

SITE IMPROVEMENT PLANS

FOR

ROMEOVILLE GATEWAY - BUILDING A

ROMEOVILLE, ILLINOIS

IDI GAZELEY

IDI Gazeley
Brookfield Logistics Properties

PROPOSED	DESCRIPTION	EXISTING
	STORM SEWER	
	WATER MAIN WITH SIZE	
	SANITARY SEWER	
	RIGHT-OF-WAY	
	CONTOUR	
	SPOT GRADE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	GATE VALVE W/MANHOLE	
	LIGHT POLE	
	STREET LIGHT W/MANHOLE	
	OVERFLOW DIRECTION	
	CURB & GUTTER	
	SALT FENCE	
	ROAD SIGN	
	UNDERGROUND ELECTRIC	
	UNDERGROUND GAS	
	UTILITY POLE	
	DEPRESSED CURB FOR RAMP/DRIVEWAY	
	TOP OF FOUNDATION	
	GARAGE FLOOR AT REAR OF GARAGE	
	TOP OF CURB DEPRESSED	
	TOP OF RETAINING WALL	
	RM FOR STRUCTURES	
	RISK FOR SANITARY SERVICE	
	HIGH/NORMAL WATER LEVEL	
	TRANSFORMER	
	FENCE LINE	
	GUARD RAIL	
	FORCE MAIN	
	UNDERGROUND TELEPHONE	
	OVERHEAD ELECTRIC	
	GAS LINE	



LOCATION MAP
NOT TO SCALE

VERTICAL DATUM — REFERENCE BENCHMARKS:
EXISTING CONDITIONS, BOUNDARIES, BENCHMARKS AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM A TOPOGRAPHIC SURVEY, PREPARED BY WEAVER BOOS CONSULTANTS, DATED 10/29/17.

REFERENCE BENCHMARK(S):

STATION DESIGNATION: 224 (WILL COUNTY)
ESTABLISHED BY: NGS
FROM INTERSECTION OF IL RTE 53 AND JOULET RD GO NORTH ON JOULET RD 1 MI (1.6 KM) TO BLUFF ROAD GO RIGHT (EAST) 0.95 MI. STATION IS IN FRONT OF KEEPAWATON FOREST PRESERVE SIGN. STATION IS FLUSH WITH SURFACE AND IS STAINLESS ROD WITH SLEEVE WITH CAST CAP AND LID.
ELEVATION: 672.020 (NAVD83)

SITE BENCHMARK(S):

STATION DESIGNATION: SEM#1
ESTABLISHED BY: V3 1/7/16
RR SPIKE IN POWER POLE ON WEST SIDE OF RTE 53, EAST OF 1277 NAPERVILLE DR.
ELEVATION: 714.48 (NAVD83)

STATION DESIGNATION: SEM#2
ESTABLISHED BY: V3 1/6/16
RR SPIKE IN POWER POLE ON NORTH SIDE OF JOULET RD, SOUTHEASTERLY FROM SOUTHEAST CORNER OF 265 MARQUETTE DR.
ELEVATION: 688.50 (NAVD83)

STATION DESIGNATION: SEM#3
ESTABLISHED BY: V3 1/6/16
NORTHEAST BOLT ON FIRE HYDRANT ON NORTH SIDE OF JOULET RD, SOUTHEASTERLY FROM EASTERLY CORNER OF #1231 NAPERVILLE DR.

EXISTING CONDITIONS:
EXISTING CONDITIONS OBTAINED FROM FINAL ENGINEERING PLANS FOR ROMEOVILLE GATEWAY PHASE I MASS GRADING & INFRASTRUCTURE, DATED 7/25/17, PREPARED BY V3 COMPANIES, AND FROM A TOPOGRAPHIC SURVEY, DATED 10/29/08, PREPARED BY WEAVER BOOS CONSULTANTS.

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C2.0	GENERAL NOTES
C3.0	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	OVERALL DIMENSIONAL CONTROL & PAVING PLAN
C4.1	DIMENSIONAL CONTROL — SOUTHWEST
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C5.0	OVERALL GRADING PLAN
C5.1	GRADING PLAN — SOUTHWEST
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C6.0	OVERALL UTILITY PLAN
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C7.1	EROSION CONTROL PLAN — SOUTHWEST
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C8.0	STORMWATER POLLUTION PREVENTION PLAN
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C9.0	SPECIFICATIONS
C10.0	DETAILS
C11.0	DETAILS

DRAINAGE CERTIFICATE

I, MATTHEW J. KRAMER, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THIS DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

ENGINEER
MATTHEW J. KRAMER
MKRAMER@JACOBANDHEFNER.COM

DATE
ILLINOIS REGISTRATION NO. 062-064896
EXPIRES 11/30/2017
ENGINEER ONLY COPIES SHEETS

THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND WARNED YOUR CONSTRUCTION.

No.	Description	Date
2	Revised per Village	9/14/17
1	Original Plan Date	8/2/17
REVISIONS		



JACOB & HEFNER
ASSOCIATES

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www.jacobandhefner.com

WARNING



CALL BEFORE YOU DIG

(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)



Know what's below.
Call before you dig.

