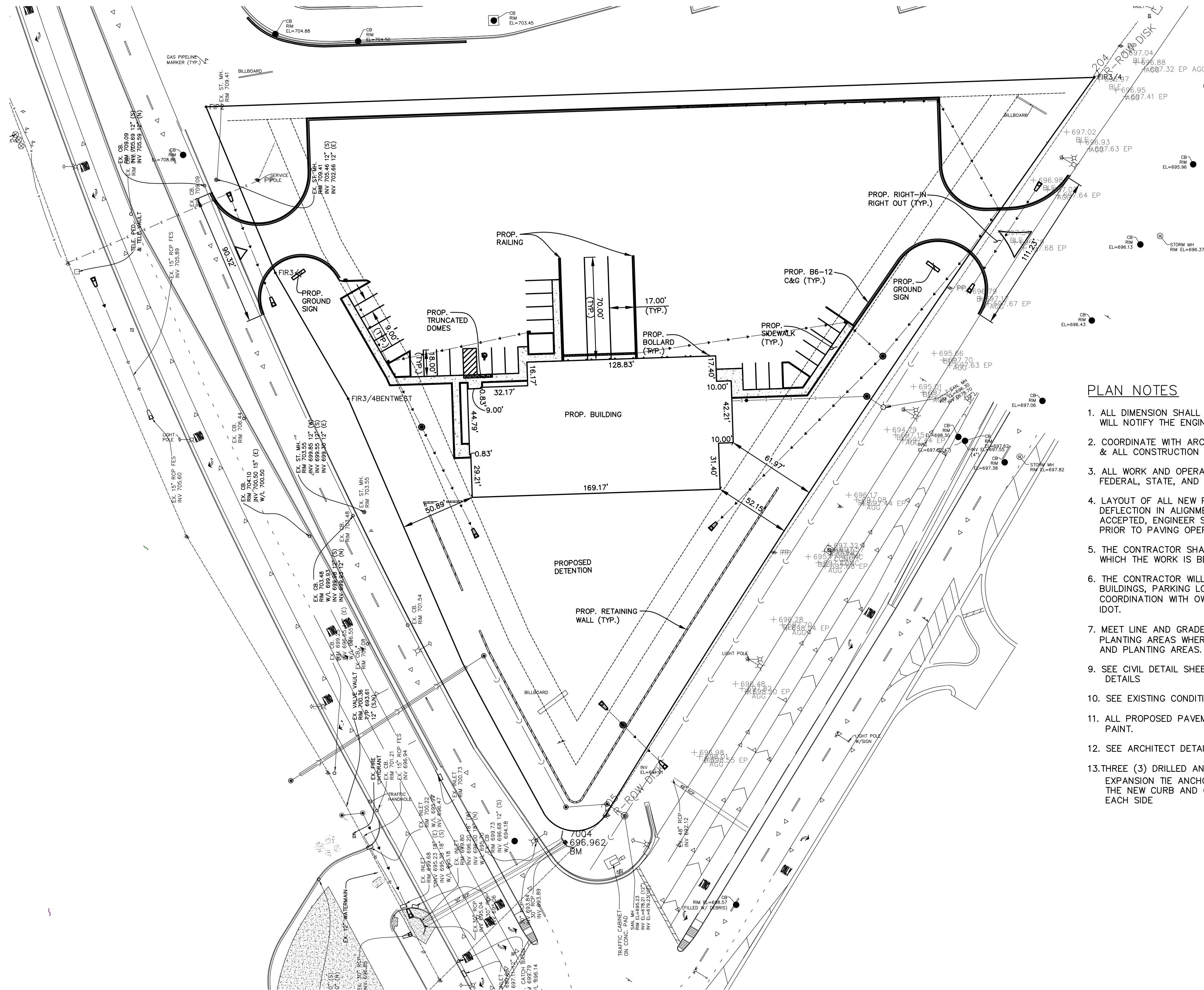


LEGEND

	= EX. PROPERTY LINE
	= EX. LOT LINE
	= EX. EASEMENT LINE
	= EX. SANITARY LINE
	= EX. WATER LINE
	= EX. STORM LINE
	= EX. WOOD FENCE
	= EX. WIRE FENCE
	= EX. CONCRETE CURB & GUTTER
	= EX. TREE/BRUSH LINE
	= EX. FIELD EDGE
	= EX. 1 FOOT CONTOURS
	= FOUND IRON PIPE OR ROD
	= EX. STORM CATCH BASIN
	= EX. STORM INLET
	= EX. STORM MANHOLE
	= EX. FIRE HYDRANT
	= EX. VALVE BOX
	= EX. VALVE VAULT
	= EX. HAND HOLE
	= EX. TRANSFORMER
	= EX. TELEPHONE PEDESTAL
	= EX. TELEPHONE MANHOLE
	= EX. TRAFFIC SIGNAL
	= EX. SIGN
	= EX. BORING LOCATION
	= EX. SPOT ELEVATION
	= EX. CONIFEROUS TREE
	= EX. DECIDUOUS TREE

A	ARC LENGTH
B.S.L.	BUILDING SETBACK LINE
CH	CHORD
CONC.	CONCRETE
DOC.	DOCUMENT
E	EAST
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
INV.	INVERT
N	NORTH
R	RADIUS
R.C.P	REINFORCED CONCRETE PIPE
R.O.W.	RIGHT OF WAY
S	SOUTH
T/PIPE	TOP OF PIPE
W	WEST
(XXX.XX)	RECORD INFORMATION
XXX.XX	MEASURED INFORMATION

TOTAL PROJECT AREA=158,436 S.F.
EXISTING IMPERVIOUS=0 S.F. .
PROPOSED IMPERVIOUS=89,013 S.F.
NET NEW IMPERVIOUS=89,013 S.F..
PERCENT OF IMPERVIOUS SURFACE
COVERAGE=56.18%



1. ALL DIMENSION SHALL BE VERIFIED IN THE FIELD. THE CONTRACTOR WILL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
2. COORDINATE WITH ARCHITECT PLANS, GRADING PLANS, UTILITY PLAN, & ALL CONSTRUCTION DETAILS.
3. ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
4. LAYOUT OF ALL NEW PAVING SHALL BE SMOOTH AND CONTINUOUS, DEFLECTION IN ALIGNMENT OR ABRUPT CHANGES WILL NOT BE ACCEPTED, ENGINEER SHALL REVIEW STAKED LAYOUT AND FRAMEWORK PRIOR TO PAVING OPERATIONS.
5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES ON WHICH THE WORK IS BEING DONE CLEAR OF RUBBISH AND DEBRIS.
6. THE CONTRACTOR WILL NOT INTERFERE WITH USE OF ADJACENT BUILDINGS, PARKING LOTS, STREETS, OR ALLEYS WITHOUT PRIOR COORDINATION WITH OWNER AND/OR VILLAGE OF ROMEVILLE AND IDOT.
7. MEET LINE AND GRADE OF EXISTING PAVEMENT AND/OR LAWN AND PLANTING AREAS WHERE THEY MEET NEW PAVEMENT AND OR LAWN AND PLANTING AREAS.
9. SEE CIVIL DETAIL SHEETS FOR DETECTABLE WARNING AND CURB RAMP DETAILS
10. SEE EXISTING CONDITIONS PLAN FOR BOUNDARY INFORMATION.
11. ALL PROPOSED PAVEMENT MARKINGS, SHALL BE 4" WIDE YELLOW PAINT.
12. SEE ARCHITECT DETAIL FOR PROPOSED TRASH ENCLOSURE DETAIL.
13. THREE (3) DRILLED AND GROUTED NO.5 REINFORCING BARS OR EXPANSION TIE ANCHORS, 5" IN DIAMETER SHALL BE USED TO TIE THE NEW CURB AND GUTTER TO THE EXISTING CURB & GUTTER ON EACH SIDE

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

**ENGINEERING
RESOURCE ASSOCIATES**

35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152
www.eraconsultants.com



VIC DODEVSKI
13769 MAIN ST.
LEMONT, IL 60439

PREPARED FOR:

