FINAL ENGINEERING PLANS

DOG HAUS ROMEOVILLE

NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS 60446

Call Before You Dig
JULIE
1-800-892-0123

UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
VILLAGE OF ROMEOVILLE
615 ANDERSON DRIVE,
ROMEOVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: JONATHON ZABROCKI, P.E.

SANITARY SEWER SERVICE
VILLAGE OF ROMEOVILLE
615 ANDERSON DRIVE,
ROMEOVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

STORM SEWER SERVICE
VILLAGE OF ROMEOVILLE
615 ANDERSON DRIVE,
ROMEOVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

WATER SERVICE
VILLAGE OF ROMEOVILLE
615 ANDERSON DRIVE,
ROMEOVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

ROADWAY AUTHORITY
VILLAGE OF ROMEOVILLE
615 ANDERSON DRIVE,
ROMEOVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

POWER COMPANY
COMED
TEL: (630) 576-7094

NATURAL GAS COMPANY
NICOR
TEL: (630) 388-2362

TELEPHONE
AT&T
TEL: (630) 573-5450

PROJECT TEAM

DEVELOPER
KMR CONSTRUCTION, LLC
8700 JAMEEL RD, SUITE 140
HOUSTON, TX 77040
TEL: (713) 714-8652
CONTACT: MICHAEL FREIBURGER

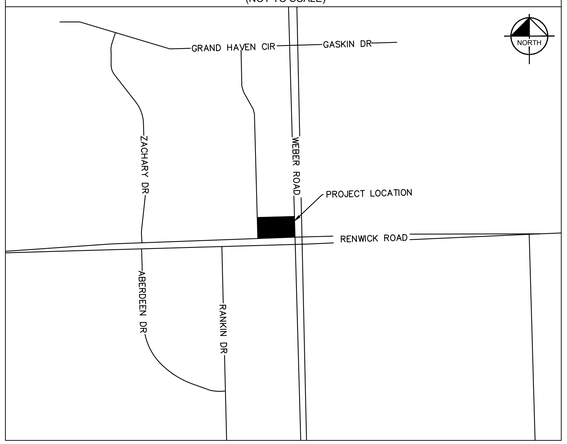
SURVEYOR
YOUNG-HOBBS AND ASSOCIATES
1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
TEL: (931) 645-2524
CONTACT: DAVE R. HOBBS, P.L.S.

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
LISLE, IL 60532
TEL: (630) 487-5550
EMAIL: ERIC.TRACY@KIMLEY-HORN.COM
CONTACT: ERIC TRACY, P.E.
EMAIL: PHILIP.NEAL@KIMLEY-HORN.COM
CONTACT: PHILIP NEAL, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350
LISLE, IL 60532
TEL: (630) 487-3450
EMAIL: KEITH.DEMCHINSKI@KIMLEY-HORN.COM
CONTACT: KEITH DEMCHINSKI, P.L.A.

LOCATION MAP

(NOT TO SCALE)



LEGAL DESCRIPTION

PARCEL 1: LOT 1 IN ROSE RESUBDIVISION NUMBER 3, BEING A RESUBDIVISION OF LOT 7 IN ROSE SUBDIVISION AND LOT 6A IN ROSE RESUBDIVISION NUMBER 2, BEING SUBDIVISIONS OF PART OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2018 AS DOCUMENT NUMBER R2018011500, IN WILL COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED MAY 25, 2005 AS DOCUMENT R2005-85737 AS AMENDED BY FIRST AMENDMENT RECORDED SEPTEMBER 28, 2015 AS DOCUMENT R2015-83217 FOR PEDESTRIAN AND VEHICULAR OVER THE COMMON AREA AS DEFINED IN SAID DECLARATION.

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 PK NAIL. WESTERN HALF OF SITE.

ELEVATION=649.97

Sheet List Table

DRAINAGE CERTIFICATION

I, ERIC TRACY, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THE DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES."

DATED THIS 16TH DAY OF MAY , A.D., 2018.

_____
ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-067482
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ERIC TRACY, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF KMR CONSTRUCTION, LLC BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 16TH DAY OF MAY , A.D., 2018.

_____
ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-067482
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

No.	REVISIONS	DATE	BY

Kimley»Horn

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: SMH
DRAWN BY: SMH
CHECKED BY: EJT

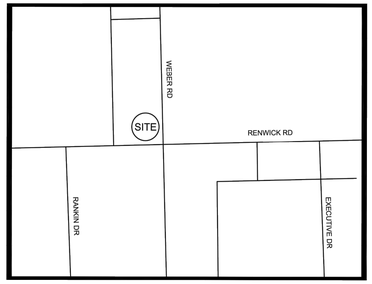
Dog Haus

TITLE SHEET

DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
SHEET NUMBER
C0.0

LOCATION MAP NTS



LEGEND

POC — POINT OF COMMENCEMENT
POB — POINT OF COMMENCEMENT
IRON PIN SET (IPS)
IRON PIN FOUND, AS NOTED
P. K. NAIL SET (PKS)
P. K. NAIL FOUND (PKF), AS NOTED
CONCRETE MONUMENT FOUND (CMF)
BENCHMARK, AS NOTED
FIRE HYDRANT
WATER VALVE
WATER METER
WATER MAIN, MANHOLE
UTILITY POLE
GUY WIRE
TRAFFIC POLE
ELECTRIC METER
OUTLET (ELECTRIC)
BOLLARD
SIGN, AS NOTED
ROOF DRAIN
IRRIGATION VALVE
GAS METER
GAS VALVE
FOC PULL BOX
TELEPHONE BOX
SEWER CLEAN OUT
SEWER CLEAN OUT
CURB INLET
GRATE INLET
STORM MANHOLE
DOMED STORM GRATE
PROPERTY LINE
EASEMENT LINE
SETBACK LINES
OVERHEAD WIRE
UNDERGROUND ELECTRIC
FENCE LINE
HANDRAIL
GAS LINE, AS NOTED
WATER LINE, AS NOTED
SANITARY SEWER, AS NOTED
UNDERGROUND TELEPHONE
STORM SEWER PIPE, AS NOTED
LIGHT POLE
LIGHT POLE(2-WAY)
LIGHT POLE(3-WAY)
LIGHT POLE(4-WAY)
XX — CORRESPONDS WITH SCHEDULE B FROM TITLE COMMITMENT

SURVEYOR'S CERTIFICATION

To: DH-800 S WEBER RD ROMEOVILLE IL LLC, A FLORIDA LIMITED LIABILITY COMPANY, LOAN FUNDER LLC, SERIES 2978, AND ITS SUCCESSORS AND/OR ASSIGNS, CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 8, 9, 10A, 10B, 11, 12, 13, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 7, 2017.

DATE OF PLAT OR MAP: NOVEMBER 17, 2017

DAVE HOBBS, PLS #035003980 — DATE 3/11/18

NOTES CORRESPONDING TO SCHEDULE B, SECTION II:

CHICAGO TITLE INSURANCE COMPANY
EFFECTIVE DATE: FEBRUARY 16, 2018
COMMITMENT NO.:17014593WF

K 20. Terms, provisions and conditions contained in the agreement to annex certain property and to amend an existing annexation agreement with the Village of Romeoville dated March 14, 2001 and recorded as Document No. R2001-065072, as authorized by Ordinance No. 4401, and as amended by First Amendment dated August 15, 2001 and recorded January 3, 2002 as Document No. R2002-001472, and as amended by Second Amendment dated June 19, 2002 and recorded October 10, 2002 as document number R2002-169721. (Affects the underlying land)
- DOES NOT AFFECT

L 21. Highway Maintenance and utility easement per document recorded January 23, 2003 as document number R2003-016054, and as shown on Rose Subdivision #3, aforesaid, as follows. (Affects the East and South 10 feet of Lot 1)
- AFFECTS, AS SHOWN

M 22. Agreement to not accept more than one (1) approved special use permits by the Village of Romeoville as contained in warranty deed recorded as Document No. R2003-219654 and the terms and conditions therein contained.
- AFFECTS; BLANKET IN NATURE

N 23. Notes set forth on the plat of Rose Resubdivision #3, aforesaid: Direct access to Renwick Road (County Highway 36) from Lot 1 is prohibited. Direct access to Weber Road from Lots 1, 2 and 3 is prohibited.
- AFFECTS, AS SHOWN.

O 24. Building line(s) as shown on the Plat of Rose Subdivision recorded as Document No. R2005-040528 and on the plat of Rose Resubdivision #3, aforesaid, as follows: (Affects 50 feet along the East line and 55 feet along the South Line of Lot 1 in Rose Subdivision #3)
- AFFECTS, AS SHOWN

Q 25. Easement to the Village of Romeoville and to the Rose Plaza of Romeoville Association for ingress and egress, public utilities and trees, and the easement provisions and grantees as set forth on the Plat of Rose Subdivision recorded as Document No. R2005-040528, affecting the West 15 to 25 feet of Lot 1 in Rose Resubdivision #3, aforesaid. See plat for exact location
- AFFECTS, AS SHOWN.

R 26. Easement to the Village of Romeoville for public utilities, sidewalks and trees, and the easement provisions and grantees as set forth on the Plat of Rose Subdivision recorded as document R2003016054 and as shown on the plat of Rose Resubdivision #3, aforesaid, over the following: (Affects the West 10 fet of the East 20 feet and the North 10 feet of the South 20 feet of Lot 1)
- AFFECTS, AS SHOWN.

S 27. Cross-access easement location for shared access, and the easement provisions and grantees as set forth on the Plat of rose Subdivision recorded as Document No. R2005-040528, and as shown and set forth on the plat of Rose Resubdivision #3, aforesaid, as follows: 13 feet along the North line and the West 30 feet of the East 50 feet of Lot 1 (See Plat for exact location)
- AFFECTS AS SHOWN.

T 28. County easement, and the easement provisions and grantees as set forth on the Plat of Rose Subdivision recorded as Document No. R2005-040528, and as shown on the plat of Rose Resubdivision #2, affecting the Southwest corner of Lot 1. (See Plat for exact location)
- AFFECTS AS SHOWN.

AI 29. Public Utility easement as set forth on a Certificate of Correction recorded as document R2005228067 and as shown on the plat of Rose Resubdivision #3, aforesaid, as follows: 10 feet along the mot southerly north line and the most westerly east line of Lot 1
- AFFECTS AS SHOWN.

AJ 30. Prop. public utility easement as shown and set forth on the plat of Rose Resubdivision #3, aforesaid, as follows: The north 10 feet of the east 10 feet of the west 25 feet of Lot 1
- AFFECTS AS SHOWN.

LEGAL DESCRIPTION (PER TITLE COMMITMENT):

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STORM STRUCTURE NOTE:

Storm structures shown with an (*) were full of water at the time of the field work and the surveyor was not able to obtain pipe sizes and invert elevations.

PARKING:

THERE ARE NO PARKING SPACES DELINEATED ONSITE.

SURVEY NOTES

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (ILLINOIS ONE CALL SYSTEM, INC. 1-800-DIG-TESS OR 811).

NO PRIVATE UTILITY LOCATE WAS PERFORMED ON THIS SITE AT THE TIME OF THIS SURVEY.

CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES, FOR EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 17197C0155E WITH AN EFFECTIVE DATE OF SEPTEMBER 6, 1995, IN WILL COUNTY, STATE OF ILLINOIS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED."

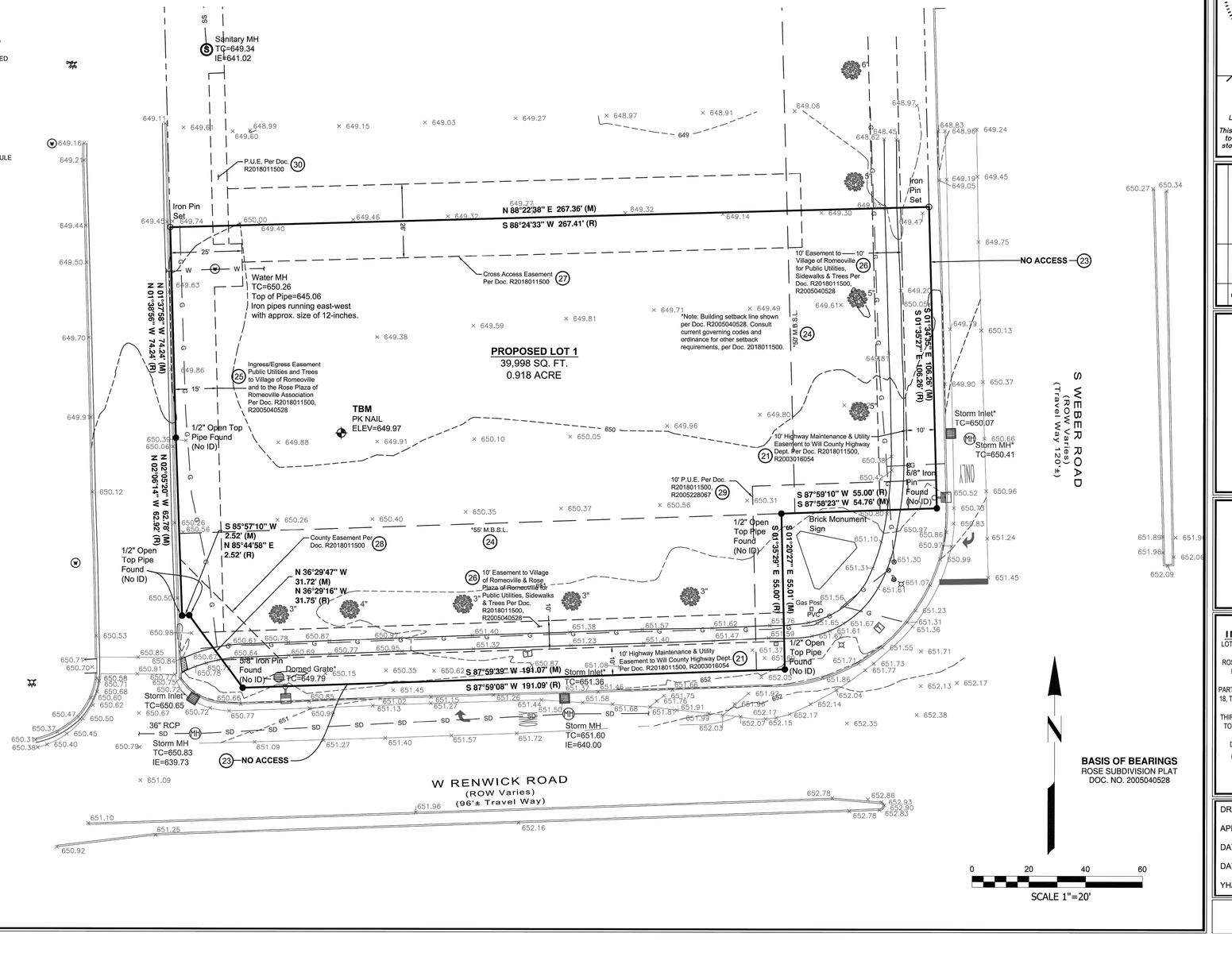
GROUND MEASUREMENTS ARE USED AS THE BASIS FOR LOCATION OF ALL FEATURES OF THE SUBJECT PROPERTY.

UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN "IRON PIN SET" IS A SET 1/2" DIAMETER REBAR, 24" IN LENGTH.

CONTACT APPROPRIATE GOVERNMENT AGENCY REGARDING BUILDING SETBACKS.

CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS. ELEVATIONS SHOWN HEREON ARE BASED ON AN OPUS SOLUTION DATED 11/7/17. (NAVD88, GEOID 12B)

I HEREBY CERTIFY THAT THE HEREON PLATTED AND DESCRIBED PROPERTY WAS COMPLETED UNDER MY SUPERVISION AND THE IRON PINS WERE FOUND OR SET, AS SHOWN ON THIS PLAT. ALL EASEMENTS AND ENCROACHMENTS REVEALED BY THE SURVEY ARE AS SHOWN ON THIS PLAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



YOUNG - HOBBS AND ASSOCIATES

1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768

DAVID N. YOUNG
DAVE R. HOBBS

PROFESSIONAL LAND SURVEYOR — DAVE R. HOBBS 035-003980 — CLARKSVILLE, TENNESSEE — STATE OF ILLINOIS

SIGNATURE
3/11/18
DATE
LICENSE EXPIRES 11/30/2018

This professional service conforms to the current Illinois minimum standards for a boundary survey

No.	Date	Revision
5		
4		
3		
3		
2		
1	3-11-18	UPDATED TITLE COMMITMENT

Client:
Kimley Horn and Associates, Inc.
214 Oceanside Drive
Nashville, TN

ALTA/NSPS LAND TITLE SURVEY

OWNER INFORMATION

LOT 1 ROSE RESUBDIVISION #3, BEING A RESUBDIVISION OF LOT 7 IN ROSE SUBDIVISION AND LOT 6A IN ROSE RESUBDIVISION NUMBER 2, BEING SUBDIVISIONS OF PART OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 16, 2018 AS DOCUMENT NUMBER R2018011500,

CITY OF ROMEOVILLE
COUNTY OF WILL
STATE OF ILLINOIS

DRAWN BY:	CTH
APPROVED BY:	DRH
DATE: (FIELD)	11/7/2017
DATE: (OFFICE)	11/17/2017
YHA PRO. #	162-17

V0.0

GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

   YOUNG-HOBBS AND ASSOCIATES
   1202 CROSSLAND AVE.
   CLARKSVILLE, TE 37040
   TEL: (931) 645-2524

   COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.

3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:

   A. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.

   B. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" AS PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION.

   C. "ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION.

   D. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE VILLAGE OF ROMEOVILLE, UNLESS OTHERWISE NOTED ON THE PLANS.

   E. THE NATIONAL ELECTRIC CODE.

   F. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.

5. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT.

6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.

7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

8. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC, THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN.

9. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

10. CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER.

11. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS.

13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.

14. NOTIFICATION OF COMMENCING CONSTRUCTION:

    14.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE VILLAGE OF ROMEOVILLE, AND THE OWNER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.

    14.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE CONTRACTOR.

15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE MUNICIPALITY.

16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER IDOT SECTION 201.05. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.

18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT, FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.

20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.

21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH DISPOSAL.

22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE OF ROMEOVILLE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE OF ROMEOVILLE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY.

24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL, AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.

25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL J.U.L.I.E. (1-800-892-0123) AND THE VILLAGE OF ROMEOVILLE FOR UTILITY LOCATIONS.

26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.

28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT.

30. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.

32. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL-COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING.

33. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.

34. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.

35. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH IEPA REGULATIONS AND IDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER, HAS DEVELOPED.

37. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS AS WELL AS THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP AT A MINIMUM, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SWPPP DOCUMENTATION CURRENT AND READILY AVAILABLE ON THE PROJECT SITE AT ALL TIMES FOR REVIEW BY THE OWNER, ENGINEER, AND REGULATORY AGENCIES. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR SUPPLIERS, WHICH CONTRIBUTE TO DEFICIENCIES IN THE SWPPP OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION AND/OR DOCUMENTATION.

38. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON-SITE AT ALL TIMES.

39. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER IDOT STANDARDS.

40. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED OTHERWISE.

41. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.

42. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.

43. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.

44. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE VILLAGE OF ROMEOVILLE, AS NECESSARY.

EARTHWORK NOTES

1. GENERAL

1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.

1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.

1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.

1.4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.

1.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.

1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.

2. TOPSOIL EXCAVATION INCLUDES:

2.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.

2.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.

2.3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.

2.4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.

2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.

3. EARTH EXCAVATION INCLUDES:

3.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.

3.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.

3.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.

3.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.

4. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.

5. MISCELLANEOUS. THE CONTRACTOR SHALL:

5.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.

5.2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.

5.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.

6. TESTING AND FINAL ACCEPTANCE

6.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER. (SEE PAVING SPECIFICATION.)

6.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

PAVING NOTES

1. GENERAL

1.1. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.

1.2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)]: SUBGRADE = 93%; SUBBASE = 93%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = 95% OF MAXIMUM DENSITY, PER ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) HIGHWAY STANDARDS.

1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE VILLAGE OF ROMEOVILLE CODE.

2. SUBGRADE PREPARATION

2.1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.

2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:

2.2.1. SCARIFY, DISC, AND AERATE.

2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.

2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.

2.2.4. USE OF GEOTEXTILE FABRIC.

MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.

2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER.

3. CONCRETE WORK

3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS AND A MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH AT TWENTY-EIGHT (28) DAYS. ALL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.

3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE-MOLDED FIBER EXPANSION JOINTS, WITH TWO 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES

3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.

3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.

3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 20-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.

3.6. CONCRETE CURING AND PROTECTION SHALL BE PER IDOT STANDARDS. TWO (2) COATS OF IDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.

3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.

4. FLEXIBLE PAVEMENT

4.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, BITUMINOUS CONCRETE BINDER COURSE, SUPERPAVE, IL-19, N50; AND BITUMINOUS CONCRETE SURFACE COURSE, SUPERPAVE, MIX N50, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.

4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE IDOT APPROVED.

4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER IDOT STANDARDS.

4.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.

5. TESTING AND FINAL ACCEPTANCE.

5.1. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE ENGINEER.

5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE VILLAGE OF ROMEOVILLE, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.

5.3. WHEN REQUIRED BY THE VILLAGE OF ROMEOVILLE, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD REQUIRED BY IDOT STANDARDS.

5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.

6. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE VILLAGE OF ROMEOVILLE CODE. WHEN CONFLICTS ARISE BETWEEN MUNICIPAL CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE.

SIGNAGE AND PAVEMENT MARKING NOTES

1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) STANDARDS.

2. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD.

3. POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT, SUCH AS A TYPE B METAL POST, AS PER THE IDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE).

4. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH IDOT STANDARDS.

5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC.

6. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH IDOT STANDARDS.

7. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE OR YELLOW PER LOCAL CODE.

8. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.

SANITARY SEWER NOTES

1. SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-26), CONFORMING TO ASTM D3034 AND D2241 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3139 AND D3212. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND VILLAGE OF ROMEOVILLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
4" – 12"	PVC	POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)
4"–48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)

2. BAND-SEAL OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE ¼" TO 1" IN SIZE WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NO LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. AS A MINIMUM, THE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 704.01 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE STATE OF ILLINOIS OR ASTM C-33. THE GRADATION SHALL CONFORM TO GRADATION CA-11 OR CA-13 OF THE ILLINOIS STANDARD SPECIFICATIONS AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.

3. ALL UNSUITABLE MATERIALS SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL OR STONE, AS PER IDOT STANDARDS.

4. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF TWO (2) FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL PER IDOT STANDARDS AND THOROUGHLY MECHANICALLY COMPACTED IN 9-INCH THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS NOT PERMITTED.

5. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.

6. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE VILLAGE OF ROMEOVILLE.

7. WATERMAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) REQUIREMENTS, AS SPECIFIED IN THE STANDARDS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.

8. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE, EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES:

   A. IF NECESSARY PERMISSION SHALL BE OBTAINED FROM THE VILLAGE OF ROMEOVILLE IN WRITING PRIOR TO BEGINNING CONSTRUCTION.

   B. THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER AND 18 INCHES HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.

9. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. A WATERTIGHT BOOT, CONFORMING TO ASTM C-923, SHALL BE USED AT THE PIPE-STRUCTURE CONNECTION.

10. ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT SLEEVES. THE BOTTOM OF THE MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.

11. FRAMES AND LIDS: SEE DETAILS FOR ALL SANITARY SEWER MANHOLE FRAMES AND LIDS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF-SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN THE FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.

12. A MAXIMUM OF TWELVE (12) INCHES OF CONCRETE-ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.

13. CLEANING: ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.

14. TESTING: DEFLECTION, AIR, AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS.

15. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH THE VILLAGE OF ROMEOVILLE CODE.

16. TELEVISING: IF REQUIRED BY THE MUNICIPALITY, ALL SANITARY SEWERS SHALL BE TELEVISED, AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE VILLAGE OF ROMEOVILLE BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS, AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEOTAPES.

17. TEST RESULTS: IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND REPAIR, OR REPLACE ALL MATERIALS AND WORKMANSHIP, AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS.

18. CERTIFICATION: CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING." ASTM STANDARDS D-2241, AS APPROPRIATE FOR THE PIPE, TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT FIVE (5) PERCENT MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.

19. CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO THE LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

STORM SEWER NOTES

1. STORM SEWER PIPE: ALL STORM SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS FOR DETERMINING PIPE CLASS AND CONFORMING TO ASTM C76. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND VILLAGE OF ROMEOVILLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL STORM SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
12"–60"	RCP	REINFORCED CONCRETE PIPE (ASTM C76); SEE IDOT SPECS FOR PIPE CLASS
3" – 12"	PVC	POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)
3"–48"	HDPE	HIGH DENSITY POLYETHYLENE PIPE
3"–48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)

2. BAND-SEAL OR SIMILAR COUPLING SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.

3. ALL FOOTING DRAIN DISCHARGE PIPES AND DOWN SPOUTS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.

4. CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.

5. COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST TWO (2) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES THAT HAVE LESS THAN TWO (2) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.

6. STRUCTURES: MANHOLE, CATCH BASIN, AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM OF FOUR (4) FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH "O" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE USED.

7. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.

8. THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.

9. CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.

10. THE STORM SEWER SHALL BE TELEVISED IF REQUIRED BY THE VILLAGE OF ROMEOVILLE.

11. MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE VILLAGE OF ROMEOVILLE.

12. ALL PVC PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE VILLAGE OF ROMEOVILLE REQUIREMENTS.

WATERMAIN NOTES

1. WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE CONSTRUCTED OF BITUMINOUS-COATED CEMENT-LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A21.4 (AWWA C104). THE JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS CONFORMING TO ANSI A21.11 (AWWA C111). ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND VILLAGE OF ROMEOVILLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL WATERMAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
3"–48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
< 3"		TYPE "K" COPPER PIPE

2. FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI AS21.10 (AWWA C110).

3. VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS. ALL VALVES SHALL TURN COUNTER-CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH BRONZE-MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509. THE VALVES SHALL HAVE MECHANICAL JOINTS.

4. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.

5. VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES FIVE (5) FEET IN DIAMETER, AS NOTED ON THE PLANS. THE FRAME AND LID SHALL BE ACCORDING TO THE DETAIL ON THE PLANS, WITH "WATER" EMBOSSED ON THE LID.

6. FIRE HYDRANTS: SEE PLANS FOR APPROVED FIRE HYDRANT DETAIL. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. FIRE HYDRANTS SHALL HAVE AUXILIARY VALVES WITH A HYDRANT BARREL TO VALVE BOX RESTRAINING DEVICE. THE PUMPER CONNECTION SHALL FACE THE ROADWAY.

7. PROVIDE AND INSTALL FOUR MEGALUG JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND THE HYDRANT BARREL.

8. THE BREAK FLANGE AND ALL BELOW-GRADE FITTING SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.

9. CORPORATION STOPS: CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA C-800 AND SHALL INCLUDE "J" BEND, TAILPIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS SHOWN ON THE PLANS.

10. SERVICE BOX: PROVIDE CURB VALVE AND CURB BOX, AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6) FEET OF BURY.

11. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.

12. BEDDING: ALL WATERMAINS SHALL BE BEDDED ON FIRM GROUND, WITH BELLHOLES EXCAVATED SO THAT THE PIPE HAS AN EVEN BEDDING FOR ITS ENTIRE LENGTH.

13. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION.

14. A MINIMUM DEPTH OF COVER OF 5-FEET, 6-INCHES SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE EIGHT (8) FEET, EXCEPT AT SPECIAL CROSSINGS AND ONLY AS DESIGNATED ON THE PLANS..

15. "MEGA-LUG" RETAINER GLANDS AND THRUST BLOCKING SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS, FITTINGS, TEES, ELBOWS, ETC. "MEGA-LUG" RESTRAINED JOINTS ARE REQUIRED ON ALL VALVES AND ALL FITTINGS. THE COST FOR THIS WORK SHALL BE INCIDENTAL TO THE UNIT PRICE FOR THE PIPE INSTALLED.

16. ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) AND VILLAGE OF ROMEOVILLE WATERMAIN PROTECTION:

16.1. HORIZONTAL SEPARATION

16.1.1. WATERMAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, OR SEWER SERVICES CONNECTION.

16.1.2. WATERMAINS MAY BE LAID CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:

16.1.2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET;

16.1.2.2. THE WATERMAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER;

16.1.2.3. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

16.1.3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION AND IN CONFORMANCE WITH THE ILLINOIS STANDARDS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. THE DRAIN OR SEWER SHALL BE PRESSURE-TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

16.2. VERTICAL SEPARATION

16.2.1. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.

16.2.2. BOTH THE STORM SEWER AND SANITARY SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION OR THE STORM SEWER SHALL BE CONSTRUCTED USING "O" RING GASKET JOINTS, PER ASTM C-443, OR THE WATERMAIN MAY BE IN ENCASED IN A WATERTIGHT CASING PIPE WHEN:

16.2.2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, AS DESCRIBED ABOVE; OR

16.2.2.2. THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.

16.2.3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING OF THE WATERMAIN.

16.2.4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

17. ALL WATERMAINS SHALL BE PRESSURE-TESTED FOR A MIN. OF 2 HOURS AT 200 PSI, FLUSHED, AND DISINFECTED IN ACCORDANCE WITH AWWA AND VILLAGE OF ROMEOVILLE SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE-TESTED FOR A MINIMUM OF ONE (1) HOUR. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE VILLAGE OF ROMEOVILLE. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.

VILLAGE OF ROMEOVILLE NOTES

WATERMAIN
1. WATERMAIN MUST HAVE A MINIMUM COVER DEPTH OF 5'-6". ALL WATERMAINS MUST BE WRAPPED IN POLYETHYLENE USING METHOD 'B'. ALL JOINTS MUST BE RESTRAINED WITH MEGALUGS (EBAA IRON) ONLY.
2. VALVE VAULT REQUIREMENTS:
   2.1. MANHOLES MUST CONFORM TO THE LATEST REQUIREMENTS OF ASTM C478.
   2.2. NEVER TRANSPORT SECTIONS TO THE SITE UNTIL THEY HAVE CURED FOR AT LEAST TEN (10) DAYS.
   2.3. MARK EACH PIECE PLAINLY WITH MANHOLE NUMBERS AND DATE OF MANUFACTURE SO IT CAN BE INSTALLED IN THE PROPER LOCATION, AS SHOWN ON THE PLANS.
   2.4. MAKE SURE FACTORY-INSTALLED CUTOUTS IN THE BOTTOM SECTION ARE APPROPRIATE FOR THE PIPE BEING LAID.
   2.5. PIPE CONNECTIONS AT MANHOLE – CUTOUTS SHOULD BE EQUIPPED WITH RUBBER BOOTS TO ENSURE A WATERTIGHT CONNECTION. MATERIAL SHALL BE EQUAL TO COR-N-SEALL CONNECTOR, AS MANUFACTURED BY NPC, INC.
   2.6. JOINT SEALANT – FLEXIBLE RUBBER SEALANT FOR JOINTS IN PRE-CAST MANHOLE SECTIONS SHALL PROVIDE PERMANENTLY FLEXIBLE WATERTIGHT JOINTS, SHALL REMAIN WORKABLE OVER A WIDE TEMPERATURE RANGE AND SHALL NOT SHRINK, HARDEN OR OXIDIZE UPON AGING. MATERIAL SHALL BE EQUAL TO TYLOX SUPERSEAL AND SHALL MEET ASTM C 443 AND ASTM C 361 REQUIREMENTS.
   2.7. THE FRAME FOR THE LID SHALL BE INSTALLED WHEN CONE SECTION IS CAST.
   2.8. HEAT-SHRINKABLE ENCAPSULATION FOR EXTERNAL WRAPPING OF ALL JOINTS: WRAPID SEAL AS MANUFACTURED BY CANUSA CPS, BIDCO EXTERNAL JOINT WRAP AS MANUFACTURED BY NPC, OR APPROVED EQUAL.
3. BE CONSCIOUS OF DAMAGING THE PAINT ON THE HYDRANTS DURING INSTALLATION. THE VILLAGE OF ROMEOVILLE HAS FOUND THAT THE PAINT ON THE HYDRANTS CAN BE DAMAGED DURING BACKFILLING. IF REQUESTED BY THE VILLAGE OF ROMEOVILLE WATER SUPERINTENDENT, ANY HYDRANTS EXHIBITING EXCESSIVE ROCK DAMAGE WILL BE SAND BLASTED AND REPAINTED BY AN APPROVED CONTRACTOR PRIOR TO ACCEPTANCE.
4. A MINIMUM OF 48 HOURS PRIOR TO ANY WATER USAGES (I.E. FLUSHES, FILLS, ETC.), THE CONTRACTOR MUST CALL THE VILLAGE OF ROMEOVILLE'S WATER DEPARTMENT AT 815-886-1870 TO GET APPROVAL OF SAID USAGE. ANY UNAUTHORIZED USAGES WILL RESULT IN PENALTIES.
5. ALL VALVES AND HYDRANTS SHALL BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE WATER DEPARTMENT FOR WRITTEN APPROVAL PRIOR TO ORDERING.
6. VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES FIVE (5) FEET IN DIAMETER, AS NOTED ON THE PLANS. THE FRAME AND COVER SHALL BE EAST JORDAN #1022Z3 EMBOSSED WITH 1020A HD "WATER" AND "VILLAGE OF ROMEOVILLE." ALL JOINTS NEED TO BE EXTERNALLY WRAPPED WITH MACWRAP OR EQUAL.MINIMUM OF TWO (2) ADJUSTING RINGS (MIN 6" ADJUSTING HEIGHT) AND MAXIMUM OF THREE (3) RINGS (MAX 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, TOP RING SHOULD BE RUBBER. USE ONE (1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISERS (1" TO 3" MAX HEIGHT OF STACKED RISERS).

SANITARY SEWER
1. PIPES MUST HAVE A MINIMUM COVER DEPTH OF 5 FEET. PIPES MUST BE PVC SDR 26 WHEN LESS THAN 15 FEET DEEP, PVC SDR 21 WHEN 15-20 FEET DEEP, AND PVC SDR 18 WHEN OVER 20 FEET DEEP.
2. ALL MANHOLES LOCATED IN AREAS SUBJECT TO INUNDATION MUST HAVE WATERPROOF, BOLT-DOWN FRAMES AND LIDS.
3. PLEASE USE AN INTERNAL/EXTERNAL ADAPTOR SEAL ON SANITARY MANHOLES. ONE VENDOR OF THIS SEAL IS ADAPTOR INC.
4. SANITARY MANHOLE FRAME AND COVER SHALL BE EAST JORDAN 1022Z3 EMBOSSED WITH "SANITARY" AND "VILLAGE OF ROMEOVILLE". ALL JOINTS NEED TO BE EXTERNALLY WRAPPED WITH MACWRAP OR EQUAL. RUBBER GASKETED BOOTS ARE REQUIRED FOR THE MAIN AT THE MANHOLE WALL.
5. ALL SANITARY MANHOLE CASTINGS, ADJUSTING RINGS, AND MANHOLE SECTIONS SHALL BE SET IN BUTYL ROPE OR APPROVED EQUAL. EACH MANHOLE CONE AND BARREL SECTION JOINT SHALL ALSO BE EXTERNALLY SEALED WITH A 6" WIDE WEALING BAND OR RUBBER AND MASTIC. THE BAND SHALL HAVE AN OUTER LAYER OF RUBBER OR POLYETHYLENE WITH AN UNDER LAYER OF RUBBERIZED MASTIC MEETING THE REQUIREMENTS OF ASTM C-877-02 (STANDARD SPECIFICATION FOR EXTERNAL SEALING BANDS FOR CONCRETE PIPE, MANHOLES, AND PRECAST BOX SECTIONS). PIPE CONNECTIONS TO NEW AND EXISTING MANHOLES THROUGH OPENINGS (CAST OR CORE-DRILLED) SHALL BE PROVIDED WITH A FLEXIBLE RUBBER WATERTIGHT CONNECTOR CONFORMING TO ASTM C-923 (STANDARD SPECIFICATIONS FOR RESILIENT CONNECTIONS BETWEEN REINFORCED CONCRETE MANHOLE STRUCTURES AND PIPES).
6. PER VILLAGE OF ROMEOVILLE STANDARDS, ALL MANHOLES LOCATED IN AREAS SUBJECT TO INUNDATION MUST HAVE WATERPROOF, BOLT-DOWN FRAMES AND LIDS.
7. RUBBER GASKETED BOOTS ARE REQUIRED FOR ALL PENETRATIONS THROUGH THE MANHOLE WALL. INTERNAL/EXTERNAL CHIMNEY SEALS ARE REQUIRED. INTERNAL CHIMNEY SEALS SHALL BE ENVIROLASTIC AR350 OR RAVEN 481 BRUSH GRADE, A 100% SOLIDS, FLUID APPLIED POLYURIA ELASTOMER REPAIR MATERIAL AS APPLIED PER THE FOLLOWING: FOR SURFACE PREPARATION, SURFACES SHOULD BE THOROUGHLY CLEAN AND DRY. CONCRETE AND MORTAR MUST BE CURED AT LEAST 7 DAYS AND NO FROST OR WET CONDITIONS CAN BE PRESENT DURING INSTALLATION. REMOVE ALL LOOSE MORTAR AND FOREIGN MATERIAL. SURFACE MUST BE FREE OF LAITANCE , CONCRETE DUST, DIRT, FORM RELEASE AGENTS, MOISTURE CURING MEMBRANES, LOOSE CEMENT AND HARDENERS. FILL BUG HOLES, AIR POCKETS, AND OTHER VOIDS WITH STEEL-SEAM FT910. AFTER ENSURING THAT ALL SURFACES ARE CLEAN THE CHIMNEY SEAL COATING MATERIAL SHALL BE APPLIED EVENLY BY SPRAYING OVER THE ENTIRE CHIMNEY SEAL INCLUDING THE FRAME JOINT AREA AND THE VERTICAL RISER OF THE MANHOLE CONE INCLUDING ALL EXTENSIONS TO THE CHIMNEY AREA. APPLICATION SHALL BE MADE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND FILM SHALL BE APPLIED AT A WET MILS SPREADING RATE OF BETWEEN 100 AND 125 MILS. THE FINAL INTERNAL CHIMNEY SEAL SHALL PASS VISUAL INSPECTION AND BE COMPLETELY FREE OT PINHOLES OR VOIDS.

STORM SEWER
1. STORM SEWER JOINTS MUST BE FLEXIBLE GASKET O-RINGS PER ASTM C361, ASTM C433, AND ASTM C1619
2. VILLAGE OF ROMEOVILLE REQUIRES SUBMISSION OF RECORDED VIDEO INSPECTIONS OF ALL PUBLIC STORM SEWER.
3. FOR CLOSED LID STRUCTURES, FRAME AND COVER SHALL BE EAST JORDAN 1022Z3 EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE".
4. INTERNAL/EXTERNAL CHIMNEY SEALS ARE REQUIRED. INTERNAL CHIMNEY SEALS SHALL BE ENVIROLASTIC AR350 OR RAVEN 481 BRUSH GRADE, A 100% SOLIDS, FLUID APPLIED POLYURIA ELASTOMER REPAIR MATERIAL AS APPLIED PER THE FOLLOWING: FOR SURFACE PREPARATION, SURFACES SHOULD BE THOROUGHLY CLEAN AND DRY. CONCRETE AND MORTAR MUST BE CURED AT LEAST 7 DAYS AND NO FROST OR WET CONDITIONS CAN BE PRESENT DURING INSTALLATION. REMOVE ALL LOOSE MORTAR AND FOREIGN MATERIAL. SURFACE MUST BE FREE OF LAITANCE , CONCRETE DUST, DIRT, FORM RELEASE AGENTS, MOISTURE CURING MEMBRANES, LOOSE CEMENT AND HARDENERS. FILL BUG HOLES, AIR POCKETS, AND OTHER VOIDS WITH STEEL-SEAM FT910. AFTER ENSURING THAT ALL SURFACES ARE CLEAN THE CHIMNEY SEAL COATING MATERIAL SHALL BE APPLIED EVENLY BY SPRAYING OVER THE ENTIRE CHIMNEY SEAL INCLUDING THE FRAME JOINT AREA AND THE VERTICAL RISER OF THE MANHOLE CONE INCLUDING ALL EXTENSIONS TO THE CHIMNEY AREA. APPLICATION SHALL BE MADE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND FILM SHALL BE APPLIED AT A WET MILS SPREADING RATE OF BETWEEN 100 AND 125 MILS. THE FINAL INTERNAL CHIMNEY SEAL SHALL PASS VISUAL INSPECTION AND BE COMPLETELY FREE OT PINHOLES OR VOIDS. MINIMUM OF TWO (2) ADJUSTING RINGS (MIN 6" ADJUSTING HEIGHT) AND MAXIMUM OF THREE (3) RINGS (MAX 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, TOP RING SHOULD BE RUBBER. USE ONE (1) EJIW INFRA-RISER RUBBER COMPOSITE.
5. ALL CLOSED LID STRUCTURES, FRAME AND COVER SHALL BE EAST JORDAN 1022Z3 EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE."
6. PER VILLAGE OF ROMEOVILLE STANDARDS, ALL MANHOLES LOCATED IN AREAS SUBJECT TO INUNDATION MUST HAVE WATERPROOF, BOLT-DOWN FRAMES AND LIDS.
7. SEE ROMEOVILLE GATEWAY PLANS AND STORMWATER MANAGEMENT REPORT BY V3 COMPANIES FOR OVERALL DEVELOPMENT DRAINAGE CALCULATIONS.

EROSION AND SEDIMENT CONTROL
1. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
2. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
3. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENT CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OR WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
6. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR REDISTURBANCE.
7. IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
8. EROSION CONTROL BLANKET, TEMPORARY SEEDING, & PERMANENT SEEDING TO BE PROVIDED AS SPECIFIED ON THE EROSION CONTROL PLAN TO CONTROL DUST.