Municipality: ROMEOVILLE, IL
County: WILL
Township: 37N
Range: 10E
Section: 26

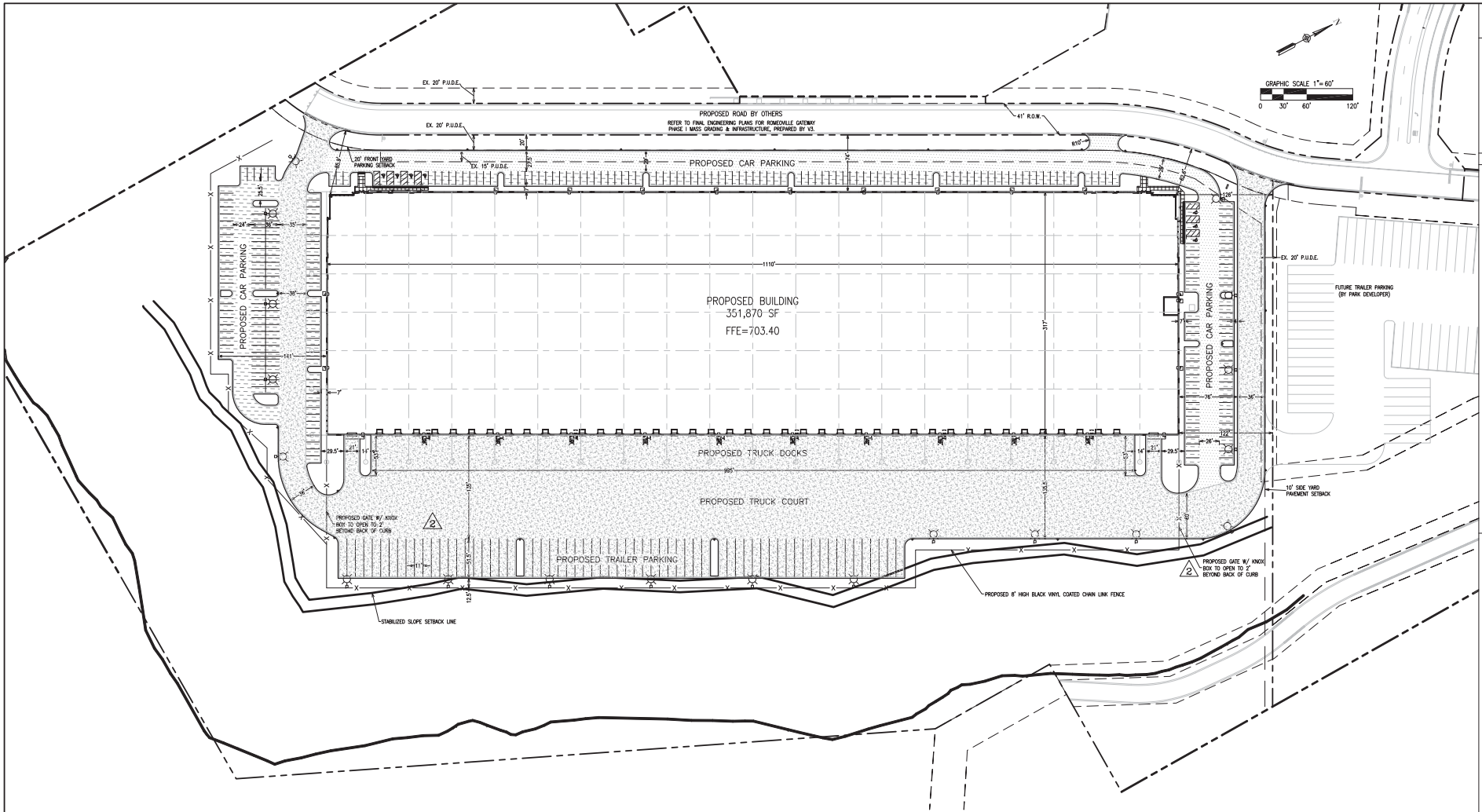
FOR REVIEW PURPOSES ONLY

GENERAL NOTES		CONTACTS		GENERAL NOTES		CONTACTS	
1.	ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, ALL AMENDMENTS THEREON AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF TRANSPORTATION IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.	CIVIL ENGINEER JACOB & HEFNER ASSOCIATES, INC. CONTACT: MATTHEW HEFNER, P.E. 1333 BUTTERFIELD ROAD, SUITE 300 DOWNERS GROVE, IL 60515 (630) 652-4639	VILLAGE OF ROMEOVILLE VILLAGE PLANNER CONTACT: NATHAN DARGA 1050 W. HEMLOCK RD ROMEOVILLE, IL 60446 (618) 886-0333	2.	REVISED PER VILLAGE	9/12/27	Date
2.	STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF TRANSPORTATION IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.	VILLAGE ENGINEER ROBINSON ENGINEERING CONTACT: JONATHAN ZABROCKI, P.E. 618 ANDERSON DR. ROMEOVILLE, IL 60446 (618) 886-1870	DEVELOPER IDI GAZELEY CONTACT: JEFFREY SMITH, P.E. 500 PARK BOULEVARD, SUITE 750 PISCATAWAY, NJ 07053 (908) 918-1040	1.	ORIGINAL PLAN DATE	8/2/17	Description
3.	STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND REQUIRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK ARE NOT TO BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.	ARCHITECT MACROGORG ASSOCIATES ARCHITECTS CONTACT: ANDREW M. DELL, AIA, CSI, LEED AP 2127 FRANCES FERRY ROAD SE BUILDING TWO, SUITE 1400 ATLANTA, GA 30359 (770) 452-9400	No	No	No	No	No
4.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
5.	NO CONSTRUCTION PLANS SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION" PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE OWNER AND THE MUNICIPALITY PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
6.	FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME, WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING, WILL CAUSE THE CONTRACTOR TO SUSPEND OPERATIONS (PREPARING TO TESTING) AND THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. THE COST OF SUSPENSION OF WORK TO BE BORNE BY THE CONTRACTOR.						
7.	ALL CONTRACTORS SHALL KEEP OPERATIONS AVAILABLE AT ALL TIMES, FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERLY SUBORDINATING THE SITE.						
8.	ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.						
9.	THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED, ANY STAKES DESTROYED OR DISTURBED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THEM AT THE CONTRACTOR'S COST.						
10.	ALL FINISHED AND LOTS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISHED GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE CONTRACTOR AND THE COST TO IT BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADES WILL NOT BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
11.	ANY EXISTING SLOES, LIGHT STAKES AND UTILITY PILES MAY BE INTERFERED WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR REMOVAL OR BE REMOVED BY THE CONTRACTOR AT HIS OWN DISCRETION, AS DIRECTED BY THE ENGINEER. ANY REMOVAL OF THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE, TO THE SATISFACTION OF THE OWNER. ANY WORK REQUIRED TO BE REPAIRED SHALL BE REPAIRED TO THE REPAIRING CONTRACTOR'S COST.						
12.	REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURBS AND GUTTERS, ETC., SHALL BE DONE BY THE CONTRACTOR AT HIS OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.						
13.	ALL FIELD TESTS ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SANITARY SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
14.	WORK REQUIRED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF MATERIALS NEEDED DURING THIS PERIOD.						
15.	BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED BY THE OWNER AND MUNICIPALITY.						
16.	UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL, AND PERFORMANCE BOND WITH PERFORMANCE IN THE AMOUNT OF THE CONTRACT PRICE BY THE MUNICIPALITY, GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY.						
17.	EXISTENCES FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES UNDER PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS AND FIELD INVESTIGATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXISTING UTILITY LOCATIONS IN THE FIELD OF THESE UTILITIES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES ARE NOT SHOWN ON THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
18.	THE OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR SHALL FURNISH ALL REQUIRED BOND, EASEMENTS AND EASEMENTS OF INDEMNITY TO SECURE THESE PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
19.	THE CONTRACTOR SHALL OBTAIN WORK BASED ON THEIR OWN BORROWING, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.						
20.	THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE IN ACCORDANCE WITH OSHA REGULATIONS.						
21.	AT NO ADDITIONAL EXPENSE TO THE OWNER, THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE, ROCKS, MOUNDINGS, TIES, STAKES OR LOTS SET BY SURVEYORS FOR CONSTRUCTION AND OTHER NEGLIGENTLY LEFT NOT PREPARED TO PROTECT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND OTHER MATERIALS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT FORBIDDEN.						