PROJECT: 1202 BOLINGBROOK DRIVE
ROMEOVILLE, ILLINOIS

PROJECT:

[illegible]

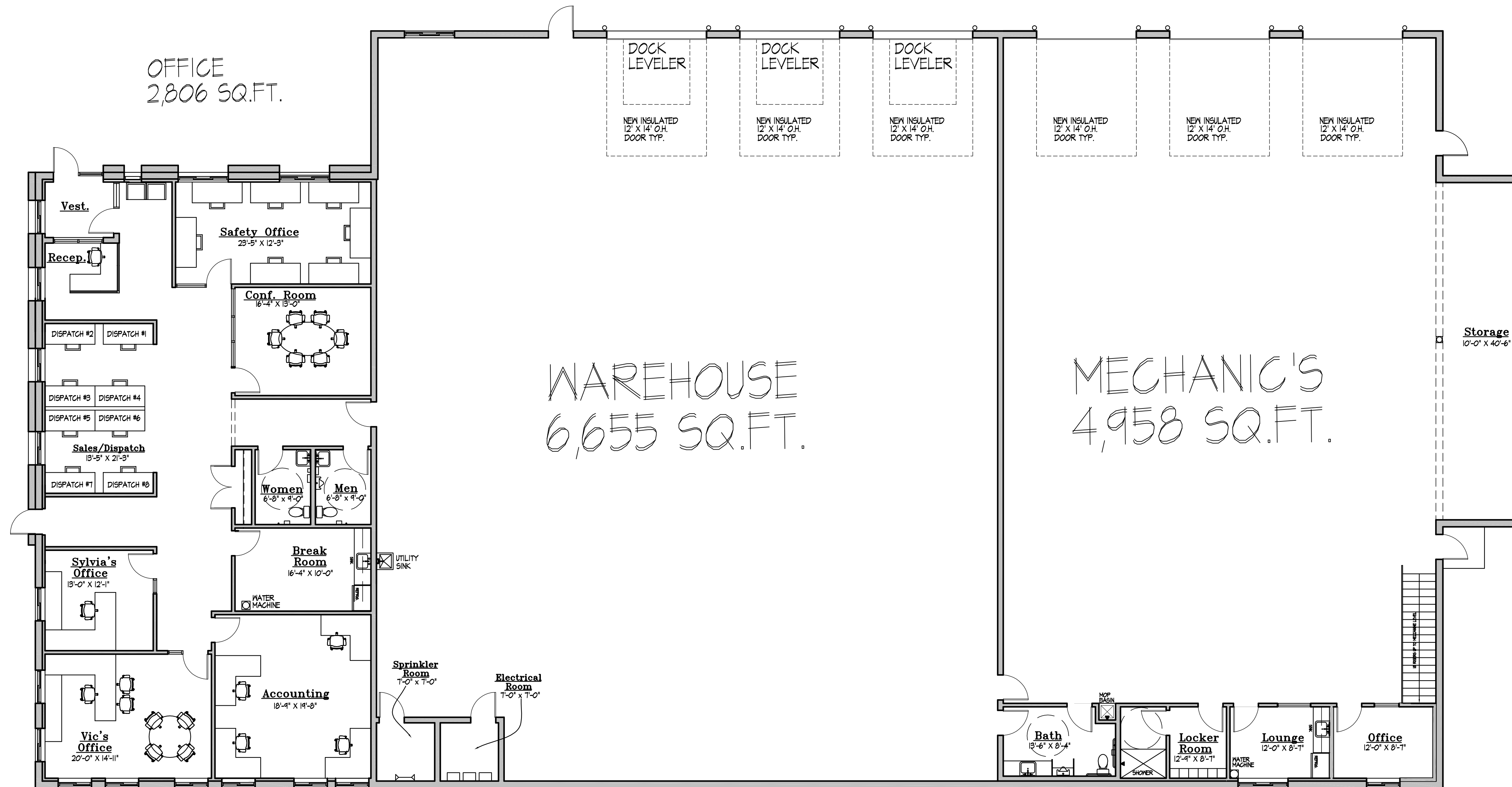
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DATE: 08-16-201