No.	REVISIONS	DATE	BY

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SCALE: AS NOTED
DESIGNED BY: SMH
DRAWN BY: SMH
CHECKED BY: EJT

GENERAL NOTES

DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
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C1.0

Drawing name: K:\CHS_LDEV\118220003_DogHaus_Romeoville_IL\2 Design\CAD\PlanSheets\C2.0-EXISTING CONDITIONS AND DEMOLITION PLAN.dwg Layout1 Jun 07, 2018 2:52pm by: sean.hickey

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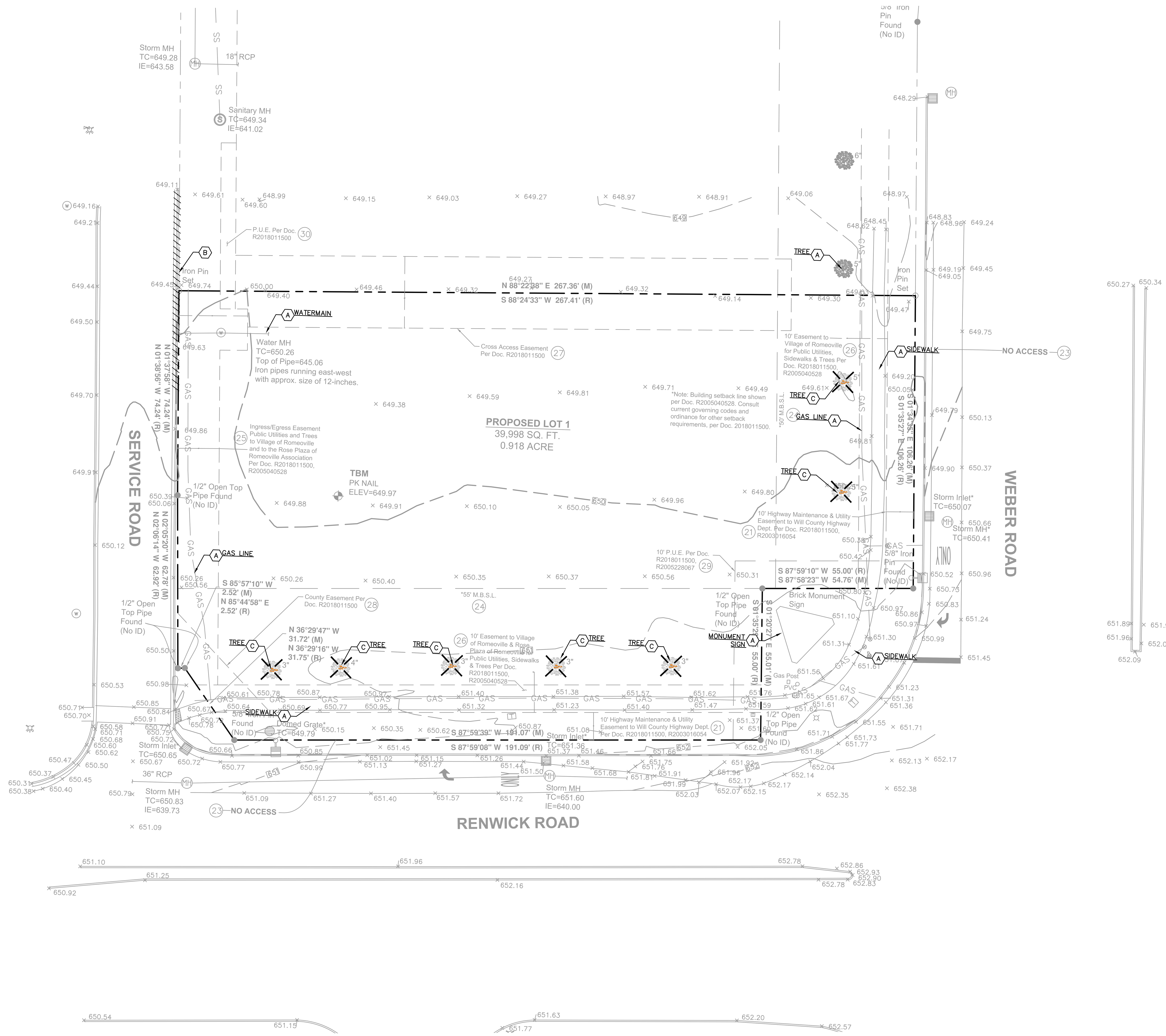
SERVICE ROAD
WEBER ROAD
RENWICK ROAD
PROPOSED LOT 1
39,998 SQ. FT.
0.918 ACRE
TBM
PK NAIL
ELEV=649.97
Storm MH
TC=649.28
IE=643.58
18" RCP
Sanitary MH
TC=649.34
IE=641.02
Water MH
TC=650.26
Top of Pipe=645.06
Iron pipes running east-west
with approx. size of 12-inches.
WATERMAIN
GAS LINE
SIDEWALK
TREE
MONUMENT SIGN
Brick Monument Sign
NO ACCESS
N 88°22'38" E 267.36' (M)
S 88°24'33" W 267.41' (R)
S 87°59'39" W 191.07' (M)
S 87°59'08" W 191.09' (R)
S 87°59'10" W 55.00' (R)
S 87°58'23" W 54.76' (M)
N 01°37'58" W 74.24' (M)
N 01°38'56" W 74.24' (R)
N 02°05'20" W 62.78' (M)
N 02°06'14" W 62.92' (R)
S 01°34'35" E 106.26' (M)
S 01°35'27" E 106.26' (R)
S 01°20'27" E 55.01' (M)
S 01°35'27" E 55.00' (R)
S 85°57'10" W
2.52' (M)
N 85°44'58" E
2.52' (R)
N 36°29'47" W
31.72' (M)
N 36°29'16" W
31.75' (R)
Cross Access Easement Per Doc. R2018011500
P.U.E. Per Doc. R2018011500
Ingress/Egress Easement Public Utilities and Trees to Village of Romeoville and to the Rose Plaza of Romeoville Association Per Doc. R2018011500, R2005040528
10' Easement to Village of Romeoville for Public Utilities, Sidewalks & Trees Per Doc. R2018011500, R2005040528
*Note: Building setback line shown per Doc. R2005040528. Consult current governing codes and ordinance for other setback requirements, per Doc. 2018011500.
10' Highway Maintenance & Utility Easement to Will County Highway Dept. Per Doc. R2018011500, R2003016054
10' P.U.E. Per Doc. R2018011500, R2005228067
County Easement Per Doc. R2018011500
*55' M.B.S.L.
*50' M.B.S.L.
Storm Inlet*
TC=650.07
Storm MH*
TC=650.41
Storm Inlet
TC=650.65
Storm MH
TC=650.83
IE=639.73
36" RCP
Storm Inlet*
TC=651.36
Storm MH
TC=651.60
IE=640.00
Domed Grate*
TC=649.79
1/2" Open Top Pipe Found (No ID)
5/8" Iron Pin Found (No ID)
Iron Pin Set
Gas Post
PVC
ONLY

DEMOLITION LEGEND

(A)		ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B)	////	CURB REMOVAL
(C)	X	ITEM TO BE REMOVED

DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
7. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
11. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
12. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
13. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED CRUSHED LIMESTONE (CA-6) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

No.	REVISIONS	DATE	BY

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SCALE: AS NOTED
DESIGNED BY: SMH
DRAWN BY: SMH
CHECKED BY: EJT

EXISTING CONDITIONS & DEMOLITION PLAN

DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
SHEET NUMBER
C2.0

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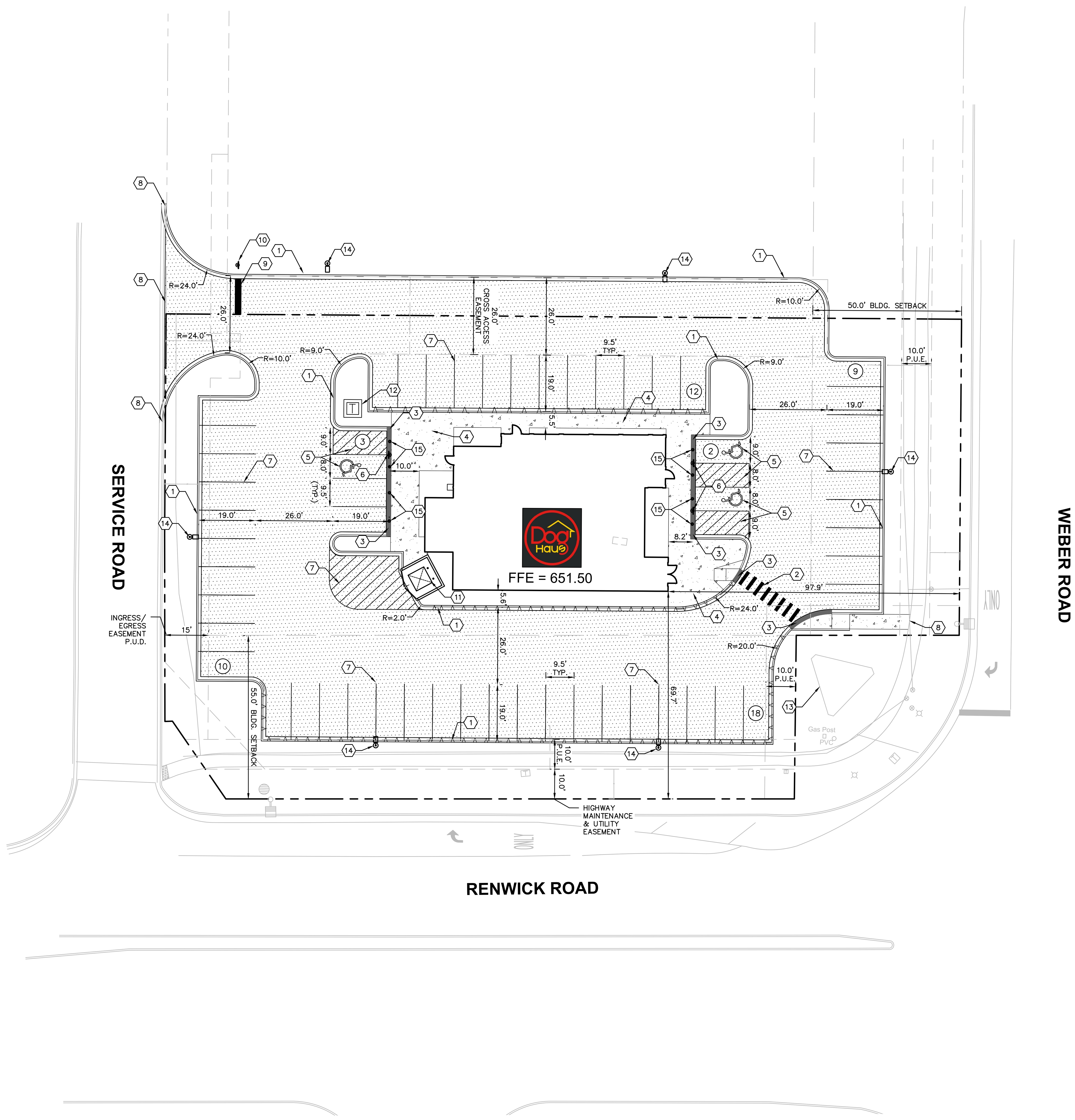

GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

PAVING AND CURB LEGEND

░	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
▨	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
═	STANDARD PITCH CONCRETE CURB AND GUTTER
▽	REVERSE PITCH CONCRETE CURB AND GUTTER
▬	CONCRETE DEPRESSED CURB AND GUTTER

KEY NOTES

1. B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
2. PEDESTRIAN CROSSWALK (SEE DETAILS)
3. DEPRESSED CURB AND GUTTER
4. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
5. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
6. ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
7. 4" WIDE PAINTED SOLID LINE, TYP.
8. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
9. 24" WIDE STOP BAR, TYP. (SEE DETAILS)
10. STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
11. TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
12. TRANSFORMER PAD (FOR REFERENCE ONLY)
13. MONUMENT OR PYLON SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
14. LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)
15. BOLLARD, TYP. (SEE DETAILS)

PARKING SUMMARY

PARKING SPACES REQUIRED (CITY STANDARD)	=	51	SPACES
PARKING SPACES PROVIDED	=	51	SPACES
ACCESSIBLE PARKING SPACES REQUIRED	=	3	SPACES
ACCESSIBLE PARKING SPACES PROVIDED	=	3	SPACES
TOTAL PARKING SPACES PROVIDED	=	54	SPACES

No.	REVISIONS	DATE	BY

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SCALE: AS NOTED
DESIGNED BY: SMH
DRAWN BY: SMH
CHECKED BY: EJT

SITE PLAN

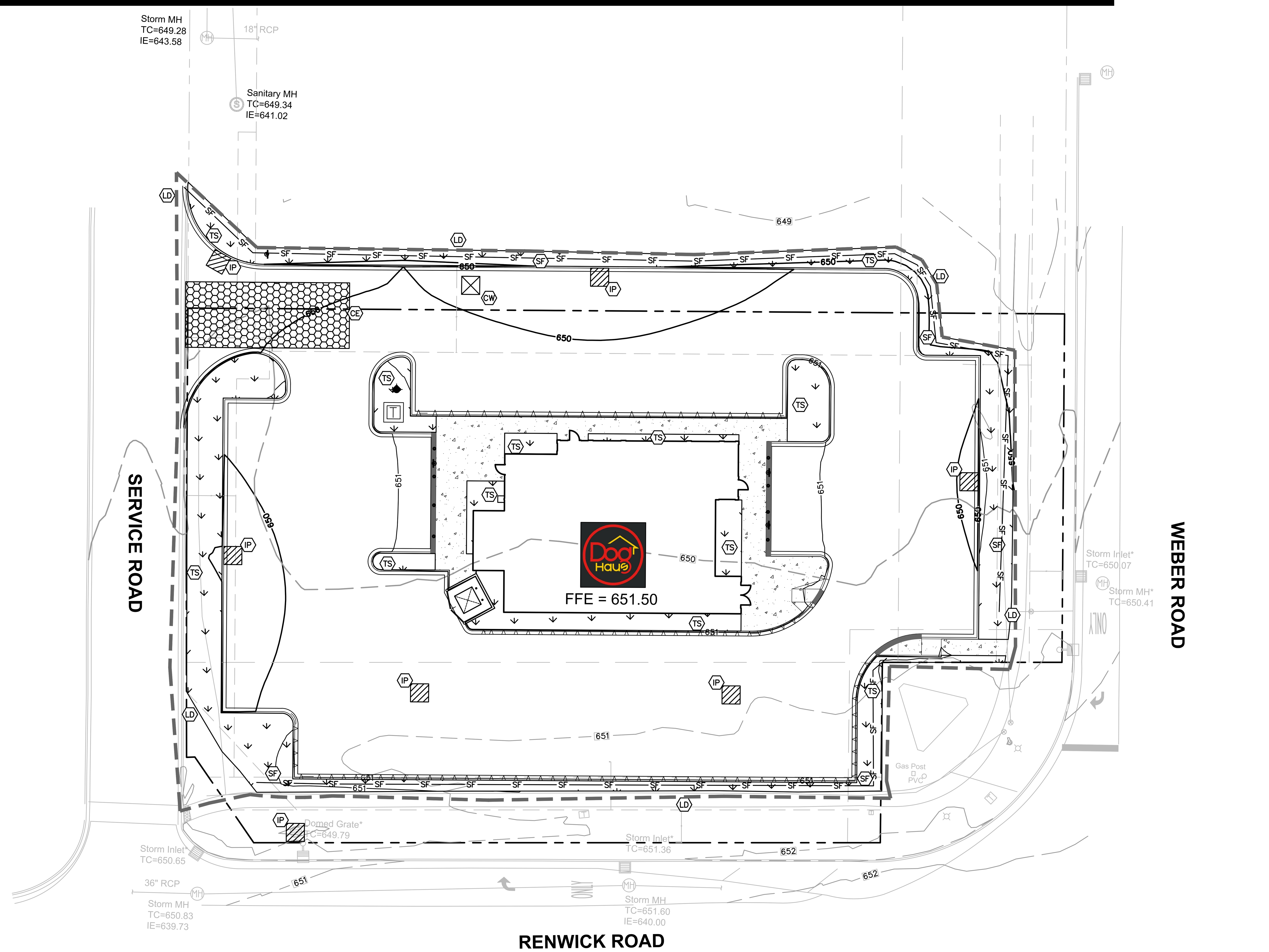
DOG HAUS ROMEOVILLE

NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
SHEET NUMBER
C3.0

EROSION CONTROL NOTES

1. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
2. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED B THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
3. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
4. PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
5. PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
6. ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE–THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
7. ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUS TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
8. ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF–SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
9. SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
10. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY–HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FO IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
11. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
12. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
13. STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
14. ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED.TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
15. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
16. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
17. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH DUMP NO WASTE AND DRAINS TO A CREEK. THIS NOTE MUCH ALSO BE INCLUDED ON ALL DRAINAGE STRUCTURE DETAILS.
18. A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON–SITE FOR ALL CONSTRUCTION SITES OVER ONE ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMPS'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
19. ANY INCIDENT OF NON–COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
20. A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURE ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.
21. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".



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EROSION CONTROL LEGEND

	TS	TEMPORARY SEEDING (SEE EROSION CONTROL DETAILS)
	CE	CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
——SF——	SF	SILT FENCE (SEE EROSION CONTROL DETAILS)
▨	IP	INLET PROTECTION (SEE EROSION CONTROL DETAILS)
☒	CW	CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS) (TO BE DETERMINED BY CONTRACTOR)
— — —	LD	LIMITS OF DISTURBANCE
— — —650— — —		EXISTING CONTOURS
——650——		PROPOSED CONTOURS

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ERIC TRACY, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

DATED THIS _____ DAY OF ___________ , A.D., 2018.

____
ILLINOIS LICENSED PROFESSIONAL ENGINEER 062–069653
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

No.	REVISIONS	DATE	BY

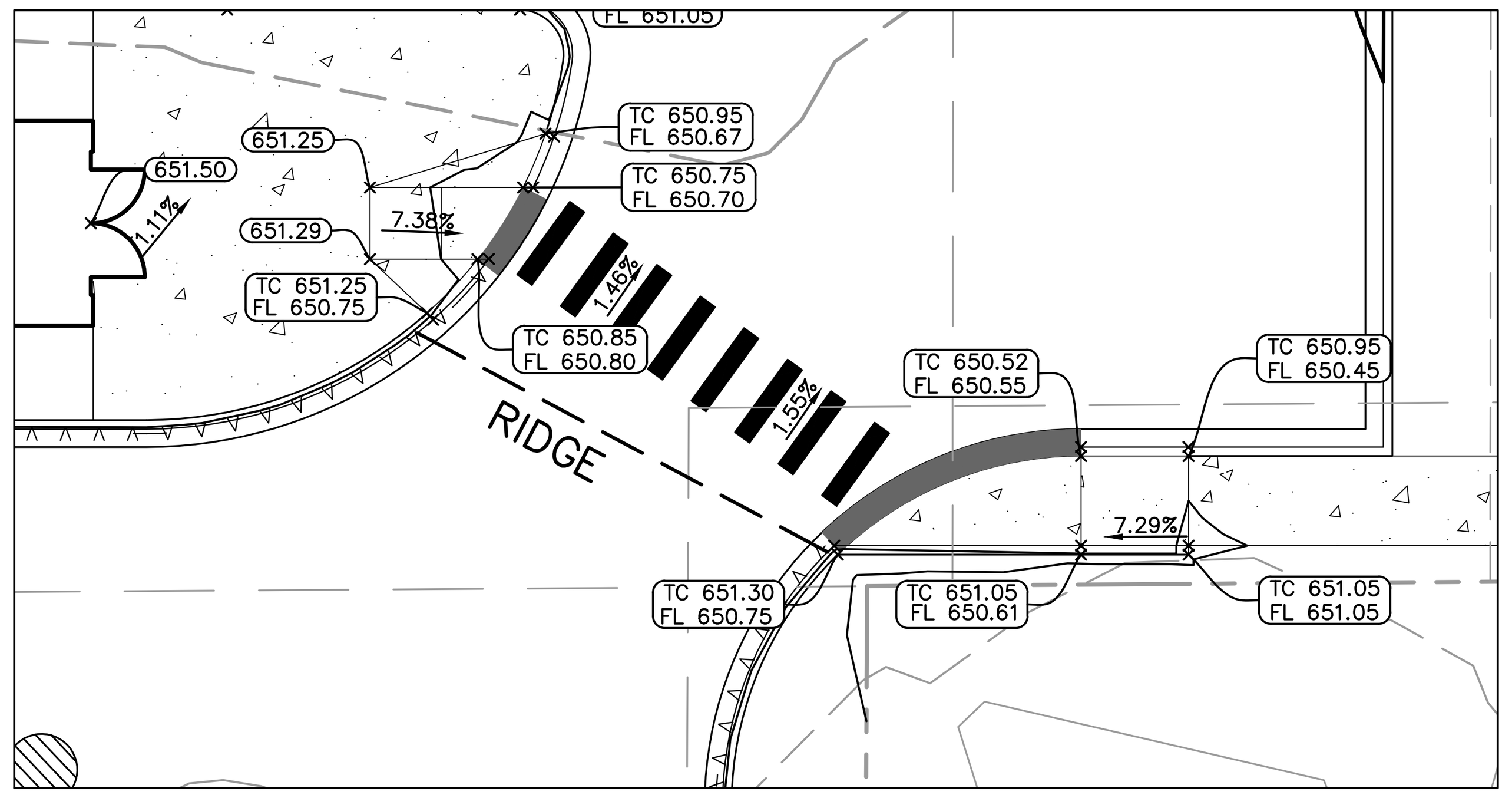
Kimley»Horn
© 2018 KIMLEY–HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630–487–5550
WWW.KIMLEY–HORN.COM