22.	IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADES, WARNING DEVICES AND THE SAFE MAINTENANCE OF TRAFFIC AND PEDESTRIANS WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR O.S.T.						
23.	NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, FINISH COURSE OR SURFACE COURSE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.						
24.	ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPAIRED TO THE ORIGINAL CONDITION OR BETTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
25.	AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE LEFT FREE FROM DIRT AND DEBRIS.						
26.	TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 20.15 OF THE SUBDIVISION SPECIFICATIONS.						
27.	LAND PAVING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A MANNER AS TO NOT INTERFERE WITH CONSTRUCTION.						
28.	ALL LINES, BRANCHES AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.						
29.	ALL CUTS OVER ONE INCH IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER ONE INCH IN DIAMETER SHALL BE PATCHED WITH AN APPROVED TREE PATCH.						
30.	ANY REMOVAL OF STEMS AND WATER TRUNKS, AS WELL AS TEMPORARY SHEDDING OR BRACING THAT MAY BE REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THE COST MATERIALS AND UNRECOVERED STRENGTH LESS THAN 0.5 TSP ARE ENCOUNTERED DURING STORM AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE OWNER AND/OR ENGINEER. CONTRACTORS ARE TO CUT AT A MINIMUM ONE FOOT FROM THE BOTTOM OF THE PIPE. THE TRENCH SHALL BE BACKFILLED WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.						
31.	THE CONTRACTOR SHALL RECORD VIDEO OF THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.						
32.	TRENCH PROFILING WILL BE REQUIRED TO THE FULL DEPTH AHEAD ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENT, UTILITIES, BUILDINGS AND ROADS. THE TRENCH PROFILER SHALL BE DONE IN ACCORDANCE WITH BEST STANDARD PRACTICES. THE TRENCH PROFILER AND SECOND INTERNAL SHALL CONFORM TO CRUSHED STONE, COMPACTED TO EIGHT GRADATIONS 0-4.						
33.	WORKER SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEARED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE.						
34.	HORMONTS SHALL NOT BE FLUSHED DIRECTLY INTO THE ROAD SURFACES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO THE DRAINAGE SYSTEM. TO THE ROAD SURFACES OR USE AREAS TO DISCHARGE WATER SATURATION UNDER PRESSURE FROM HORIZONTAL FLOWING OR LEAKS IN THE WATER DISTRIBUTION SYSTEM. WHILE THE RESPONSIBILITY OF THE CONTRACTOR, FLOWING OR LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FLOWING OR LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FLOWING OR LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.						
35.	AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL IN LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. EROSION PROTECTION (NETT BASKETS) SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT INTERFERE WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE CONTRACT LOCATIONS LOCATED THEREIN IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.						
36.	THE ENGINEER CONTRACTOR SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL AND SHALL BE MAINTAINED BY THE CONTRACTOR. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL A SUFFICIENT CHANCE OF STABILIZATION TO THE ENGINEER. THIS HAS BEEN DEVELOPED.						
37.	THE ENGINEER SHALL PROVIDE ONE YEAR AND RECORD BLUELINE SETS TO THE CONTRACTOR AND OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, MAINTENANCE AND RECORDING OF THE PLANS LOCATION AND LOCATION OF THE ENGINEER CONTRACTOR SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL AND SHALL BE MAINTAINED BY THE CONTRACTOR. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL A SUFFICIENT CHANCE OF STABILIZATION TO THE ENGINEER. THIS HAS BEEN DEVELOPED.						
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- 1) CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
- 2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.
- 3) NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER AND WATER DEPARTMENT APPROVAL.
- 4) ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
- 5) ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT-OF-WAYS.
- 6) ALL WASTE MATERIALS SHALL BE DISPOSED OFFSITE IN AN APPROVED FACILITY.
- 7) THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OR ADJOINING PROPERTY.
- 8) CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS NOT INDICATED FOR REMOVAL. SOME EXISTING TREES AND SHRUBS MAY NOT BE SHOWN ON THE PLANS.
- 9) ALL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS TO VERIFY ALL QUANTITIES RELATED TO CONSTRUCTION.
- 10) REFERENCE TO EROSION CONTROL PLAN FOR EROSION CONTROL MEASURES.
- 11) PRIOR TO COMMENCING ANY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES ON THE PROJECT WHICH MAY IN ANY WAY CREATE INVOLVEMENT WITH EXISTING PUBLIC UTILITIES, THE CONTRACTOR SHALL CONTACT THE UTILITY OR COMMUNITY INVOLVED; ADJUSTMENT OF ANY PUBLIC UTILITIES WITHIN THIS PROJECT AREA WILL BE DONE BY THE RESPECTIVE OWNERS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE.
- 12) EXISTING CONDITIONS OBTAINED FROM A TOPOGRAPHIC SURVEY, PREPARED BY WEAVER BROS CONSULTANTS, DATED 10/25/08 AND FROM FINAL ENGINEERING PLANS FOR REMOVAL/VE GATEWAY PHASE 1 MASS GRADING & INFRASTRUCTURE, PREPARED BY V3 COMPANIES, DATED 12/9/17.