GEOMETRY

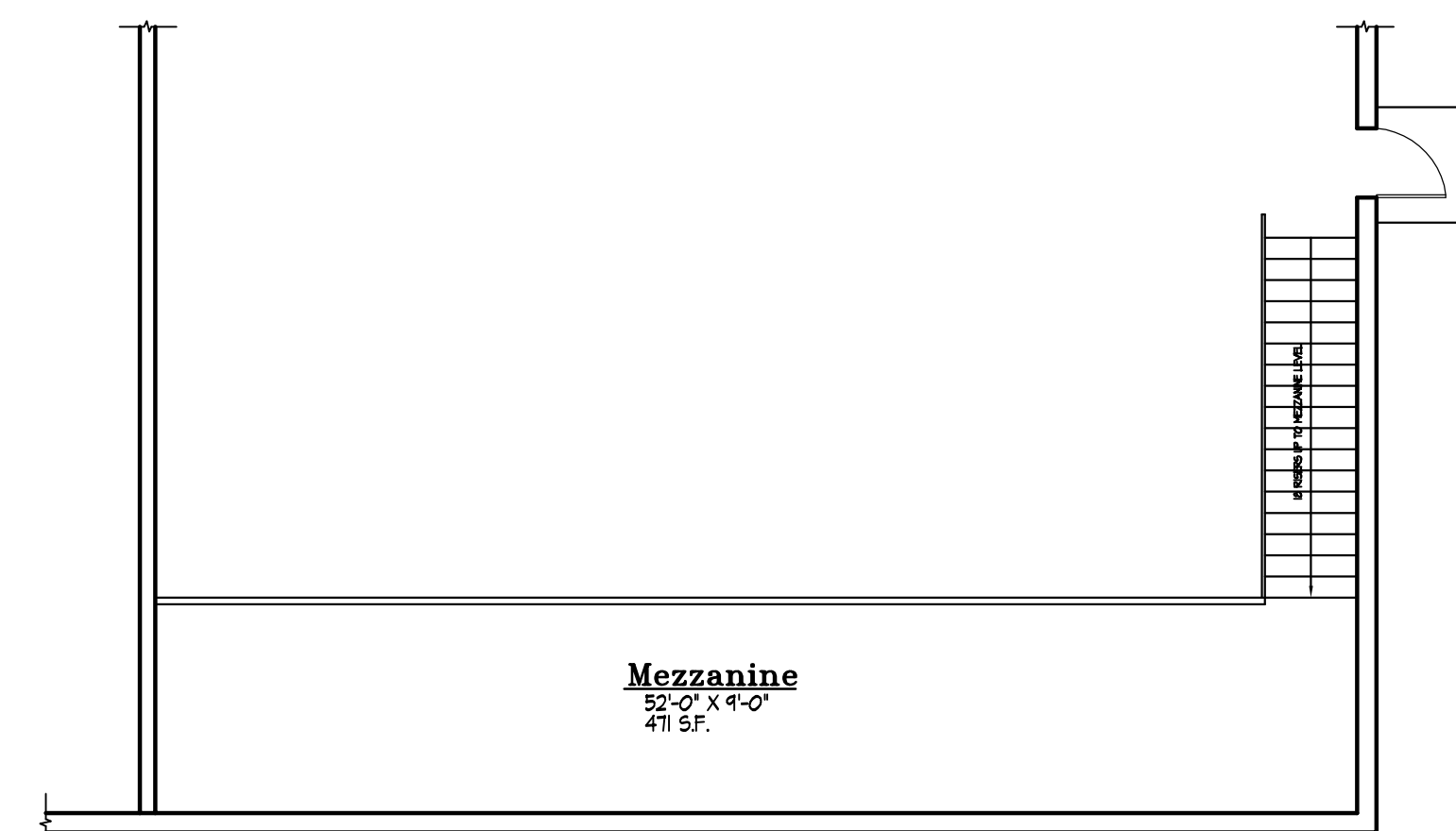
PLAN

C-5.0
SHEET

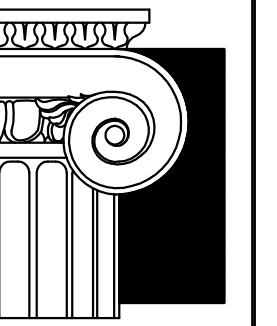
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Floor Plan X
Scale: 1/8" = 1'-0"