SCALE: AS NOTED
DESIGNED BY: SMH
DRAWN BY: SMH
CHECKED BY: EJT

EROSION CONTROL PLAN

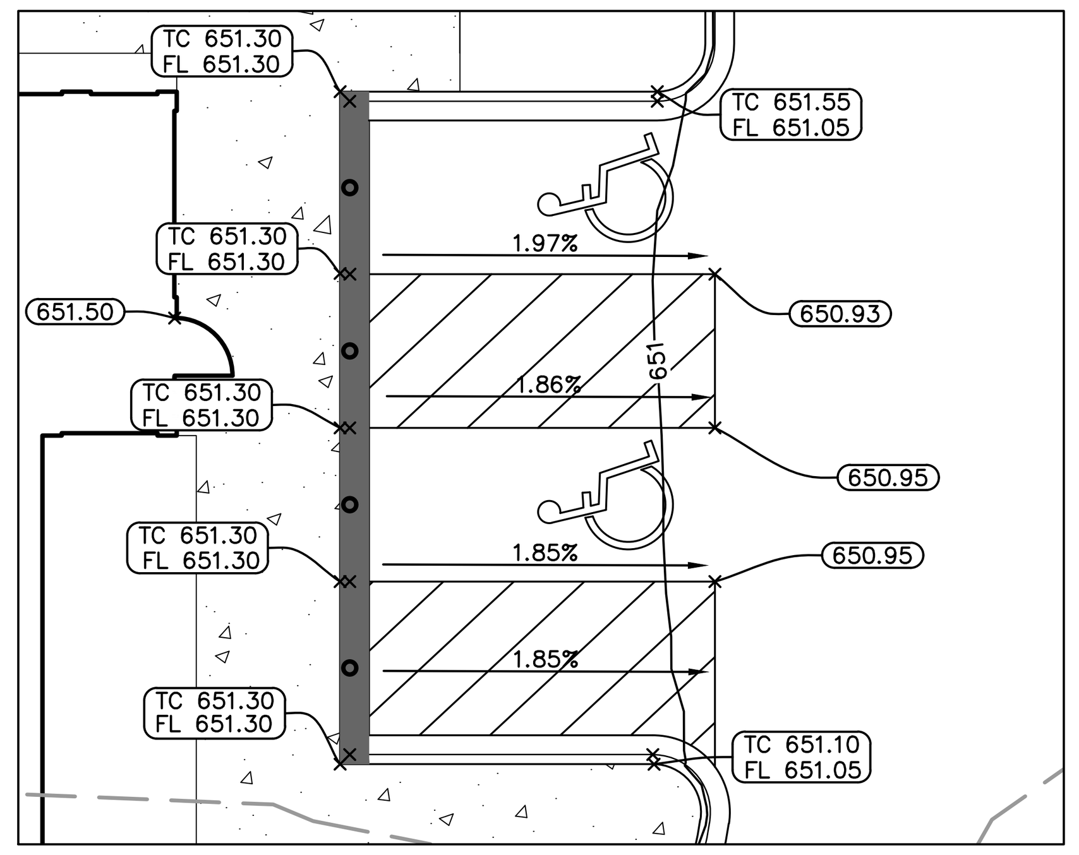
DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
SHEET NUMBER
C4.0



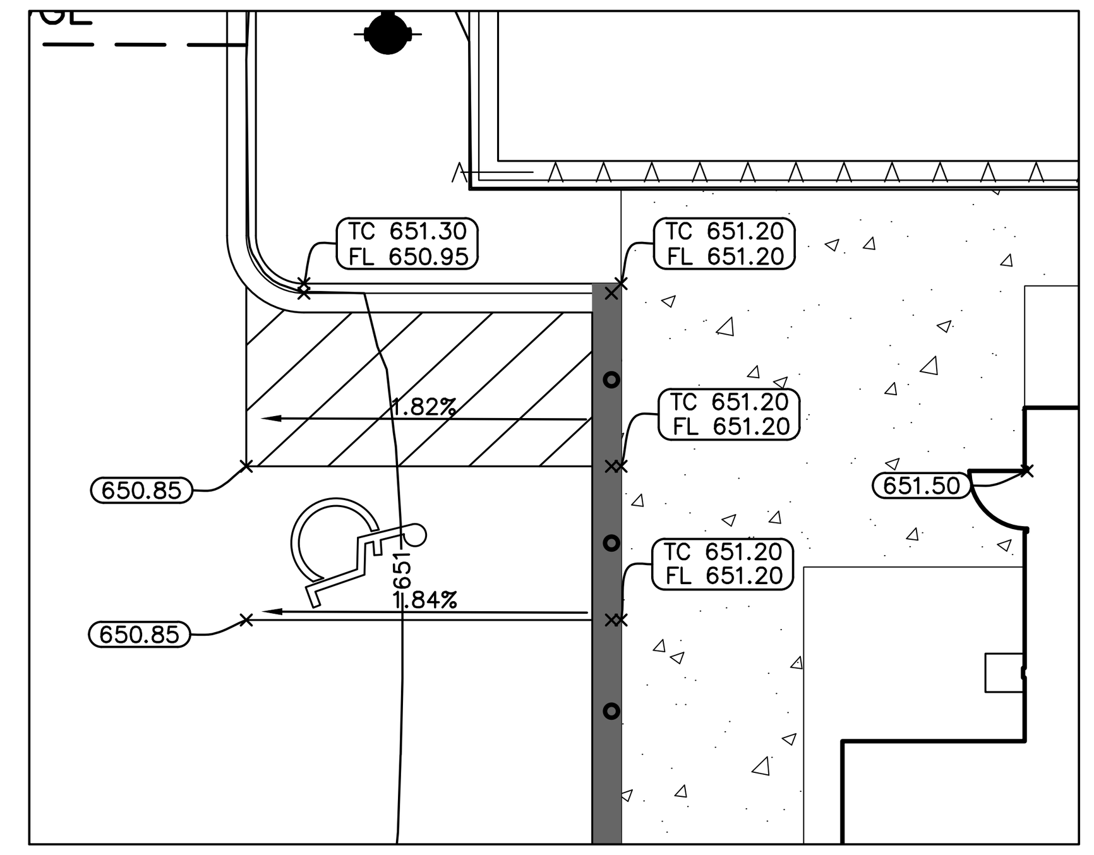
ADA GRADING DETAIL 1

1" = 10'



ADA GRADING DETAIL 2

1" = 10'



ADA GRADING DETAIL 3

1" = 10'

Call Before You Dig
JULIE
1-800-892-0123

NORTH

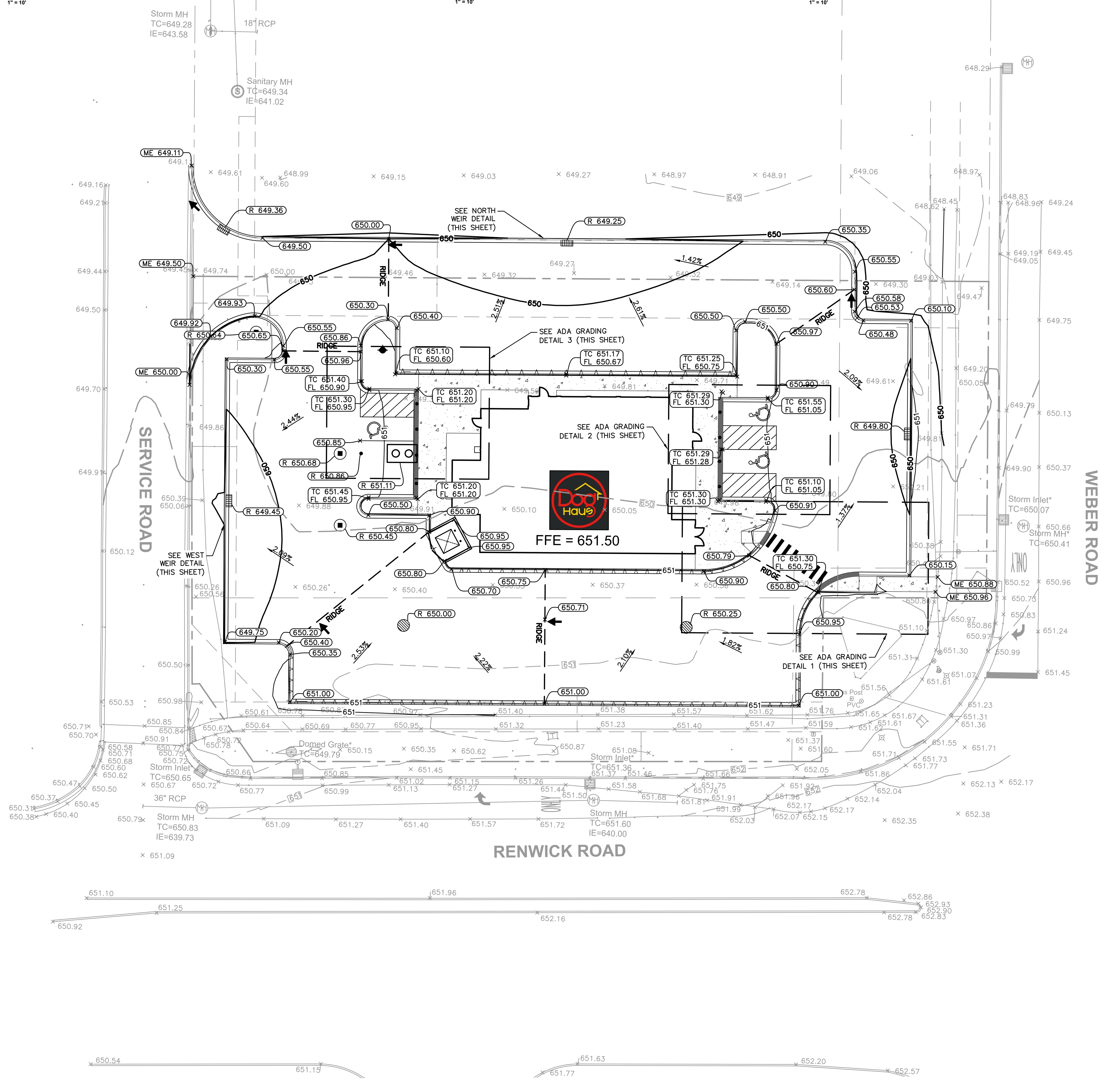
GRAPHIC SCALE IN FEET
0 10 20 40

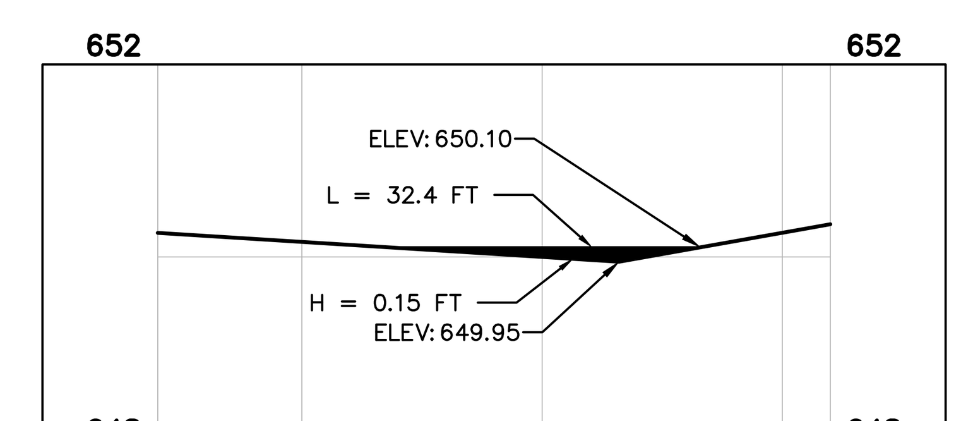
GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

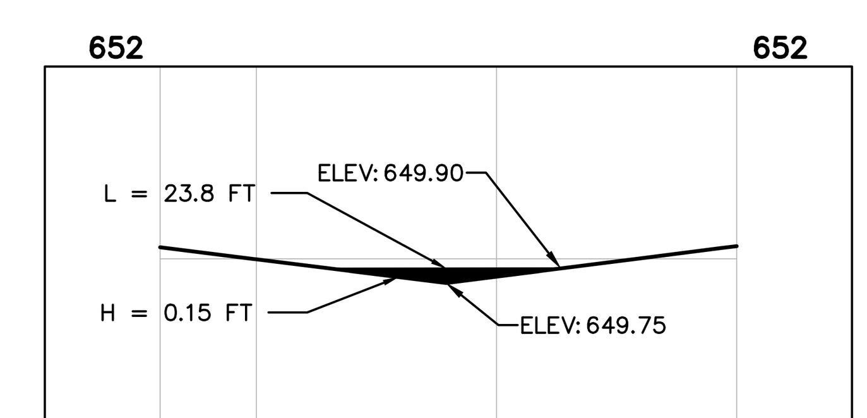
	FL = FLOW LINE
	TC = TOP OF CURB
	ME = MATCH ELEVATION
	R = RIM ELEVATION
—650—	PROPOSED CONTOUR
— —650— —	EXISTING CONTOUR
RIDGE	RIDGE LINE
X.XX%	SLOPE AND FLOW DIRECTION
←	OVERLAND FLOW DIRECTION
▽ ▽ ▽ ▽	REVERSED PITCH CURB AND GUTTER





WEST WEIR DETAIL

1" = 20'



NORTH WEIR DETAIL

1" = 20'

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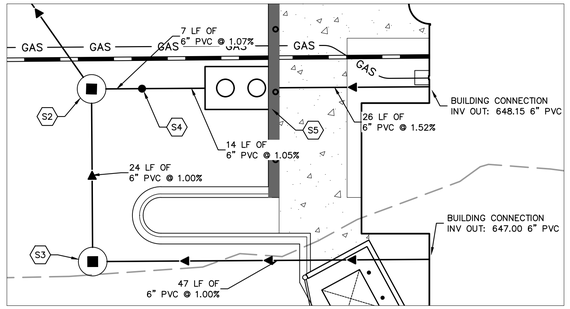
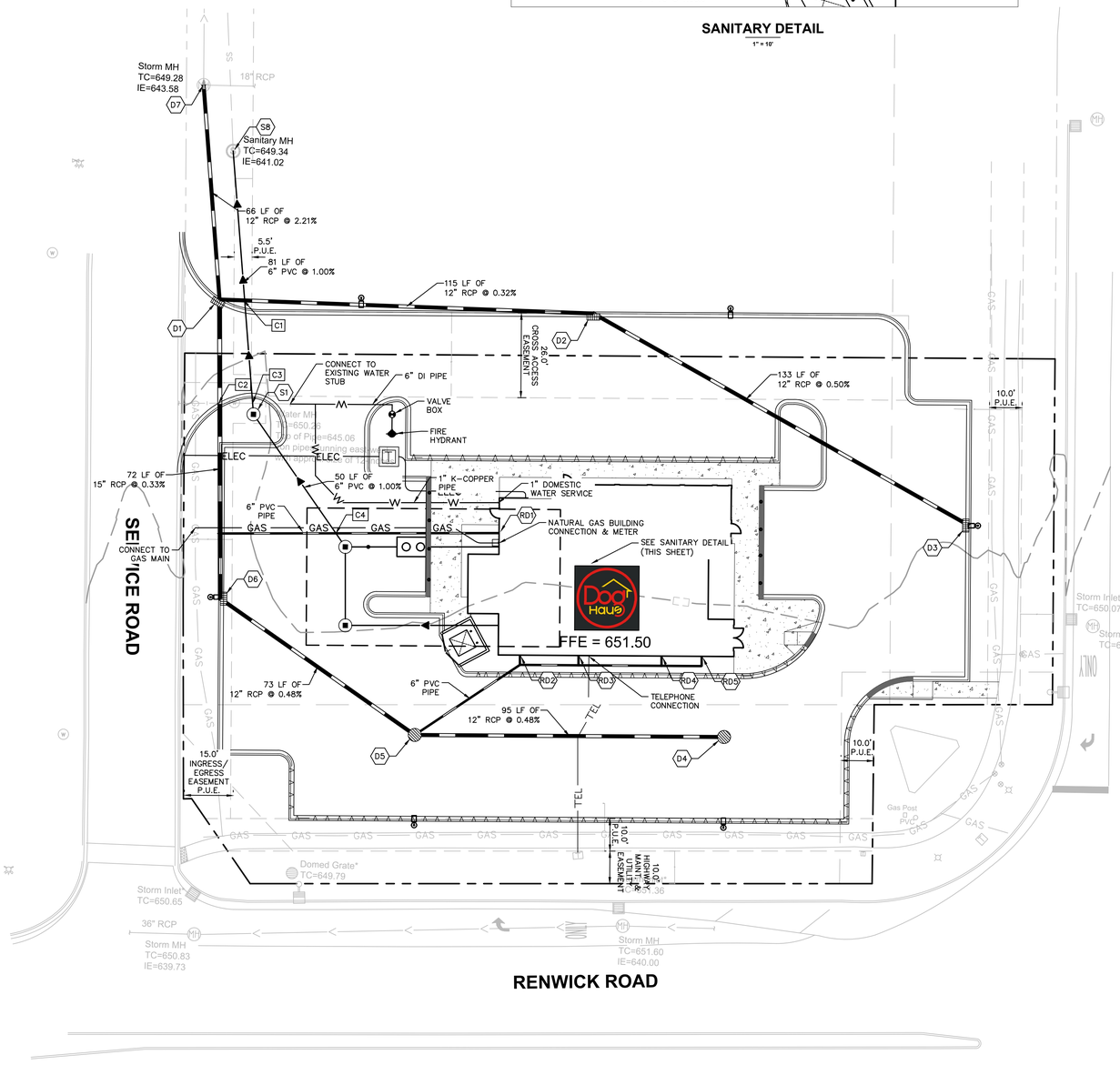


SANITARY DETAIL

1" = 10'



STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	4' DIA CURB MANHOLE RIM: 649.36 INV IN: 645.60 (E) INV IN: 645.70 (S) INV OUT: 645.46 (N)
D2	4' DIA CURB MANHOLE RIM: 649.25 INV IN: 645.96 (SE) INV OUT: 645.97 (W)
D3	2' DIA CURB INLET RIM: 649.80 INV OUT: 646.63 (NW)
D4	2' DIA OPEN LID INLET RIM: 650.25 INV OUT: 646.83 (W)
D5	4' DIA OPEN LID MANHOLE RIM: 650.00 INV IN: 646.38 (E) INV IN: 646.24 (NE) INV OUT: 646.38 (NW)
D6	4' DIA CURB MANHOLE RIM: 649.45 INV IN: 646.03 (SE) INV OUT: 646.03 (N)
D7	CONNECT TO EXISTING STORM MH RIM: 645.67 INV IN: 644.00 (S)

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S1	4' DIA SAN DROP MANHOLE RIM: 650.64 INV IN: 645.79 (SE) INV OUT: 642.06 (N)
S2	4' DIA SAN MANHOLE RIM: 650.68 INV IN: 646.29 (S) INV IN: 647.33 (E) INV OUT: 646.29 (NW)
S3	4' DIA SAN MANHOLE RIM: 650.45 INV IN: 646.53 (E) INV OUT: 646.53 (N)
S4	6" CLEANOUT RIM: 650.86 INV IN: 647.50 (E) INV OUT: 647.40 (W)
S5	GREASE TRAP RIM: 651.11 INV IN: 647.75 (E) INV OUT: 647.65 (W)

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
RD1	ROOF DRAIN INV OUT: 648.50 (W)
RD2	ROOF DRAIN INV OUT: 648.50 (S)
RD3	ROOF DRAIN INV OUT: 648.50 (S)
RD4	ROOF DRAIN INV OUT: 648.50 (S)
RD5	ROOF DRAIN INV OUT: 648.50 (S)

UTILITY CROSSING LEGEND

C1	12" STORM	B/P = 645.46
	6" SAN	T/P = 643.94
C2	15" STORM	B/P = 645.62
	12" WATER	T/P = 644.12
C3	12" WATER	B/P = 643.66
	6" SAN	T/P = 642.53
C4	6" STORM	B/P = 647.17
	6" SAN	T/P = 646.21

Call Before You Dig
JULIE
1-800-892-0123

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

UTILITY LEGEND

- EX. WATER LINE
- EX. HYDRANT
- EX. WATER VALVE
- EX. SANITARY SEWER LINE
- EX. SANITARY SEWER MANHOLE
- EX. SANITARY SEWER CLEANOUT
- EX. STORM DRAIN LINE
- EX. STORM MANHOLE
- EX. STORM STRUCTURE/INLET
- EX. GAS LINE
- EX. GAS METER
- EX. UNDERGROUND ELECTRIC LINE
- EX. UNDERGROUND TELEPHONE LINE
- EX. LIGHT POLE
- PROPOSED UNDERGROUND ELECTRIC LINE
- GAS LINE (BY GAS COMPANY)
- PROPOSED PHONE LINE
- PROPOSED STORM SEWER LINE
- PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
- PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)
- PROPOSED OPEN LID CURB STRUCTURE (B6.12 C&G USE NEENAH R-3281-A)
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM/SANITARY CLEANOUT
- PROPOSED WATER LINE
- PROPOSED VALVE VAULT
- PROPOSED VALVE BOX
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT POLE
- PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
- RIP RAP (SEE DETAILS)

UTILITY NOTES

GENERAL UTILITY NOTES

1. ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
2. ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
12. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
14. STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