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www.jacobandhefner.com

F305
' = 60'
C3.0



GEOMETRIC NOTES

- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2) INSTALL REVERSE PITCH 86.12 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE. CURB & GUTTER MAY BE POURED MONOLITHICALLY IN DUCTILECRETE AREAS.
- 3) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING: _____
- 4) CURB AND GUTTER DENOTED BY: _____
- 5) DEPRESSED CURB AND GUTTER DENOTED BY: _____
- 6) ALL RADI ARE 4'-FT UNLESS NOTED OTHERWISE.
- 7) ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 8) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 9) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- 10) STAIR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.

- 11) ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
- 12) FIBER EXPANSION JOINTS OF 3/4" FULL DEPTH BIT. FIBER MATERIAL SHALL BE INSTALLED AS REFERENCED IN THE PAVEMENT LEGEND (THIS SHEET) AND WHERE CONCRETE ABUTS ALL CURB, BUILDING, POLES OR OTHER STRUCTURES IN DUCTILECRETE AREAS.
- 13) CONSTRUCTION JOINTS SHALL BE PLACED WHERE REQUIRED IN ACCORDANCE WITH AASHTO 3300-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.
- 14) DETECTABLE WARNING STRIPS SHALL BE EAST JORDAN INSERTS, HEAVY DUTY LOAD RATING, BRICK RED POWDER COATING RAL3016.