Mezzanine Plan
SCALE: 1/4" = 1'-0"



Architects
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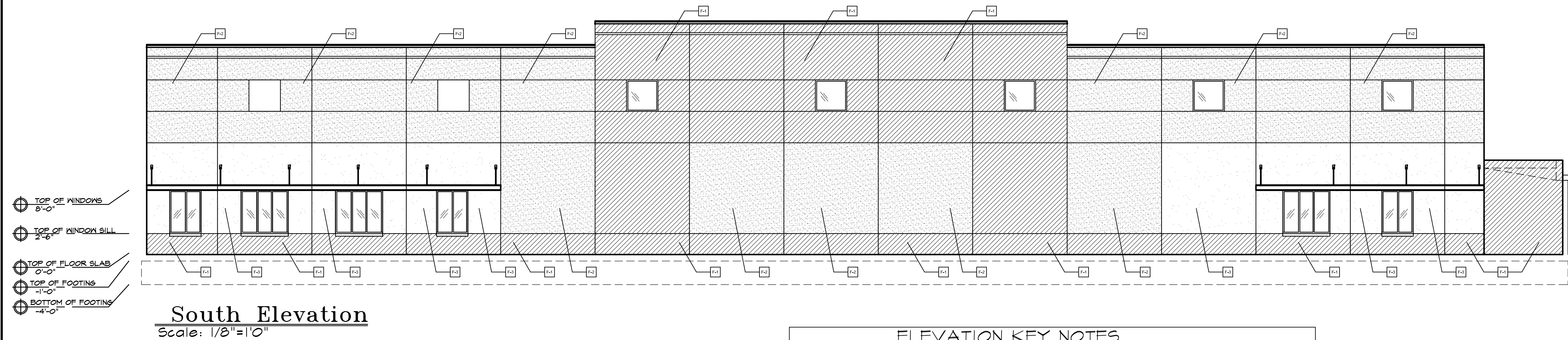
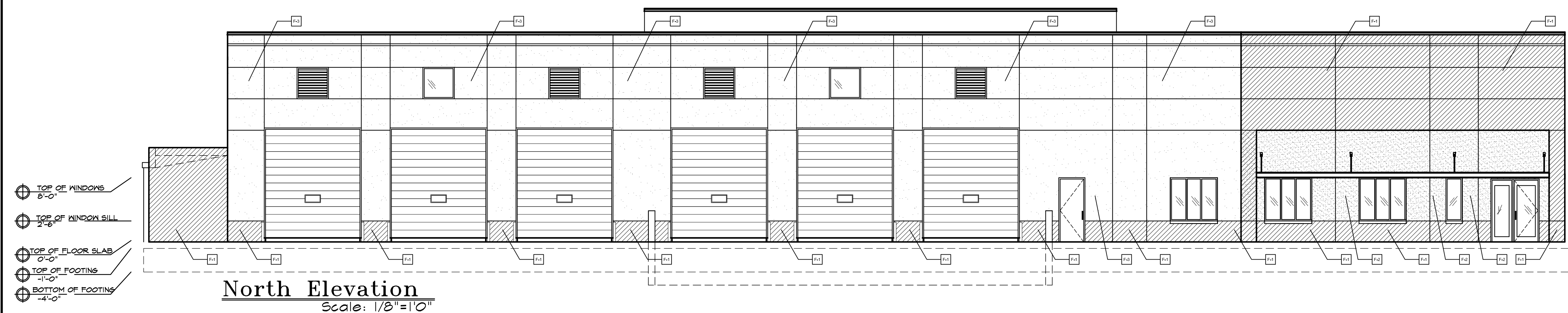
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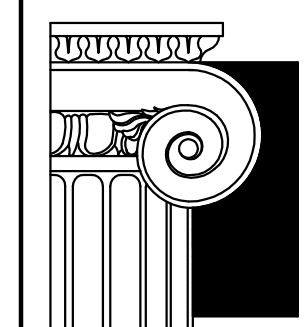
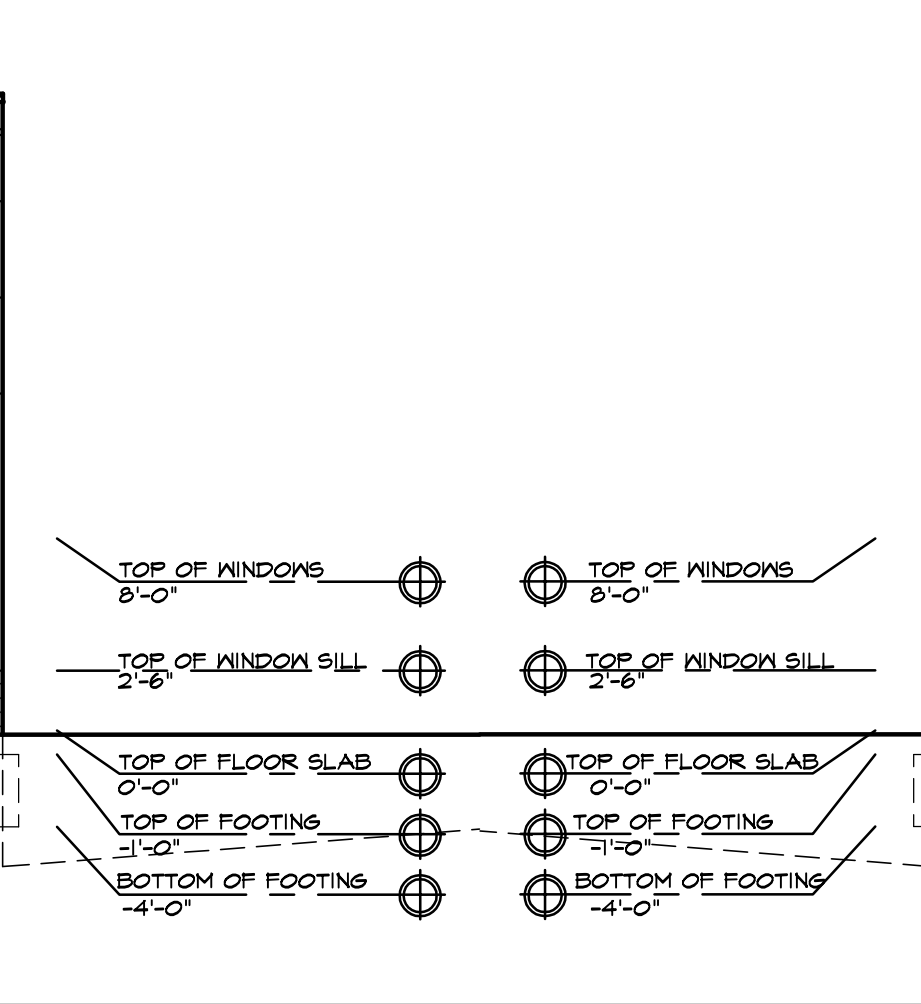
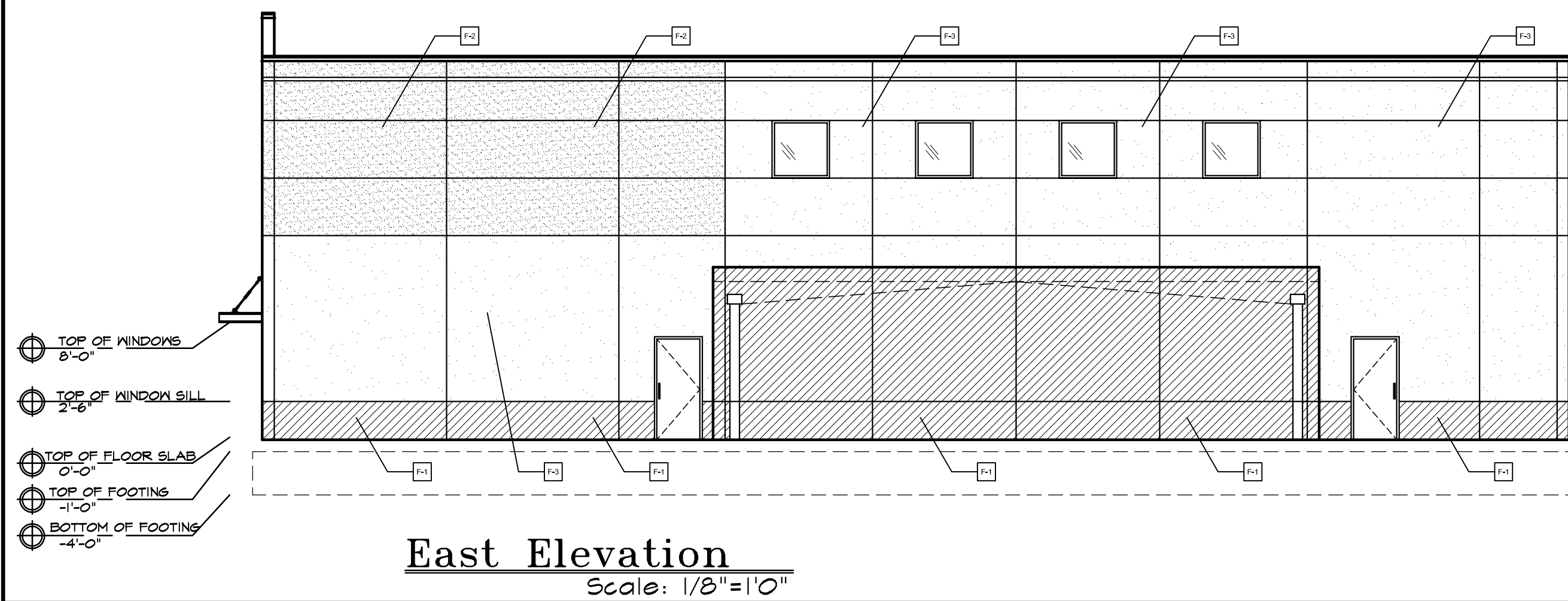
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ELEVATION KEY NOTES			
A-1	METAL CAP-PAINT TO MATCH STOREFRONT (DARK BRONZE)	A-11	ALUM. GUTTER-PAINT TO MATCH STOREFRONT (DARK BRONZE)