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UTILITY PLAN

DOG HAUS
ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
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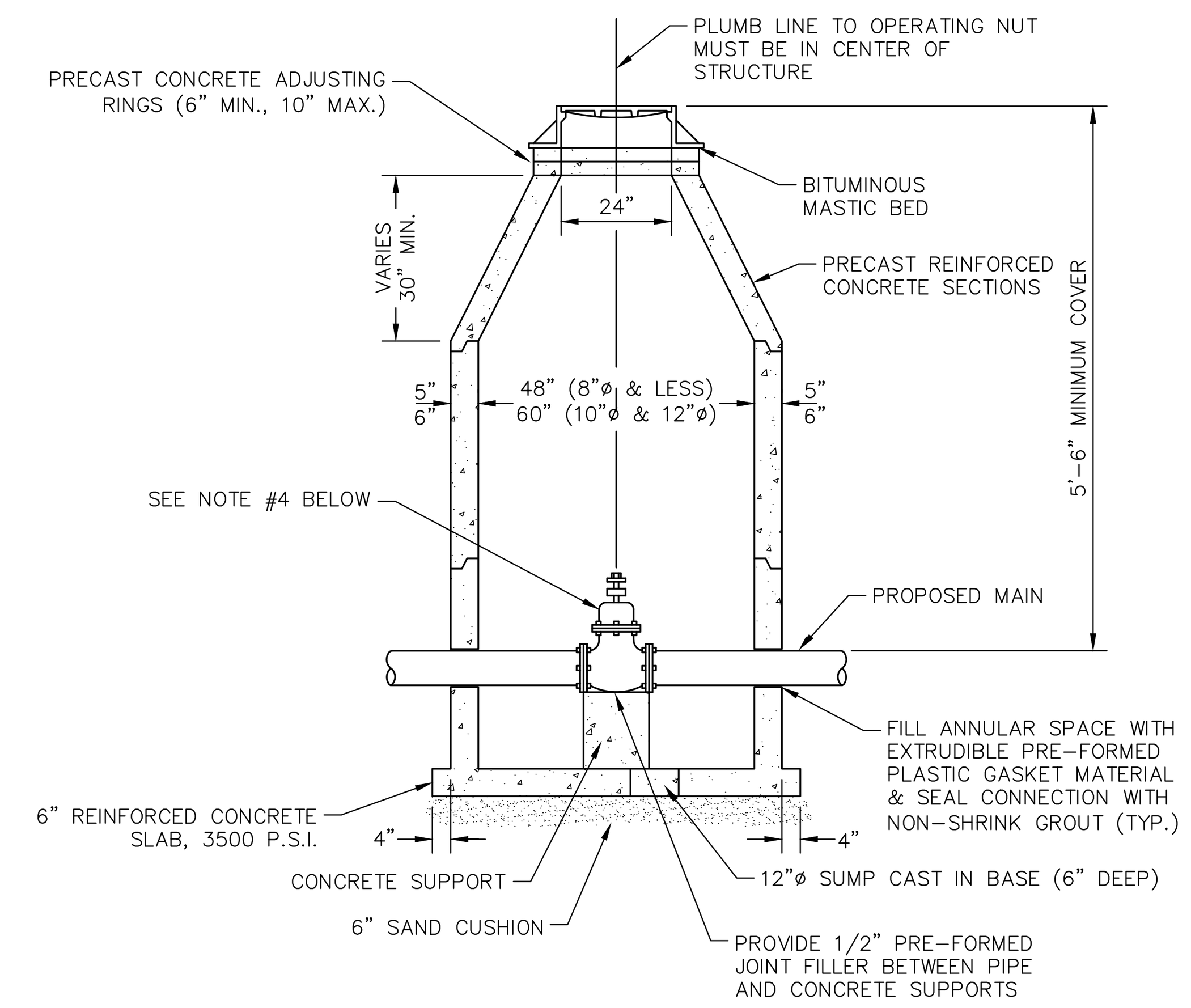
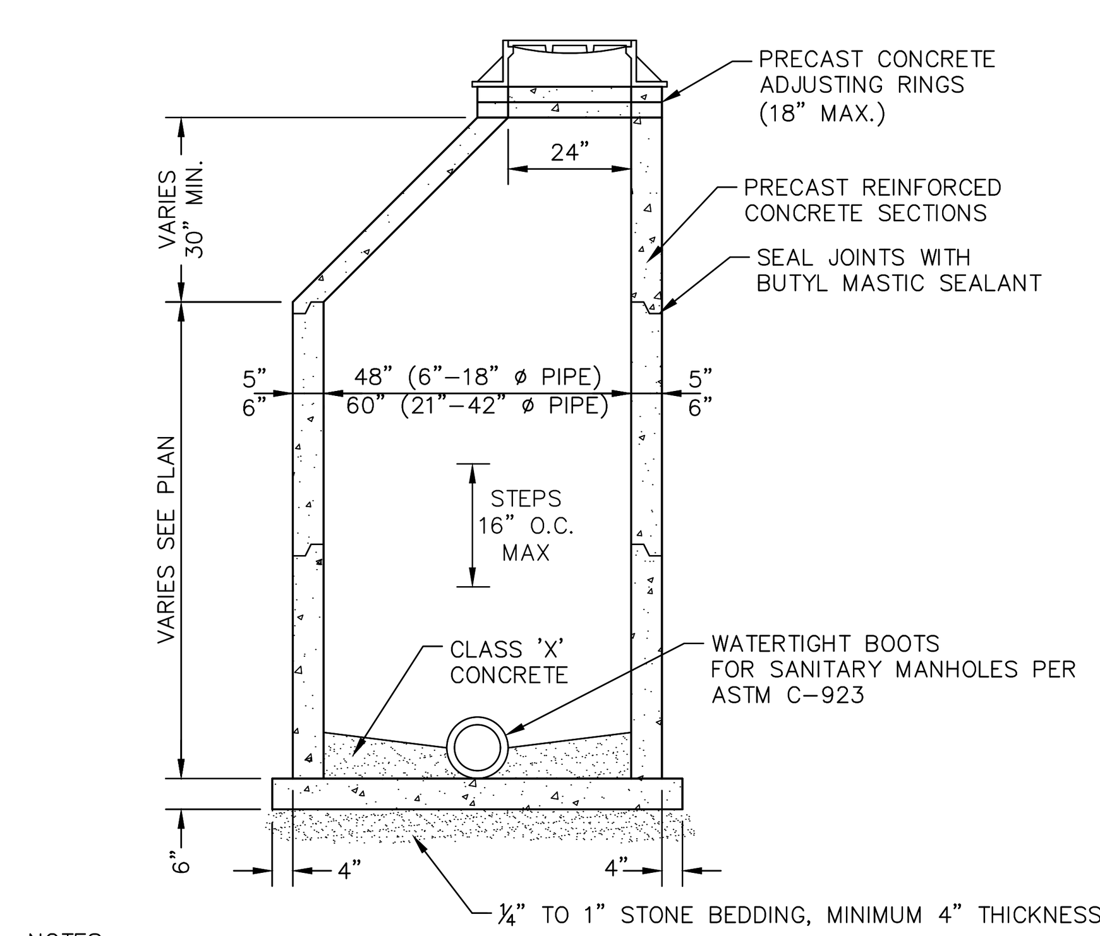


NOTES:
1. UNLESS OTHERWISE NOTED, USE THE FOLLOWING FRAMES & GRATES:
   - IN PAVED AREAS: NEENAH R-1712 W/TYPE B COVER (CLOSED)
   - IN GRASS: NEENAH R-1772-A W/TYPE B COVER (CLOSED)
2. EAST JORDAN EQUIVALENTS ALSO MAY BE USED.
3. ALL COVERS SHALL BE SELF-SEALING WITH CONCEALED PICK HOLES AND HAVE "WATER" CAST INTO THE COVER.
4. VALVE SHALL BE RESILIENT-SEATED GATE VALVES - AMERICAN FLOW, EAST JORDAN FLOWMASTER OR CLOW (C-515) PER ROMEOVILLE SPECIFICATIONS.
5. PRECAST CONCRETE ADJUSTING RINGS SHALL BE 6" MINIMUM AND 10" MAXIMUM.
6. INTERNAL/EXTERNAL CHIMNEY SEALS SHALL BE REQUIRED
7. VAULT DIAMETER IS 60" (48" DIAMETER VAULTS ARE NOT ALLOWED).

VALVE AND VAULT

N.T.S.



NOTES:
1. UNLESS OTHERWISE NOTED, USE THE FOLLOWING FRAMES & GRATES OR EQUALS:
   1.1. -IN PAVED AREAS: NEENAH R-1713 OR APPROVED EQUAL W/TYPE B COVER (CLOSED)
   1.2. -IN GRASS: NEENAH R-1711 W/TYPE B COVER (CLOSED)
2. EAST JORDAN EQUIVALENTS ALSO MAY BE USED.
3. ALL COVERS SHALL BE SELF SEALING WITH CONCEALED PICK HOLES AND HAVE "SANITARY" CAST ON THE COVER.
4. SANITARY MANHOLES NEED WATER PROOF COATING ON EXTERIOR AND STEPS.
5. MASTIC ROPE REQUIRED BETWEEN ALL PRECAST SECTIONS WITH CHIMNEY SEAL.
6. WATER PROOF WRAP REQUIRED ON ALL JOINTS.
7. HYRDRAULIC CEMENT REQUIRED FOR ANY ANNULAR SPACES AROUND THE PIPES AND BOOTS.

SANITARY MANHOLE

N.T.S.

Final Acceptance and Testing of Sanitary Sewer

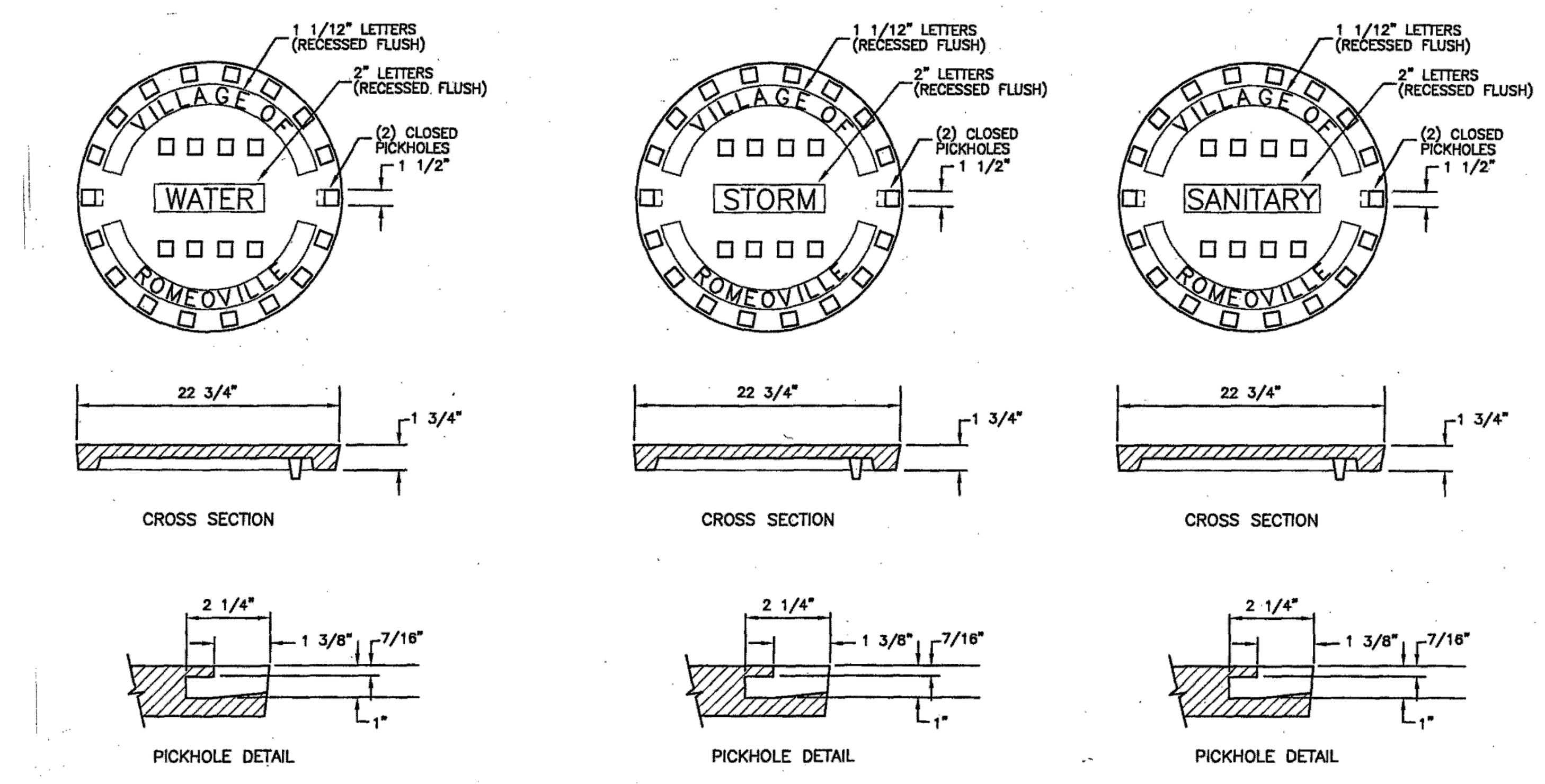
Before final acceptance, the sanitary sewers shall be tested in accordance with Section 31-1.11 of the "Standard Specifications for Water and Sewer Main Construction in Illinois". Specifically, all pipelines constructed of flexible materials shall be subject to air exfiltration tests, televising test, and deflection test. The deflection test shall be performed no sooner than thirty (30) days of the backfilling operation and shall consist of measuring the pipe for vertical ring deflection. Maximum ring deflection of the pipeline under load shall be limited to five (5) percent of the internal pipe diameter. All pipe exceeding this deflection shall be considered to have reached the limit of its serviceability and shall be re-laid or replaced by the developer. Deflection testing shall be accomplished by pulling a mandrel, sphere, or pin-type "go / no-go" device, with a diameter equal to ninety-five (95) percent of the undeflected inside diameter of the flexible pipe, through the pipeline. In addition, all sanitary sewer having a diameter of eight (8) inches or greater shall be televised. Copies of all video tapes must be submitted to the Village of Romeoville.

Final Testing of Sanitary Sewer Manholes

Vacuum Testing shall be carried out immediately after assembly and prior to backfilling of manholes that are up to seventy-two (72) inches in diameter. All lift holes shall be plugged with a non-shrink grout, or rubber plug. The manhole frame and adjusting rings and chimney seals shall be in place before testing. No grout shall be placed in the horizontal joints. All pipes entering the manhole shall be plugged, taking care to securely brace the plugs from being drawn into the manhole with the vacuum testing. Vacuum testing shall test all manholes for leakage. A vacuum of ten (10) inches of mercury shall be placed on the manhole and the time measured for the vacuum to drop to nine (9) inches of mercury. The vacuum drop shall not exceed the requirements shown in Table 1 of ASTM C1244-02. If testing fails, developer shall seal all leaks and retest until acceptable. The testing shall be completed prior to backfilling (whenever possible) so that any leaks can be found and fixed externally, and to give the horizontal manhole joints an opportunity to tighten.

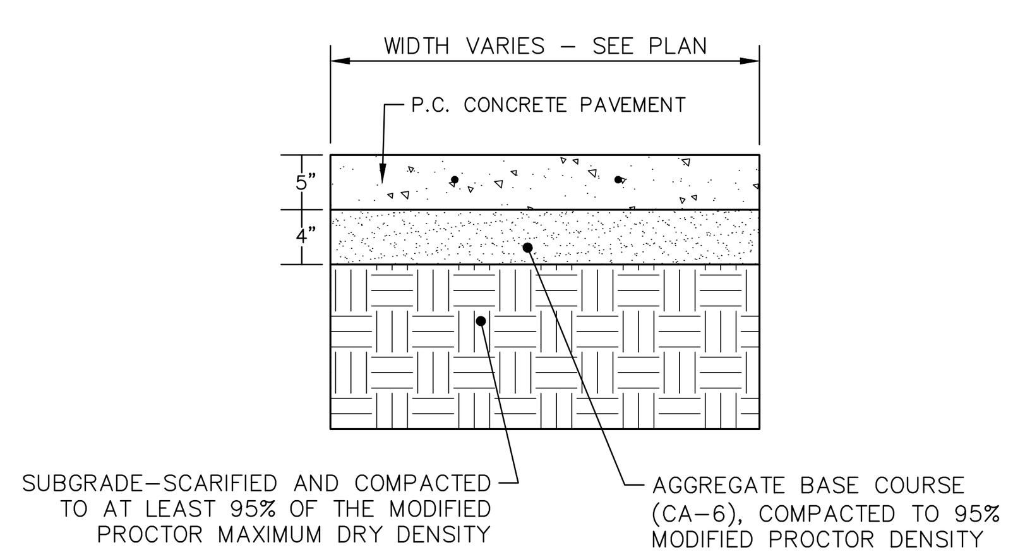
Flow Monitoring prior to Acceptance

The developer will be required to monitor the flowrate from the site for a period of two months (encompassing at least two major storm events) to identify any excessive inflow/infiltration occurring in the system. The data must be submitted to the Village of Romeoville prior to acceptance of the public improvements.



ROMEOVILLE LIDS

NOTE:
1. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".

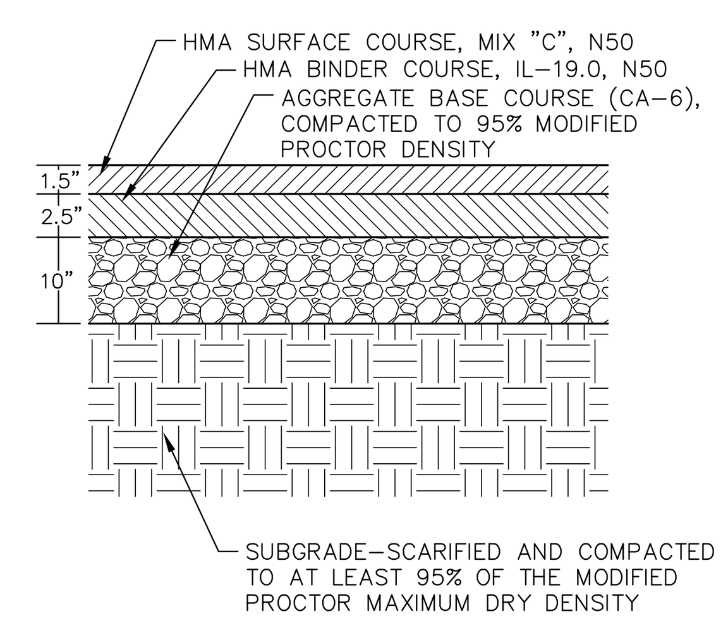


NOTES:

1. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
2. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
3. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE
5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

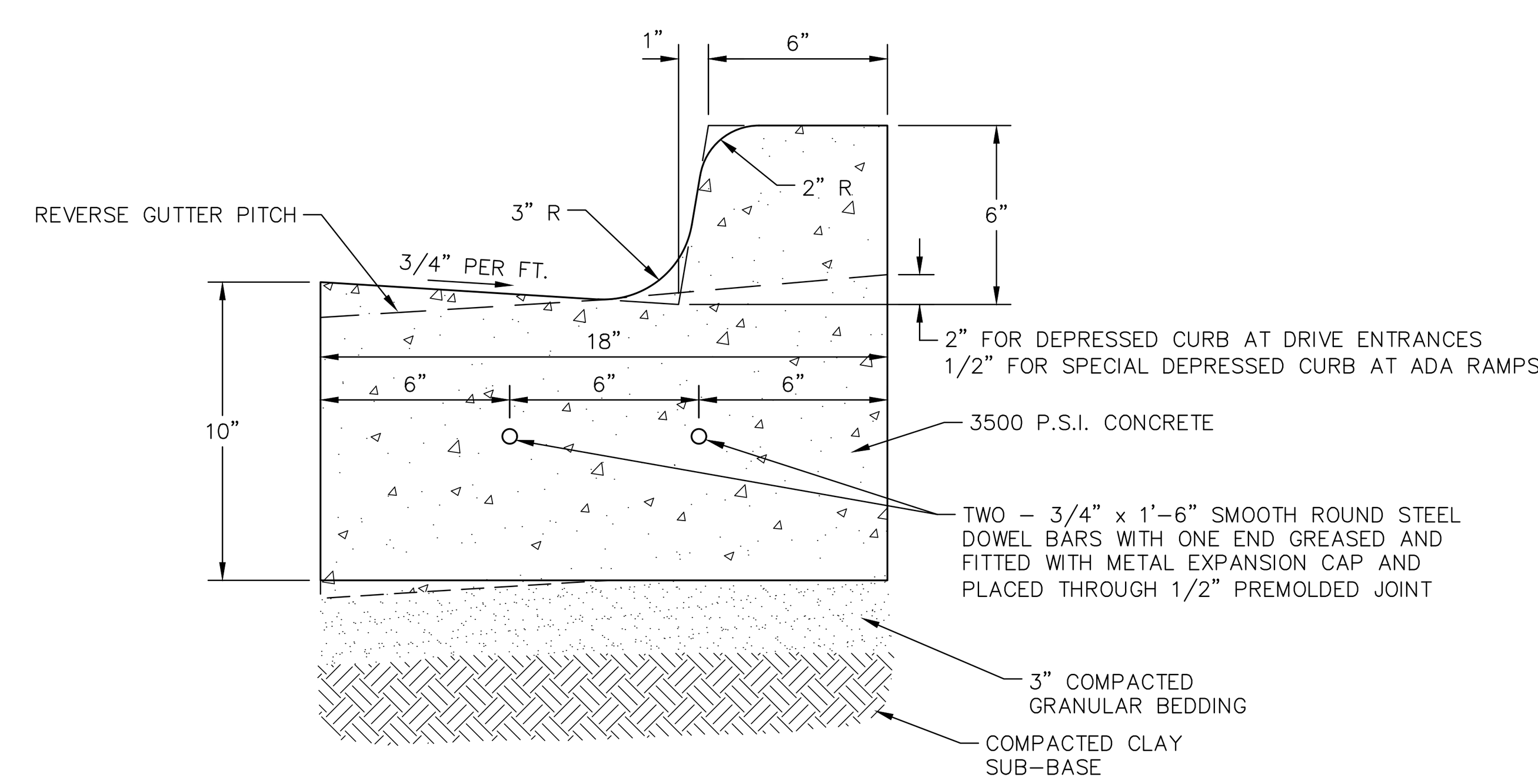
CONCRETE SIDEWALK

N.T.S.