PAVEMENT LEGEND

- CAR PARKING PAVEMENT
2.00" SURFACE COURSE, MAX "D", N50
2.25" HMA BINDER COURSE, IL-19, N50
8.00" CA-6 BASE COURSE
- DUCTILECRETE PAVEMENT
6.0" DUCTILECRETE PAVEMENT
4.0" CA-6 BASE COURSE CONSTRUCTION JOINTS
@ 15' C-C MAX.
EXPANSION JOINTS @ 60' C-C
COMPACTED SUBGRADE, WAS MODIFIED PROCTOR.
ALL SUBGRADE PREPARATION AND PAVEMENT
SPECIFICATION SHALL BE PER DUCTILECRETE.
- SIDEWALK PAVEMENT
5.0" PCC PAVEMENT (4000 PSI
UNREINFORCED, BROOM FINISH)
4.0" CA-6 BASE COURSE
CONSTRUCTION JOINTS @ 5.0' C-C
EXPANSION JOINTS @ 50.0' C-C
- FIRE LANE PAVEMENT
2.00" SURFACE COURSE, MAX "D", N50
3.00" HMA BINDER COURSE, IL-19, N50
10.00" CA-6 BASE COURSE

SITE DATA	
OVERALL SITE AREA	28.2 AC
IMPERVIOUS COVERAGE	15.6 AC=55%
FLOOR AREA RATIO	0.29
VEHICLE STATISTICS	
CAR PARKING STALLS	267 TOTAL (260 REG+7 HC)
TRAILER PARKING STALLS	40
TRUCK DOCKS	41

OVERALL DIMENSIONAL
CONTROL & PAVING PLAN
ROMEOVILLE GATEWAY - BUILDING A
IDI GAZELEY
ROMEVOILLE, ILLINOIS

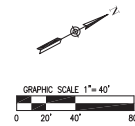
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IDI Gazeley
Brookfield Logistics Properties

F305
1" = 60'
C4.0

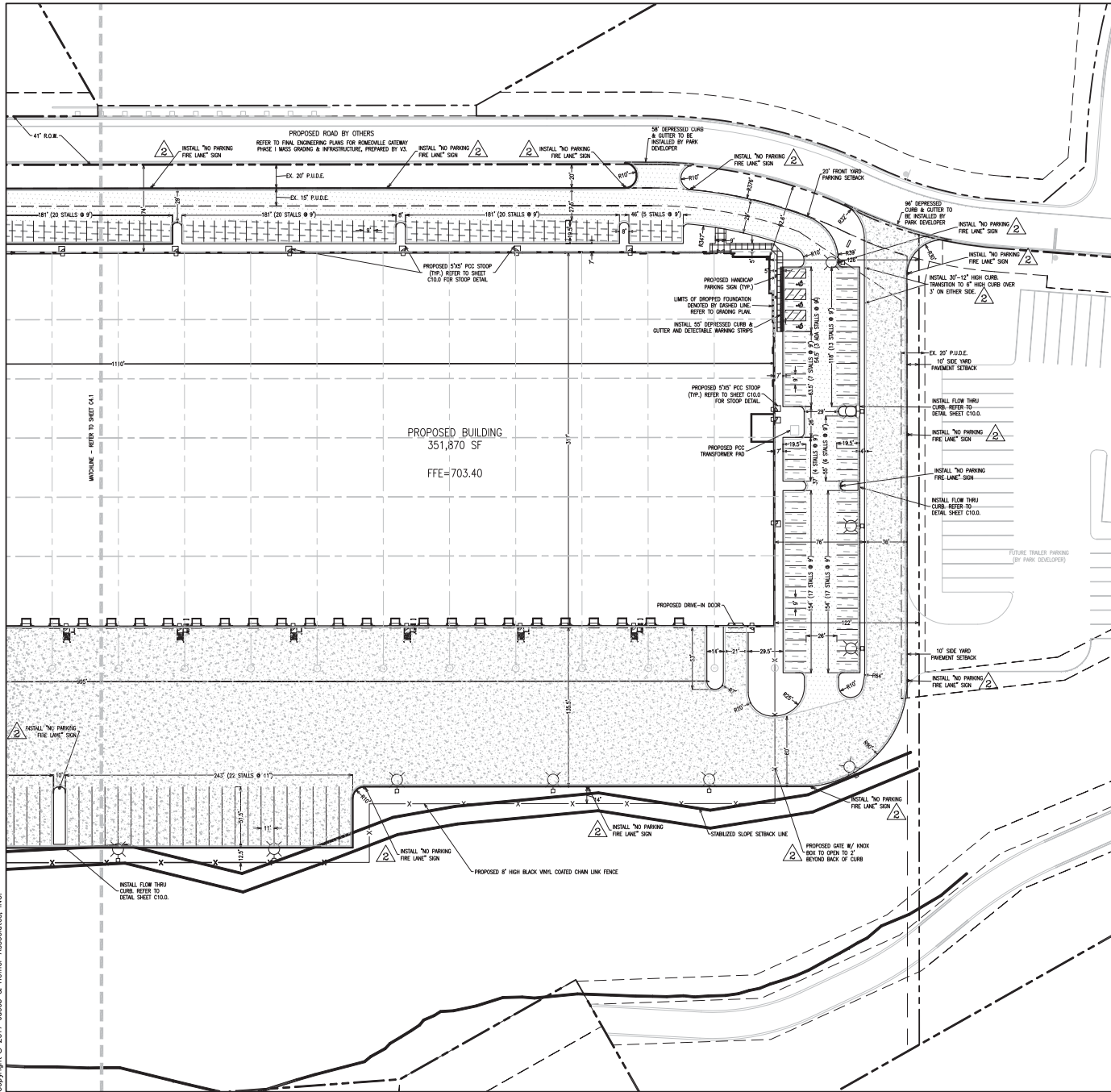
No.	Description	Date
2	REVISED PER VILLAGE	9/12/17
1	ORIGINAL PLAN DATE	8/2/17