A-2	PRECAST WALL PANEL HORIZONTAL "SCORE LINE"	A-12	ALUM. PANEL TO MATCH STOREFRONT SYSTEM (DARK BRONZE)-BY STOREFRONT PROVIDER
A-3	PAINTED STEEL CANOPY FASCIA COLOR TO MATCH STOREFRONT SYSTEM (DARK BRONZE)	A-13	STANDING SEAM METAL ROOFING TO MATCH STOREFRONT SYSTEM (DARK BRONZE)
A-4	PRECAST CONCRETE WINDOWS SILL W/ DRIP EDGE (CAST AS PART OF WALL PANEL)	F-1	PRE-CAST CONCRETE WALL PANEL COLOR #1. VERIFY COLOR W/ ARCHITECT/OWNER
A-5	ALUMINUM & GLASS WINDOW/DOOR (STOREFRONT SYSTEM)	F-2	PRE-CAST CONCRETE WALL PANEL COLOR #2. VERIFY COLOR W/ ARCHITECT/OWNER
A-6	METAL ARCHITECTURAL ACCENT ROOF ELEMENT SEE DETAIL 6/A-10 (COLOR TO MATCH STOREFRONT-DARK BRONZE)	F-3	PRE-CAST CONCRETE WALL PANEL COLOR #3. VERIFY COLOR W/ ARCHITECT/OWNER
A-7	METAL PIPE BOLLARD-PAINTED "SAFETY YELLOW"		
A-8	INSULATED OVERHEAD DOORS COLOR BY OWNER		
A-9	HOLLOW METAL DOOR-PAINTED TO MATCH ALUMINUM STORE FRON (DARK BRONZE)		
A-10	ROOFING TERMINATION BAR		



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