STANDARD DUTY ASPHALTIC PAVEMENT SECTION

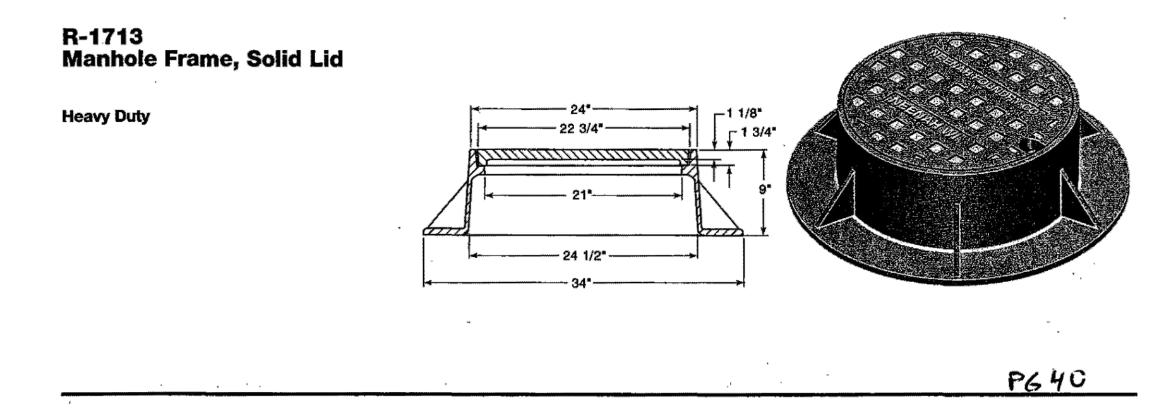
N.T.S.

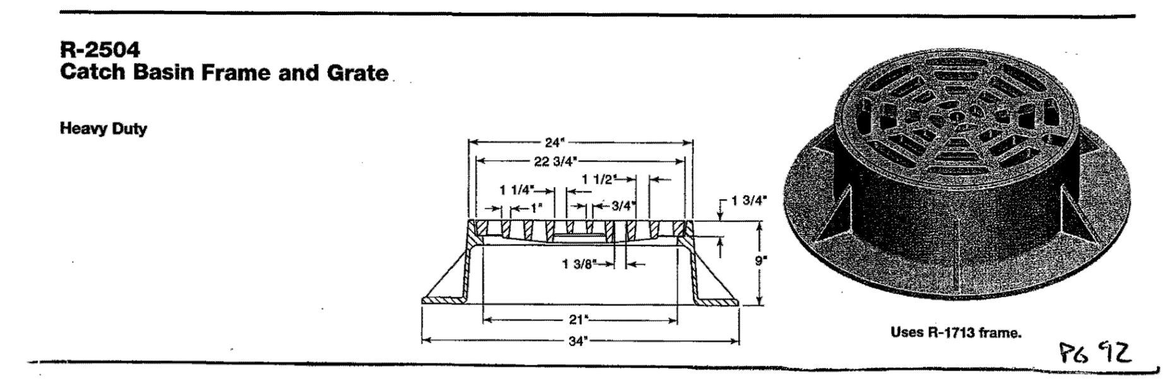


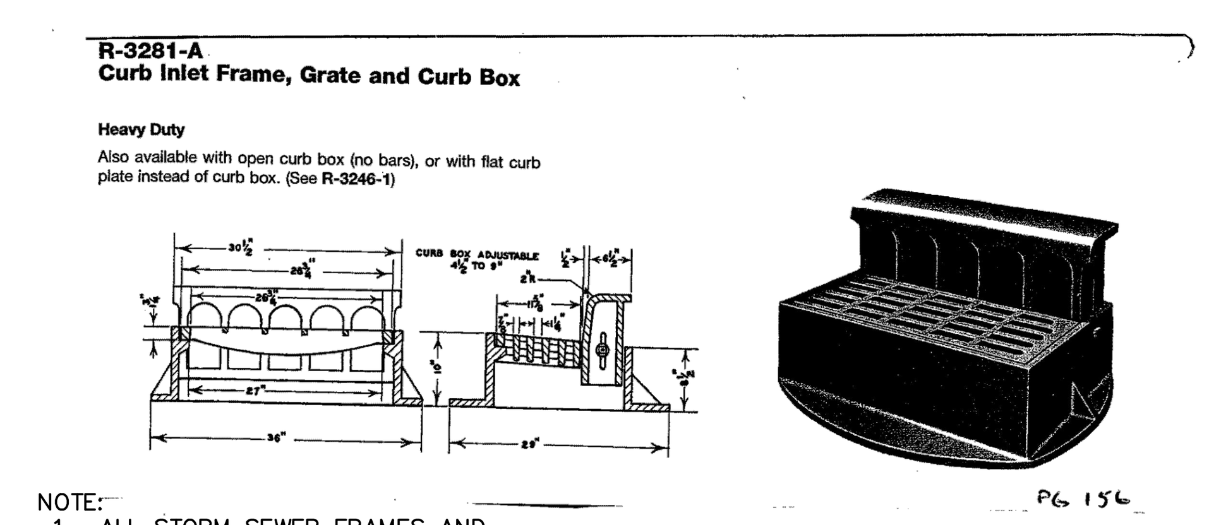
NOTES: USE TWO - #5 REBARS FOR 10 L.F. ON EITHER SIDE OF ALL UTILITY TRENCHES. INSTALL EXPANSION JOINTS EVERY 50 FT. AND SAW-CUT CONSTRUCTION JOINTS EVERY 25 FT.

B6.12 CURB & GUTTER

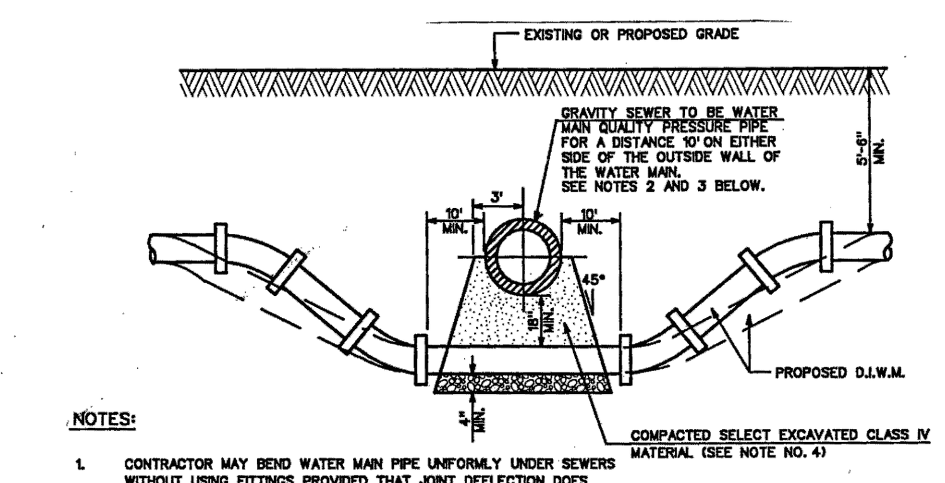
N.T.S.







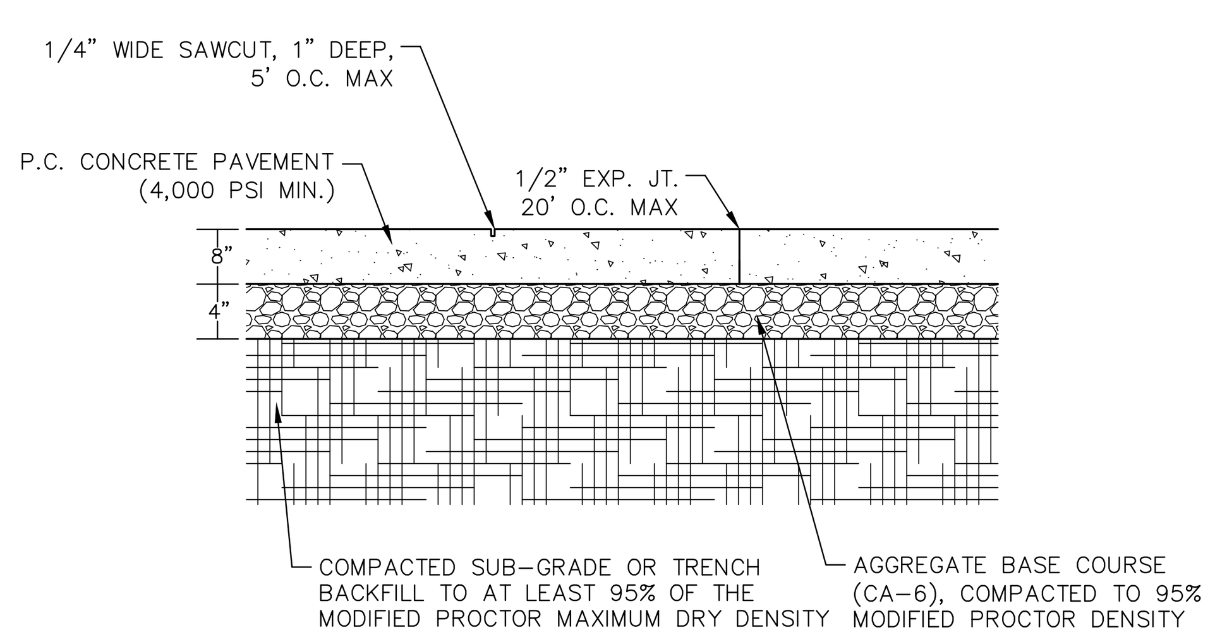
NOTE:
1. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".



NOTES:

1. CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED 5 DEGREES PER JOINT FOR PIPE UNDER 14" IN SIZE AND 3 DEGREES PER JOINT FOR PIPE 14" AND OVER IN SIZE. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATER MAIN DEPTH ARE REQUIRED OR RETAINER GLANDS MAY BE USED IN LIEU OF STRAPPING.
2. ALL SANITARY SEWER (INCLUDING SERVICES) CROSSINGS WHERE THE WATER MAINS OR WATER SERVICES ARE LESS THAN 18" ABOVE THE SEWER VERTICALLY SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE AND SHALL CONFORM WITH THE LATEST REVISION OF ASTM SPECIFICATION D 2241 SDR 26, (160 PSI). JOINTS SHALL CONFORM TO ASTM D 3139 AND ELASTOMERIC GASKETS SHALL CONFORM TO ASTM F 477. THE SAME PIPE AND JOINT MATERIAL SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
3. ALL STORM SEWER (INCLUDING SERVICES) CROSSINGS WHERE THE WATER MAINS OR WATER SERVICES ARE LESS THAN 18" ABOVE THE SEWER VERTICALLY SHALL BE REINFORCED PRECAST CONCRETE SEWER PIPE, ASTM C76 OR C361 PIPE WITH ASTM C443 JOINTS. THE SAME PIPE AND JOINT MATERIAL SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
4. COMPACTED MATERIAL BELOW SEWER SHALL CONFORM TO STANDARD SPECS.
5. HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWERS SHALL COMPLY WITH SECTION 652.03 OF THE STANDARD SPECIFICATIONS FOR SEWERS AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.

WATER MAIN CROSSING DETAIL



HEAVY DUTY CONCRETE PAVEMENT SECTION

N.T.S.

Village of Romeoville - Minimum chlorination standards:

a. Gas chlorine must be used for disinfection.
b. The chlorination contractor must call 815-886-1870 a minimum of 24-hours in advance to schedule chlorination.
c. Only Village of Romeoville employees shall operate water system valves and turn on/off sampling whips while samples are being collected.
d. All chlorination and safety equipment must meet or exceed the standards and recommendations set by The Chlorine Institute, Inc.
e. The chlorinator must be a licensed plumber or certified Illinois water operator with a minimum of 5 years experience working with chlorine disinfection of water supply lines.
f. The chlorination contractor must have two people present to chlorinate. One to monitor the cylinder and one to monitor in the field.
g. The chlorination contractor must be bonded and insured, and have proof of both on file with the Village.
h. The chlorination contractor must have updated 24-hour emergency phone numbers on file with the Village.
i. The chlorination contractor must comply with state and federal regulations regarding transportation and handling of chlorine cylinders:
   - Shipping and emergency papers for every job location
   - Proof of insurance for hauling and handling chlorine gas
   - Commercial driver's license with Hazmat endorsement and medical card
   - Copy of Emergency Response Guidebook in vehicle
   - Hazmat certificate of registration
   - Hazardous materials placard displayed on vehicle
   - Cylinder strapped upright in truck
j. Under no circumstances will chlorine contractors be allowed to apply heat to the chlorine cylinder (i.e. hot baths, propane torches, etc.). While the cylinder is being used it must be in a vertical position, as well as being affixed to a solid object.
k. Prior to chlorination, the chlorination contractor must provide a detailed written chlorination and flushing plan to the Village for review and written approval.
l. At any time, the Village or its authorized representative may ask for proof of any or all of the above information. Please contact the Village of Romeoville Public Works Department (815-886-1870) with any questions.

No.	REVISIONS	DATE	BY

Kimley»Horn

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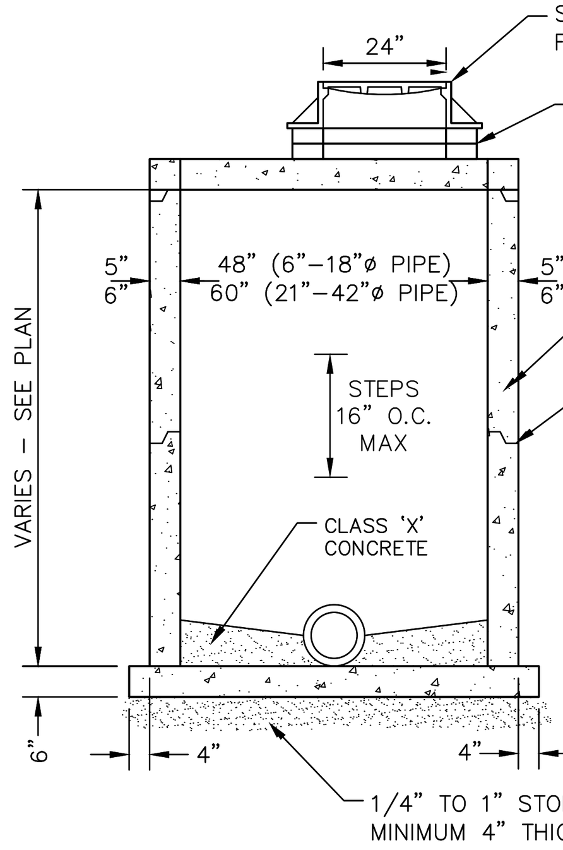
1001 WARRENVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: SMH
DRAWN BY: SMH
CHECKED BY: EJT

CONSTRUCTION DETAILS

DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

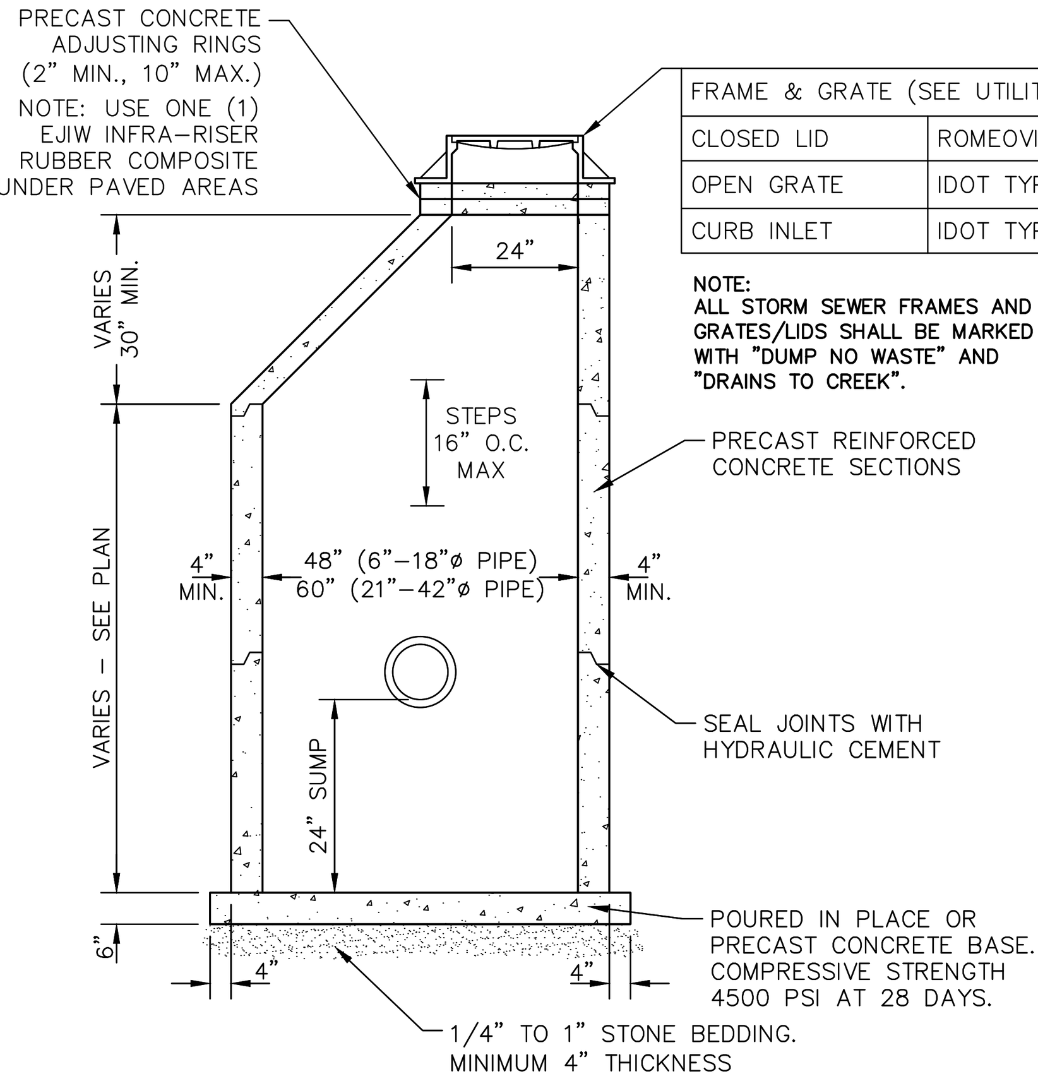
ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
SHEET NUMBER
C7.0



*FLAT TOP MANHOLE TO BE USED WHEN COVER IS LESS THAN 36". IF COVER IS GREATER THAN 36", USE TYPE A MANHOLE.

STORM MANHOLE (FLAT TOP)

N.T.S.

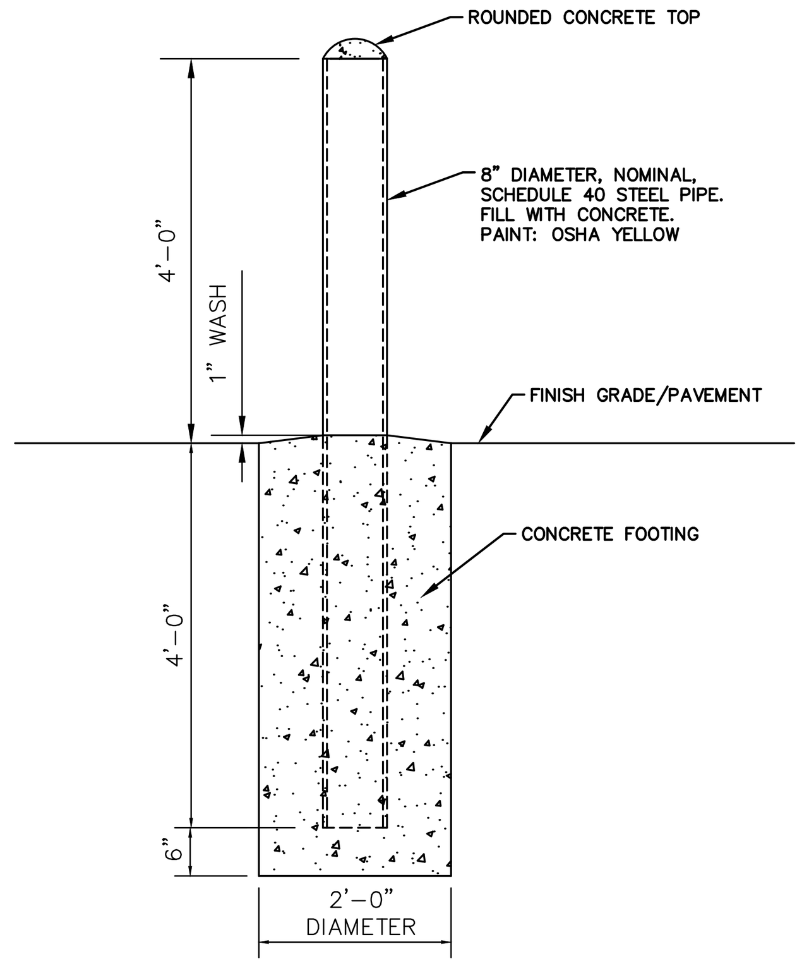


FRAME & GRATE (SEE UTILITY PLAN)	
CLOSED LID	ROMEOVILLE LIDS
OPEN GRATE	IDOT TYPE 1
CURB INLET	IDOT TYPE 11

NOTE:
ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".