	<p>CAR PARKING PAVEMENT 2.0" SURFACE COURSE, MIX T₁₀, N50 4.0" MA BINDER COURSE, 1-19, N50 8.0" C+A-B BASE COURSE</p>		<p>SIDWALK PAVEMENT 2.0" PAD PAVEMENT (4,000 PSI UNCOMPRESSED BEDDING FINISH) 4.0" C+A-B BASE COURSE CONTRACTION JOINTS @ 30' C-C EXPANSION JOINTS @ 50' C-C</p>
	<p>DUCTILETOLITE PAVEMENT 6.0" DUCTILETOLITE PAVEMENT 4.0" C+A-B BASE COURSE CONTRACTION JOINTS @ 15' C-C EXPANSION JOINTS @ 60' C-C</p>		<p>FIRE LANE PAVEMENT 2.0" SURFACE COURSE, MIX T₁₀, N50 4.0" MA BINDER COURSE, 1-19, N50 10.0" C+A-B BASE COURSE</p>

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- 7) ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 8) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 9) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- 10) STAR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.
- 11) ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
- 12) FIBER EXPANSION JOINTS OF 3/4" FULL DEPTH BIT. FIBER CEMENT SHALL BE INSTALLED AS REFERENCED IN THE PAVEMENT LEGEND (THIS SHALL INCLUDE WHERE CONCRETE ABUTS ALL CURBS, BUILDING, POLES OR OTHER STRUCTURES).
- 13) CONSTRUCTION JOINTS SHALL BE PLACED WHERE REQUIRED IN ACCORDANCE WITH ACI 308R-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.
- 14) DETECTABLE WARNING STRIPS SHALL BE EAST JORDAN INSERTS, HEAVY DUTY LOAD RATING, BRICK RED PAVEMENT COATING RAL3016.

F305		 IDI Gazeley Decoded Logistics Properties 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60155 PHONE: (630) 652-6000, FAX: (630) 652-6001 www.jacobandhefner.com	 JACOB & HEFNER ASSOCIATES 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60155 PHONE: (630) 652-6000, FAX: (630) 652-6001 www.jacobandhefner.com		DIMENSIONAL CONTROL - SOUTHWEST ROMEVILLE GATEWAY - BUILDING A				
1" = 40'							2	REVISED PER VILLAGE	9/2/17
C4.1							1	ORIGINAL PLAN DATE	8/2/17
							No	Description	Date



PAVEMENT LEGEND

	CAR PARKING PAVEMENT 2.00" SURFACE COURSE, MIX "D", N50 2.25" HMA BINDER COURSE, IL-19, N50 8.00" CA-6 BASE COURSE		SIDEWALK PAVEMENT 5.0" PCC PAVEMENT (4,000 PSI UNREINFORCED, BROOM FINISH) 4.0" CA-6 BASE COURSE CONTRACTION JOINTS @ 5.0' C-C EXPANSION JOINTS @ 50.0' C-C
	DUCTILECRETE PAVEMENT 6.0" DUCTILECRETE PAVEMENT 4.0" CA-6 BASE COURSE CONTRACTION JOINTS @ 60' C-C EXPANSION JOINTS @ 60' C-C COMPACTED SUBGRADE, 95% MODIFIED PROCTOR. ALL SUBGRADE PREPARATION AND PAVEMENT SPECIFICATION SHALL BE PER DUCTILECRETE.		FIRE LANE PAVEMENT 2.00" SURFACE COURSE, MIX "D", N50 3.00" HMA BINDER COURSE, IL-19, N50 10.00" CA-6 BASE COURSE

GEOMETRIC NOTES

- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2) INSTALL REVERSE PITCH B6.12 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- 3) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING: _____
- 4) CURB AND GUTTER DENOTED BY: _____
- 5) DEPRESSED CURB AND GUTTER DENOTED BY: _____
- 6) ALL RADI ARE 4'-FT UNLESS NOTED OTHERWISE.
- 7) ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 8) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 9) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- 10) STAR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.
- 11) ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
- 12) FIBER EXPANSION JOINTS OF 3/4" FULL DEPTH BIT. FIBER MATERIAL SHALL BE INSTALLED AS REFERENCED IN THE PAVEMENT LEGEND (THIS SHEET) AND WHERE CONCRETE ABUTS ALL CURB, BUILDING, POLES OR OTHER STRUCTURES.
- 13) CONSTRUCTION JOINTS SHALL BE PLACED WHERE REQUIRED IN ACCORDANCE WITH ACI 330R-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.
- 14) DETECTABLE WARNING STRIPS SHALL BE EAST JORDAN INSERTS, HEAVY DUTY LOAD RATING, BRICK RED POWDER COATING RAL3016.