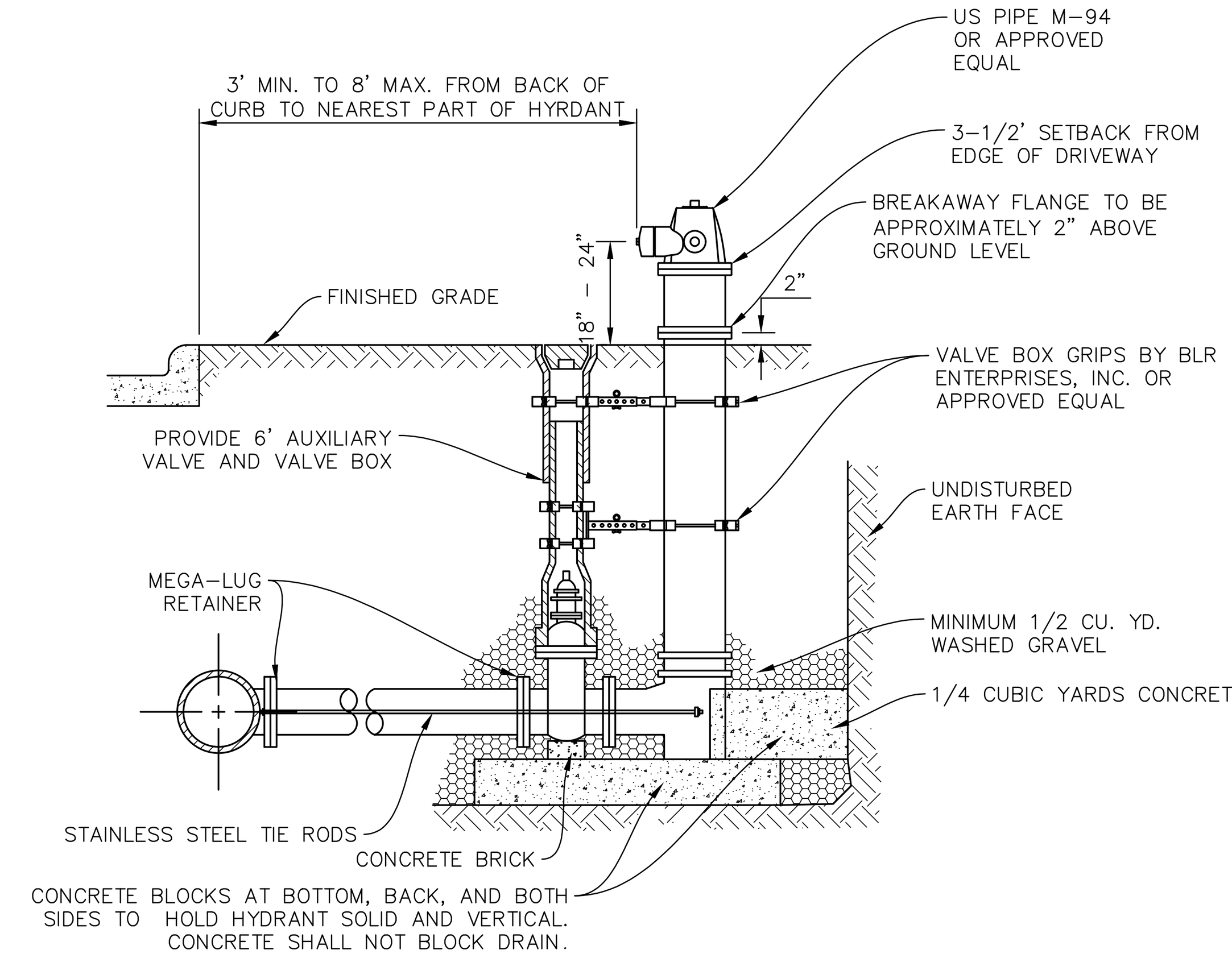
CATCH BASIN TYPE A

N.T.S.



8" BOLLARD DETAIL

N.T.S.



GENERAL NOTES:

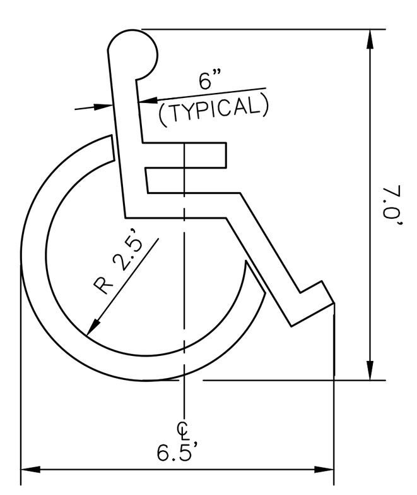
1. MAXIMUM BARREL EXTENSIONS ARE 18 INCHES AND SHALL BE WATEROUS EXTENSION FOR WATEROUS HYDRANTS.
2. ALL HYDRANTS ARE TO BE SUPPLIED WITH A 6" FLANGED AND MECHANICAL JOINT AUXILIARY VALVE THAT CONFORMS TO AWWA 500–80. ALL TRIM BOLTS ARE TO BE STAINLESS STEEL.
3. ALL BELOW GRADE FASTENERS TO BE STAINLESS STEEL:
   A. BOLTS AND THREADED RODS – GRADE #304
   B. NUTS AND WASHERS – GRADE #300
4. MEGA–LUG RETAINERS MUST BE INSTALLED ON ALL MECHANICAL FITTINGS.

FIRE HYDRANT

N.T.S.

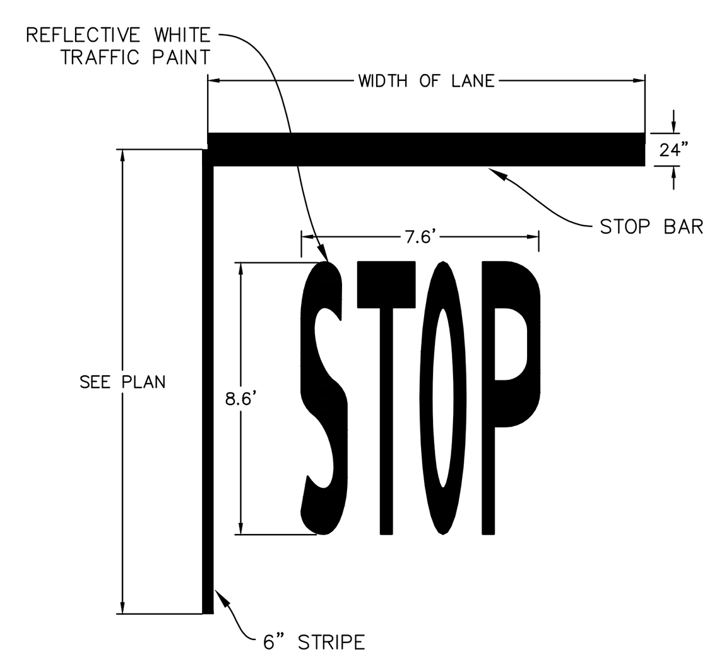
ACCESSIBLE PARKING SIGN
WITH $250 FINE SIGN
MUTCD R7-8, 12"x18"
IL. STD. R7-1101, 12"x6"

ACESSIBLE PARKING SIGN



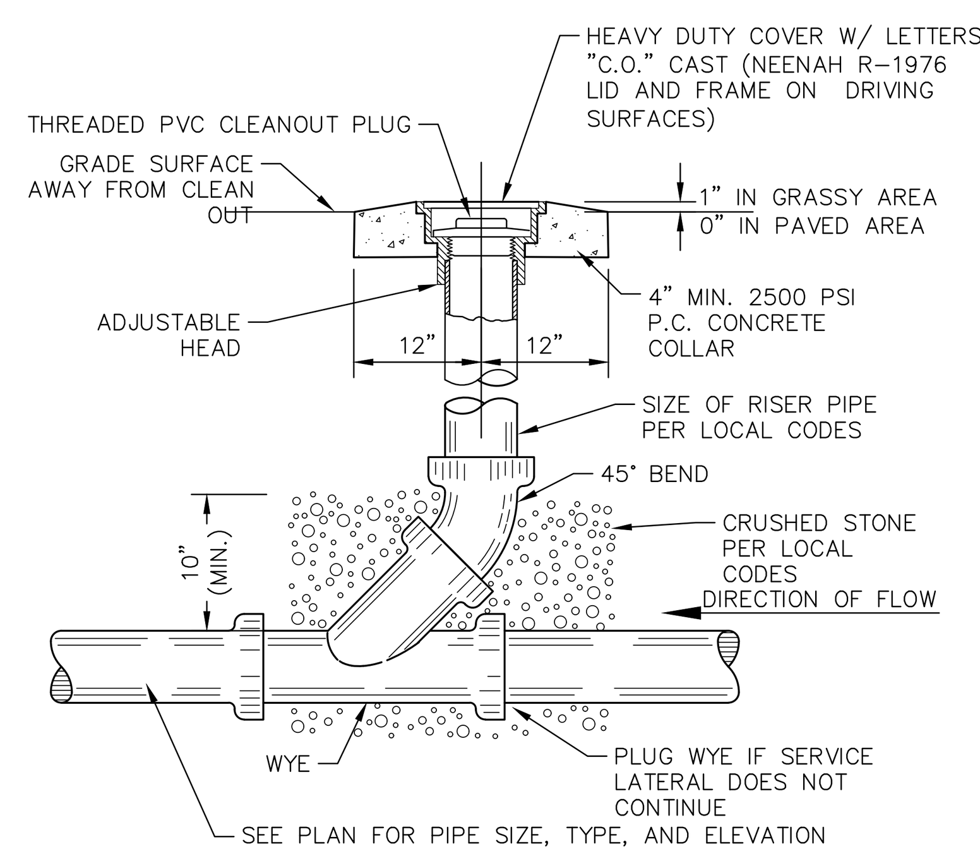
ACCESSIBLE PARKING SYMBOL

N.T.S.



STOP BAR

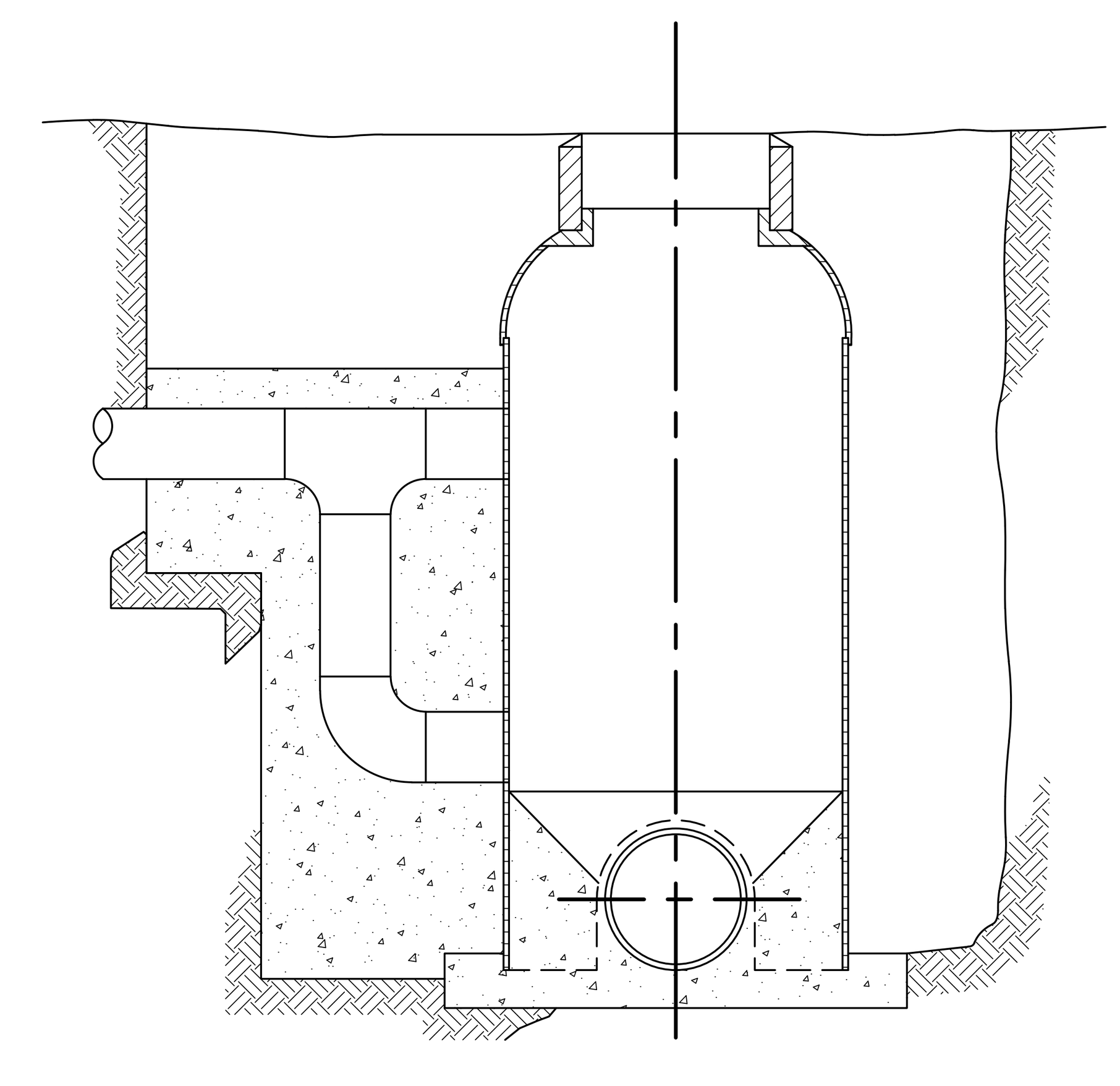
N.T.S.



NOTE: SEE APPLICABLE DETAIL FOR BACKFILL AND BEDDING INSTRUCTIONS.

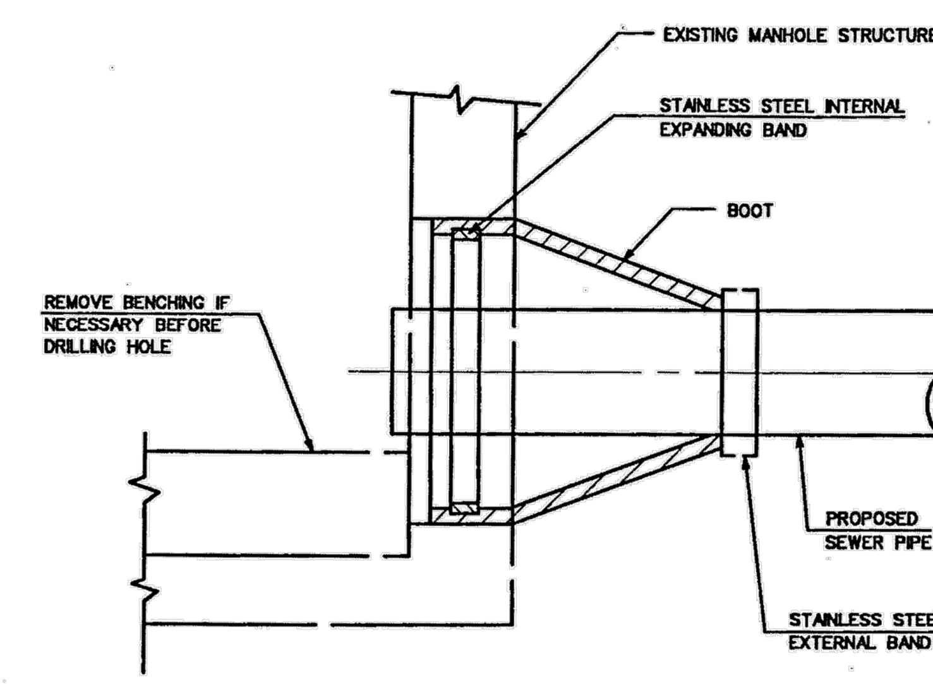
SANITARY/STORM CLEAN-OUT

N.T.S.



MANHOLE DROP CONNECTION

N.T.S.



NOTES:

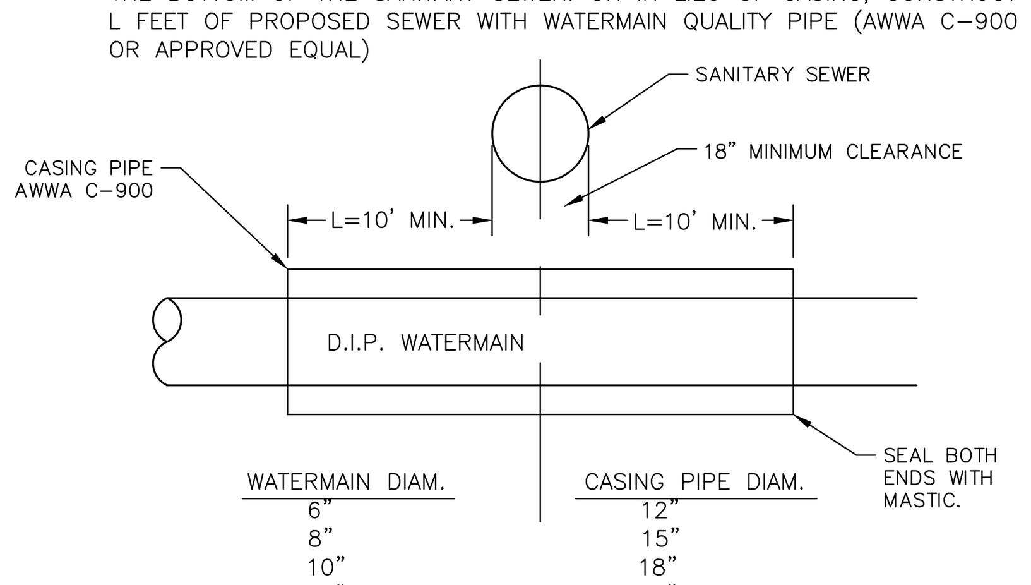
1. CORE-DRILL CIRCULAR OPENING IN MANHOLE WALL OF DIAMETER TO FIT THE REQUIRED BOOT SIZE.
2. KOR-N SEAL FLEXIBLE RUBBER BOOT (MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC.) OR APPROVED EQUAL SHALL BE USED FOR WATERTIGHT CONNECTION.
3. CUT, SHAPE AND SLOPE NEW INVERT CHANNEL IN THE EXISTING CONCRETE BENCH FOR SMOOTH FLOW FROM NEW SANITARY SEWER CONNECTION.
4. CLEAN EXISTING MANHOLE OF ANY DIRT, CONCRETE OR DEBRIS WHICH MAY ACCUMULATE DURING THE CONSTRUCTION PROCESS.

ANITARY SEWER CONNECTION TO EXISTING MANHOLE

CONFLICTS OCCUR WHERE WATERMAINS PASS WITHIN 18" OVER OR PASS UNDER A SANITARY AND/OR STORM SEWER AND SHALL BE PROVIDED FOR AS FOLLOWS:

SANITARY SEWER CONFLICTS:

PROVIDE WATERMAIN EQUIVALENT PIPE AND JOINTS FOR THE SANITARY SEWER 10 FT. EITHER SIDE OF WATERMAIN CROSSING USING MISSION TYPE COUPLINGS TO MAKE THE TRANSITION BETWEEN THE TWO MATERIALS, OR ENCASE WATERMAIN AS SHOWN BELOW. REGARDLESS OF METHOD, THERE SHALL BE A MINIMUM 18" CLEARANCE BETWEEN TOP OF WATERMAIN AND THE BOTTOM OF THE SANITARY SEWER. OR IN LIEU OF CASING, CONSTRUCT L FEET OF PROPOSED SEWER WITH WATERMAIN QUALITY PIPE (AWWA C–900 OR APPROVED EQUAL)



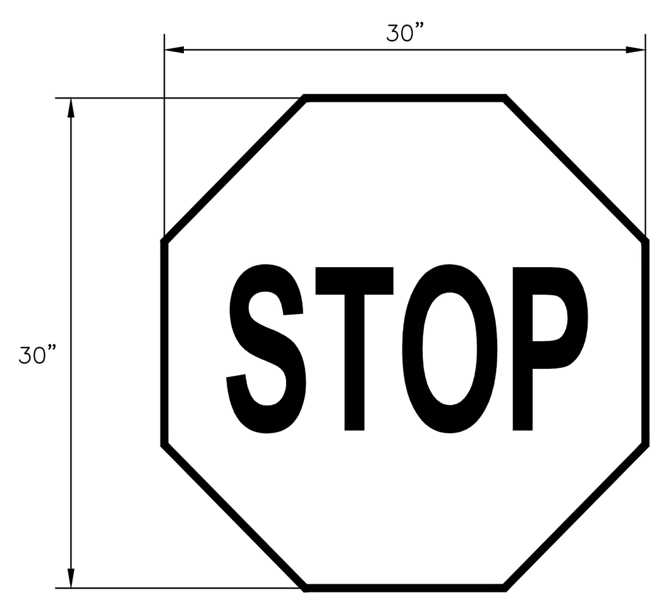
WATERMAIN DIAM.	CASING PIPE DIAM.
6"	12"
8"	15"
10"	18"
12"	18"

STORM SEWER CONFLICTS:

PROVIDE STORM SEWER PIPE WITH O–RING GASKET JOINTS CONFORMING TO ASTM C–361 10 FT. EITHER SIDE OF WATERMAIN CONFLICTS AND PROVIDE A MINIMUM 18" CLEARANCE BETWEEN TOP OF WATERMAIN AND THE BOTTOM OF THE STORM SEWER OR PROVIDE CONFLICT RESOLUTION IN ACCORDANCE WITH ABOVE SANITARY/WATER CROSSING

WATERMAIN CONFLICTS

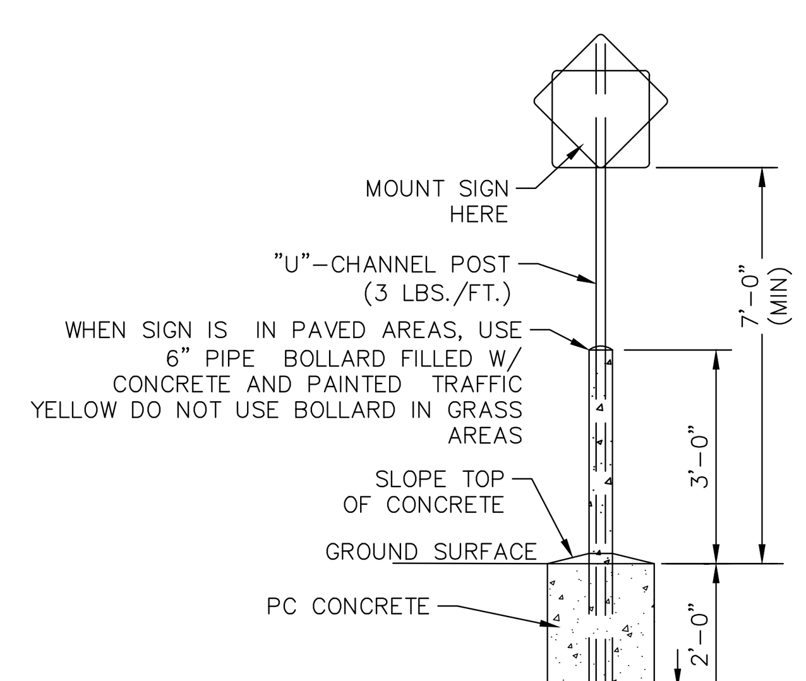
N.T.S.