DIMENSIONAL CONTROL -
NORTHEAST
ROMEVOILLE GATEWAY - BUILDING A
IDI GAZELEY
ROMEVOILLE, ILLINOIS

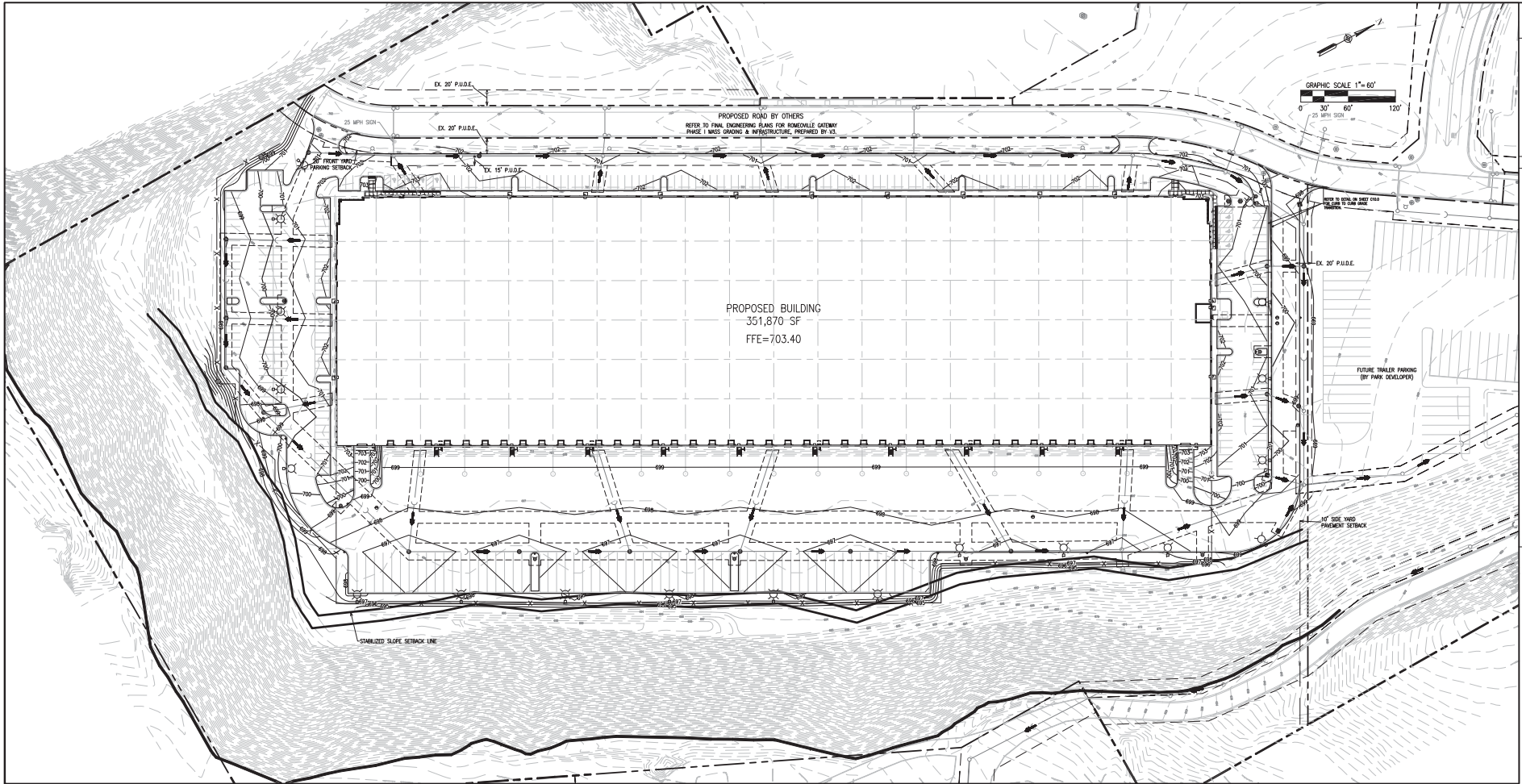
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Brookfield Logistics Properties

F305
1" = 40'
C4.2

9/12/17	Date
8/2/17	Description
2	REVISD PER VILLAGE
1	ORIGINAL PLAN DATE
No	No



GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 7) THE SLOPE THROUGHOUT ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
- 8) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 9) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. RETAINING WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
- 10) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.