30" X 30" R1–1

STOP SIGN

N.T.S.



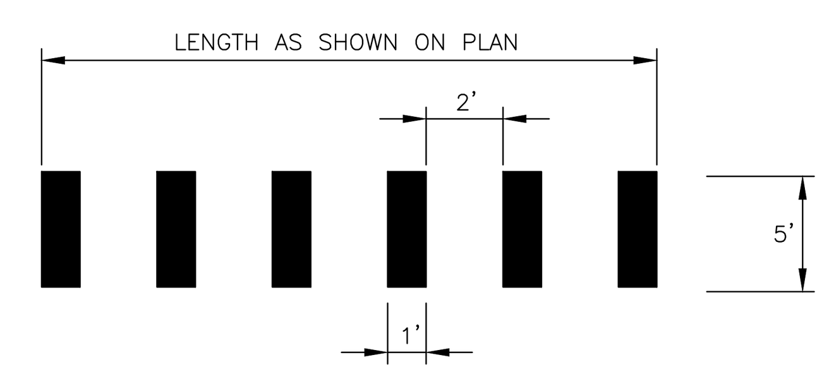
NOTES:

POLE AND SIGN TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

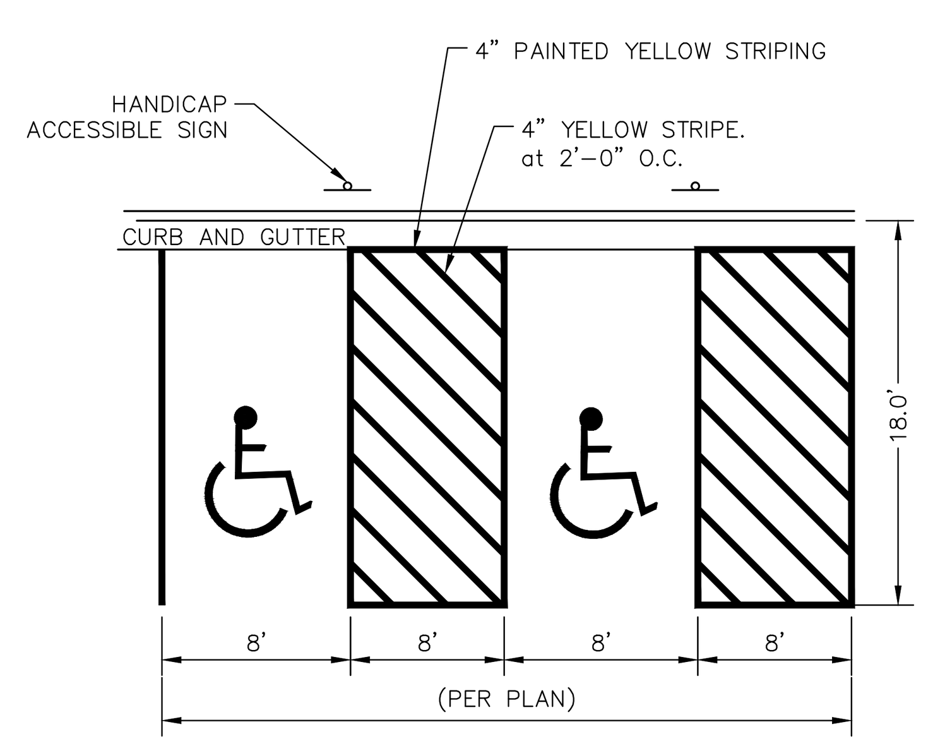
STANDARD SIGN BASE

N.T.S.



PAINTED CROSS-WALK DETAIL

N.T.S.



NOTE: REFER TO PLAN FOR DETAILED LAYOUT AND DIMENSIONS

TYPICAL HANDICAP STRIPING

N.T.S.

No.	REVISIONS	DATE	BY

Kimley»Horn
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SCALE: AS NOTED
DESIGNED BY: SMH
DRAWN BY: SMH
CHECKED BY: EJT

CONSTRUCTION DETAILS

DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
SHEET NUMBER
C7.1

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER		REMARKS
AS	3	Acer rubrum `Red Sunset`	Red Sunset Maple	B & B	2.5"Cal		Strong central leader
TC	4	Tilia cordata	Littleleaf Linden	B & B	2.5"Cal		Strong central leader
SHRUBS	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**CONT**	**HEIGHT**		**REMARKS**
IVH	45	Itea virginica `Henry`s Garnet`	Henry`s Garnet Sweetspire	Cont.	30" HT MIN.		Uniform; Dense; Full to the ground
RKR	27	Rosa x `Knockout` TM	Knockout Rose	Cont.	30" HT MIN.		Uniform; Dense; Full to the ground
TD	22	Taxus x media `Densiformis`	Dense Yew	Cont.	36" HT. MIN.		Uniform; Dense; Full to the ground
TH	8	Taxus x media `Hicksii`	Hicks Yew	Cont.	36" HT. MIN.		Uniform; Dense; Full to the ground
VLM	57	Viburnum lantana `Mohican`	Mohican Wayfaring Tree	Cont.	36" HT. MIN.		Uniform; Dense; Full to the ground
GROUND COVERS	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**CONT**		**SPACING**	**REMARKS**
LMC	53	Liriope muscari	Lily Turf	1 gal.		18" o.c.	

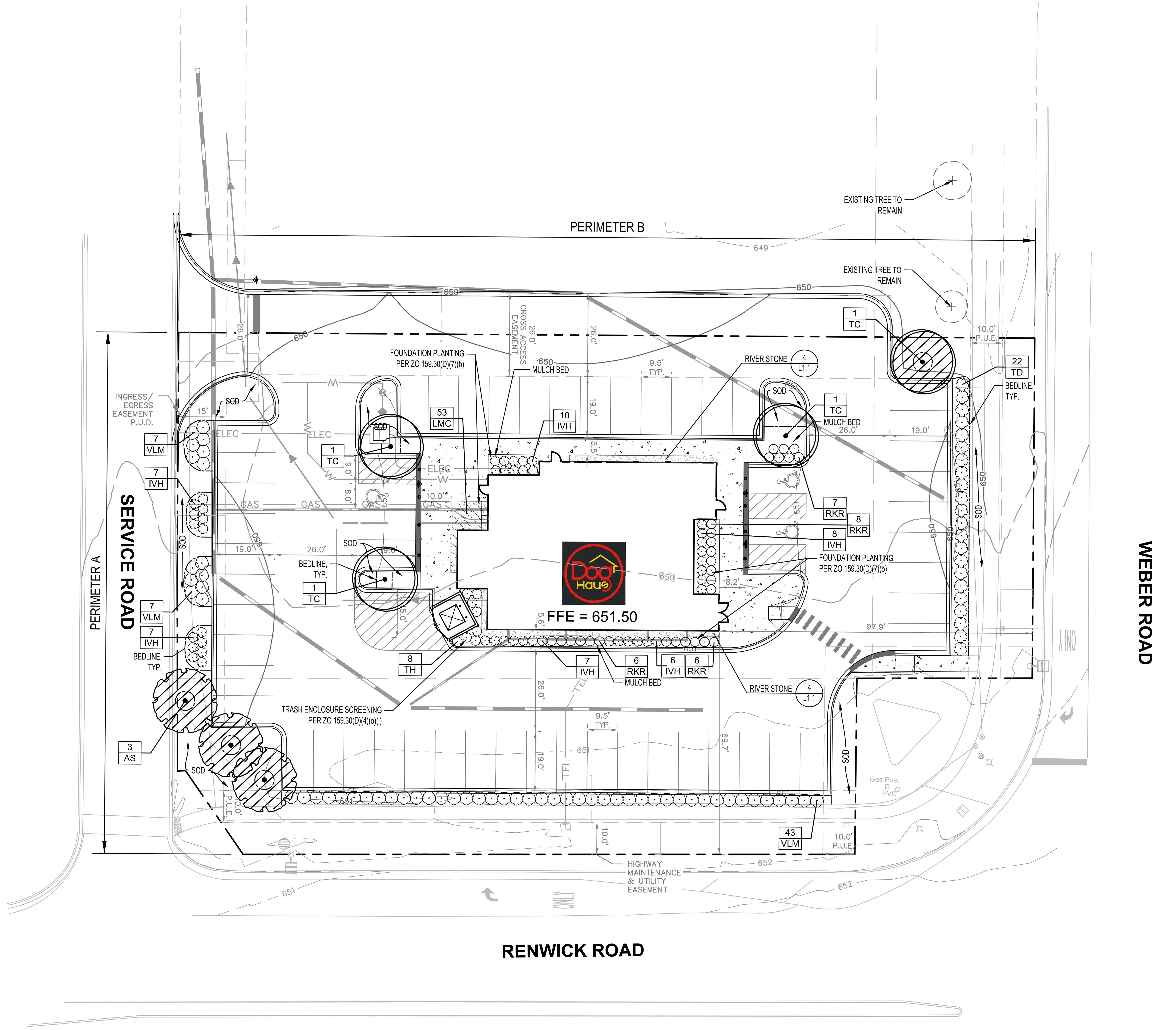
LEGEND

▨	TREE PRESERVATION REPLACEMENT TREE
— - - —	PROPERTY LINE
—·—·—·—	BED LINE

Call Before You Dig
JULIE
1-800-892-0123

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40



Parking Lot Perimeter Landscaping	*ZO 159.30(D)(6)*
Front Yard *along Renwick Road*	
Parking Perimeter Length= 171'	Required Length of Landscape Screen= 103' (60%) Length of Landscape Screen Provided= 171' (100%) *(see note 1)*
Corner Side Yard *along Weber Road*	
Parking Perimeter Length= 86'	Required Length of Landscape Screen= 52' (60%) Length of Landscape Screen Provided= 86' (100%) *(see note 1)*
Side Yard *along Service Road*	
Parking Perimeter Length= 95'	Required Length of Landscape Screen= 48' (50%) Length of Landscape Screen Provided= 48' (51%)

Note:
1. If a continuous row of shrubs or hedges is chosen for a Front Yard or Corner Yard, the entire parking lot frontage shall be screened (ZO 159.30(D)(6)(c)(b).

Perimeter Landscaping		*ZO 159.30(D)(8)*
Perimeter A *along east boundary*	Abutting Property Zoning= B-3 Frontage Length= 163'	
Plant Material Type	Quantity Required	Quantity Provided
Shade Tree	1 per 75LF frontage= 3	3
Perimeter B *along north boundary*	Abutting Property Zoning= B-3 Frontage Length= 45' *(see note 1)*	
Plant Material Type	Quantity Required	Quantity Provided
Shade Tree	1 per 75LF frontage= 1	1

Note:
1. Cross Access Easement is excluded from the frontage length.

Tree Preservation *ZO 159.30 (C)*

Existing Trees to be Removed	Caliper	Replacement Trees Required
Deciduous Tree	4 inches	4
Deciduous Tree	5 inches	4
Deciduous Tree	5 inches	4
Total Replacement Trees Required=		**12**
Replacement Trees Provided=		4

Note:
1. Only trees to be removed with a caliper of 4-inches or greater are noted within this table (ZO 15930 (C)(1)).
2. Location, species, and size of replacement trees is noted on the landscape plan.
3. Replacement trees may not be located within the parking lot or within the public right-of-way (ZO 159.30(C)(3)(i)(vi).

No.	REVISIONS	DATE	BY

Kimley»Horn
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SCALE: AS NOTED
DESIGNED BY: PTC
DRAWN BY: PTC
CHECKED BY: WDW

LICENSED LANDSCAPE ARCHITECT
KEITH E DEMCHINSKI
157-001461
STATE OF ILLINOIS

LANDSCAPE PLAN

DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

ORIGINAL ISSUE: 06/07/2018
KHA PROJECT NO. 118220003
SHEET NUMBER
L1.0

GENERAL NOTES

1. Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
3. Planting beds and individual tree plantings shall be mulched continuously as specified.
4. Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage.
   Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.
8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken.
9. All material including planting operation appurtenances shall be of domestic origin manufacture and sourced within 100 miles of the project site.
10. Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS

A. General

1. Live healthy plants free of dead branches and parts
2. Free of disease, insect, injury and damage
3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damage.
4. Free of girdling roots or rootbound/circling container conditions
5. Plants of consistent in growth habit and healthy character
6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars
7. Point of origin growing location within 100 miles of project site
8. Graded, standards, caliper, sizes and stock consistent with *ANSI Z60.1, American Standard for Nursery Stock* most current edition
9. Species identified consistent with *Hortus Third: Concise Dictionary of Plants Cultivated in the United States and Canada*, most current edition and *Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses*, most current edition
10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

1. Deciduous Single Trunk
   a. Full, straight and upright with consistent symmetrical natural branching pattern throughout
   b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction

2. Deciduous Multi-Trunk
   a. Full and upright with straight consistent symmetrical natural branching pattern throughout
   b. Canes evenly spaced and of similar growth habit
   c. Free of suckers and extraneous branching

3. Evergreen Single-Trunk
   a. Full and upright with continuous symmetrical dense natural habit
   b. Clear branching height twelve (12) inches above top of rootball
   c. Free of suckers and extraneous branching
   d. Do not shear or otherwise prune to shape plantings

C. Evergreen and Deciduous Shrubs

1. Full, dense and naturally symmetrical.
2. Consistent with container and/or balled and burlapped size
3. Free of suckers and extraneous branching
4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover

1. Full and dense in pots or flats

E. Perennials and Seasonal Color

1. Full and dense in pots or flats

F. Turf Grass

1. Subgrade

   a. Soil Mix-10% Compost, 90% topsoil by volume
   b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than ¾ inch in any dimension
   c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

2. Grass Sod

   a. Install not longer than twenty-four (24) hours from harvest
   b. Grass bed not less than two (2) inches in continuous thickness
   c. 100% continuous live sod coverage after first growing season and at end of warranty period.
   d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
   e. Stagger installation rows and place aligned parallel to contours
   f. Fill joints solidly with planting bed preparation soil
   g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

   a. Mix approved by the Landscape Architect
   b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
   c. Provide seed mix not greater than 15% annual or perennial rye
   d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty
   e. Replacement or overseeding mixes consistent with original application/installation
   f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A. Testing

1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than ¾ inch in any direction. Clay content shall not exceed 25%.Gravel content shall not exceed 10%. Silt shall not exceed 25%

C. Use of Existing Topsoil

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

D. Shredded Hardwood Mulch

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed. Neutral Ph balance 5.5-7.5

E. Composted Pine Bark Fines

1. 100% organic ground pine bark with no particle dimension greater than ¾-inch and no greater than 10% wood content

F. Compost Ph

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight. Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G. Compost Testing

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety requirements
2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of the US Composting Council Seal of Testing approval programs

H. Planting Mix

1. 85% topsoil and 15% Compost

I. Fertilizer

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

J. Herbicide

1. Product and Material Safety Data as approved by Owner

K. Water

1. Potable only unless otherwise approved by Owner

L. Hardwood Stakes

1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M. Tree Ties

1. Villa Non-Abrasive Rubber Tree Ties or approved equal

N. Filter Fabric

1. Mirafi 140-N or approved equal

O. Steel Edging

1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

P. River Stone

1. Locally sourced, river rounded, unfaceted river stone/cobbles.
2. Size shall not exceed 3 total inches in any dimension.
3. Color and texture approved by Owner
4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints.
5. Concrete or mortar as approved by owner.

III. Execution

A. Site Conditions

1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions.
2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner of acceptance prior to commencement of work.
3. Notify Owner in writing of any conditions that may preclude successful completion of work including items such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.
4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities.
5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required work by others.

B. Planting Seasons

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner on an individual project basis.

1. Deciduous and Evergreen Trees

   a. Do not install/plant the following trees between September 15 and March 15

1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea)
2. Dogwood (Cornus Sp.)
3. Sweetgum (Liquidambar Sp.)
4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

2. Deciduous and Evergreen Shrubs

   a. Install/plant between March 15 and June 15 and/or September 15 and November 30

3. Perennials

   a. Install/plant between March 15 and June 15 and/or September 15 and November 30

4. Spring Flowering Bulbs

   a. Install/plant between September 15 and December 15

5. Seasonal Annuals

   a. Install/plant in season per approved schedule

6. Turf Grass

   a. Install/plant between March 15 and May 15 and/or September 15 and November 30
   b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

7. No Plant Installation

   a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

C. Positioning & Location of Plantings

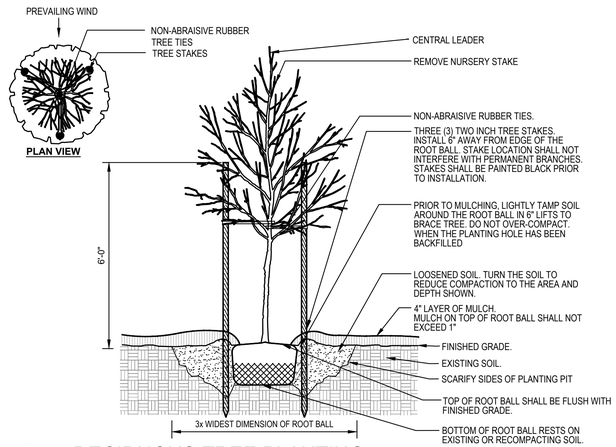
1. Position plants to show the most-prominent and well-formed face to most-public view
2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning installation
3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without Owner approval

D. Implementation

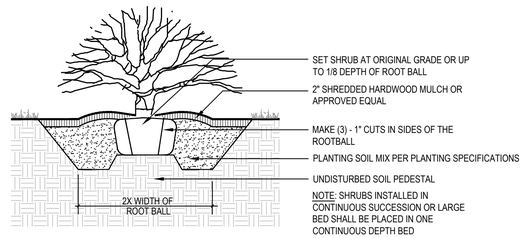
1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner
2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials
3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work
4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil
5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

E. Clean Up

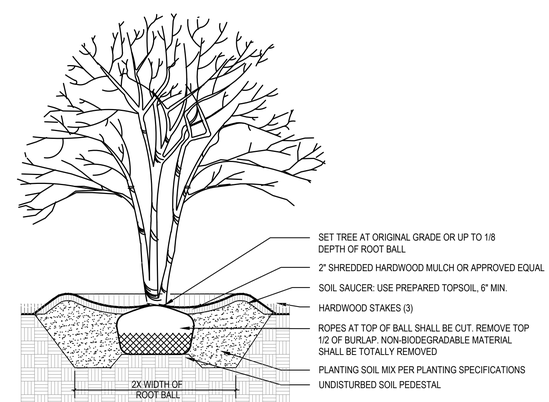
1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site furnishings, etc.
2. Repair any damage to existing conditions that occurred during execution of work.
3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape Architect.



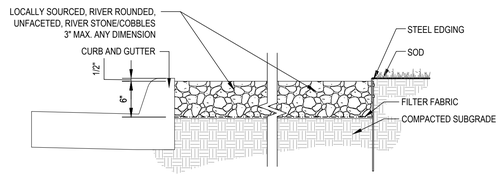
1 DECIDUOUS TREE PLANTING
NOT TO SCALE



2 SHRUB PLANTING
NOT TO SCALE



3 ORNAMENTAL TREE PLANTING
NOT TO SCALE



NOTE:
1. COLOR AND TEXTURE TO BE APPROVED BY OWNER PRIOR TO PURCHASE
2. ***ALTERNATE SETTING BED :*** PRIOR APPROVAL BY OWNER REQUIRED
   - SET STONES IN 2" CONCRETE SLAG.
   - DO NOT COVER MORE THAN 25% OF THE STONES

4 RIVER STONE
1"=1'-0"

No.	REVISIONS	DATE	BY

Kimley»Horn
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SCALE: AS NOTED	DESIGNED BY: PTC	DRAWN BY: PTC	CHECKED BY: WDW

LICENSED LANDSCAPE ARCHITECT
KEITH E DEMCHINSKI
157-001461
STATE OF ILLINOIS

DOG HAUS ROMEOVILLE
NWC RENWICK ROAD & WEBER ROAD
ROMEOVILLE, ILLINOIS, 60446

LANDSCAPE NOTES & DETAILS

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