GRADING LEGEND

- xxx.xx = PROPOSED SPOT GRADE
TW-xxxx.xx = PROPOSED GRADE AT TOP OF WALL
BW-xxxx.xx = PROPOSED GRADE AT BOTTOM OF WALL
EP-xxxx.xx = PROPOSED EDGE OF PAVEMENT
TC-xxxx.xx = PROPOSED TOP OF CURB
TD-xxxx.xx = PROPOSED TOP OF DEPRESSIONED CURB
EX-xxxx.xx = EXISTING ELEVATION
---> DRAINAGE FLOW ARROWS
---> 100-YEAR DESIGN STORM SEWER

OVERALL GRADING PLAN
ROMEVILLE GATEWAY – BUILDING A
IDI GAZELEY
ROMEDEVILLE, ILLINOIS

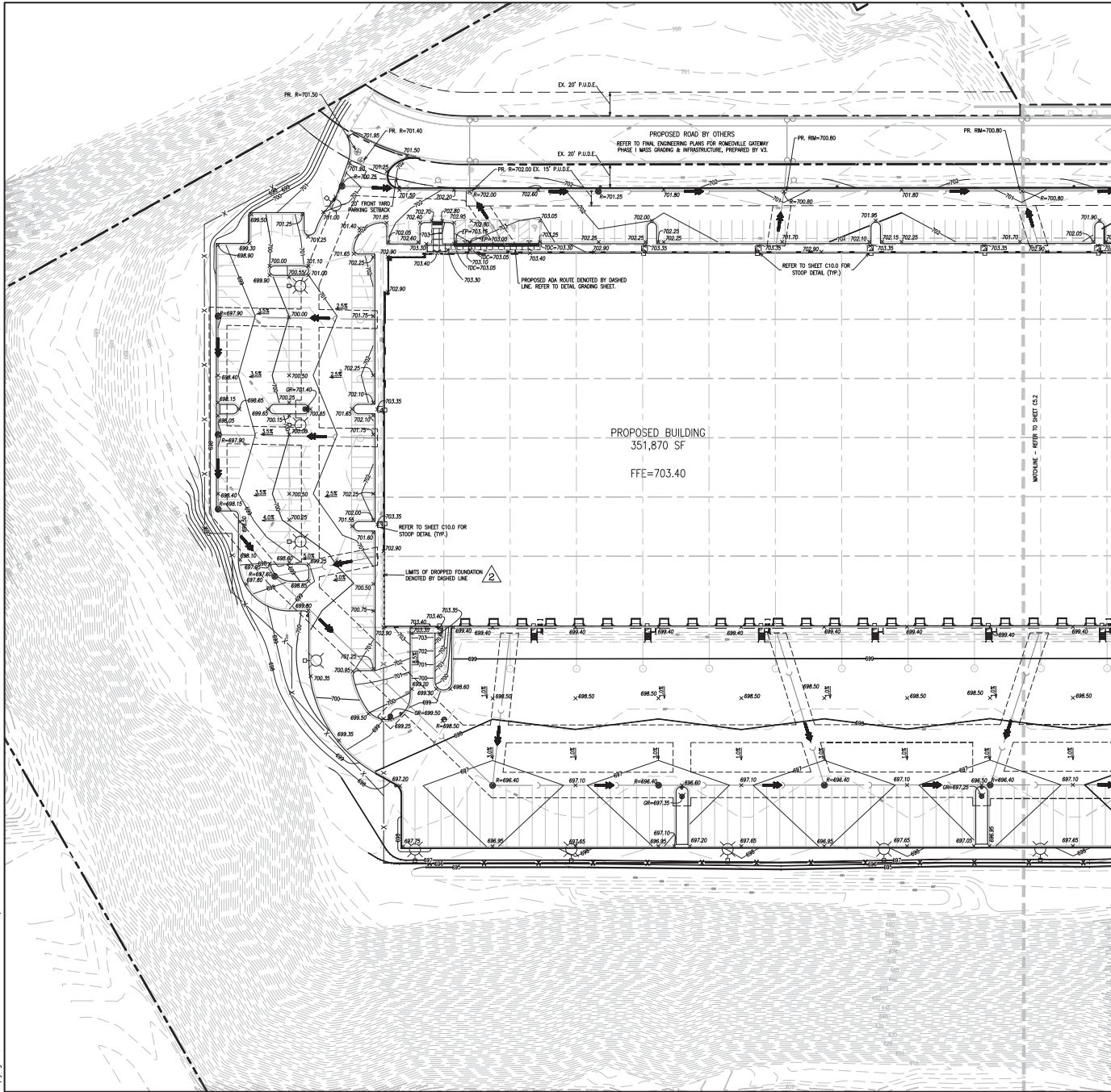
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Bookfield Logistics Properties

F305
1" = 60'
C5.0

No.	Description	Date
2	REVISED PER VILLAGE	9/12/17
1	ORIGINAL PLAN DATE	8/2/17



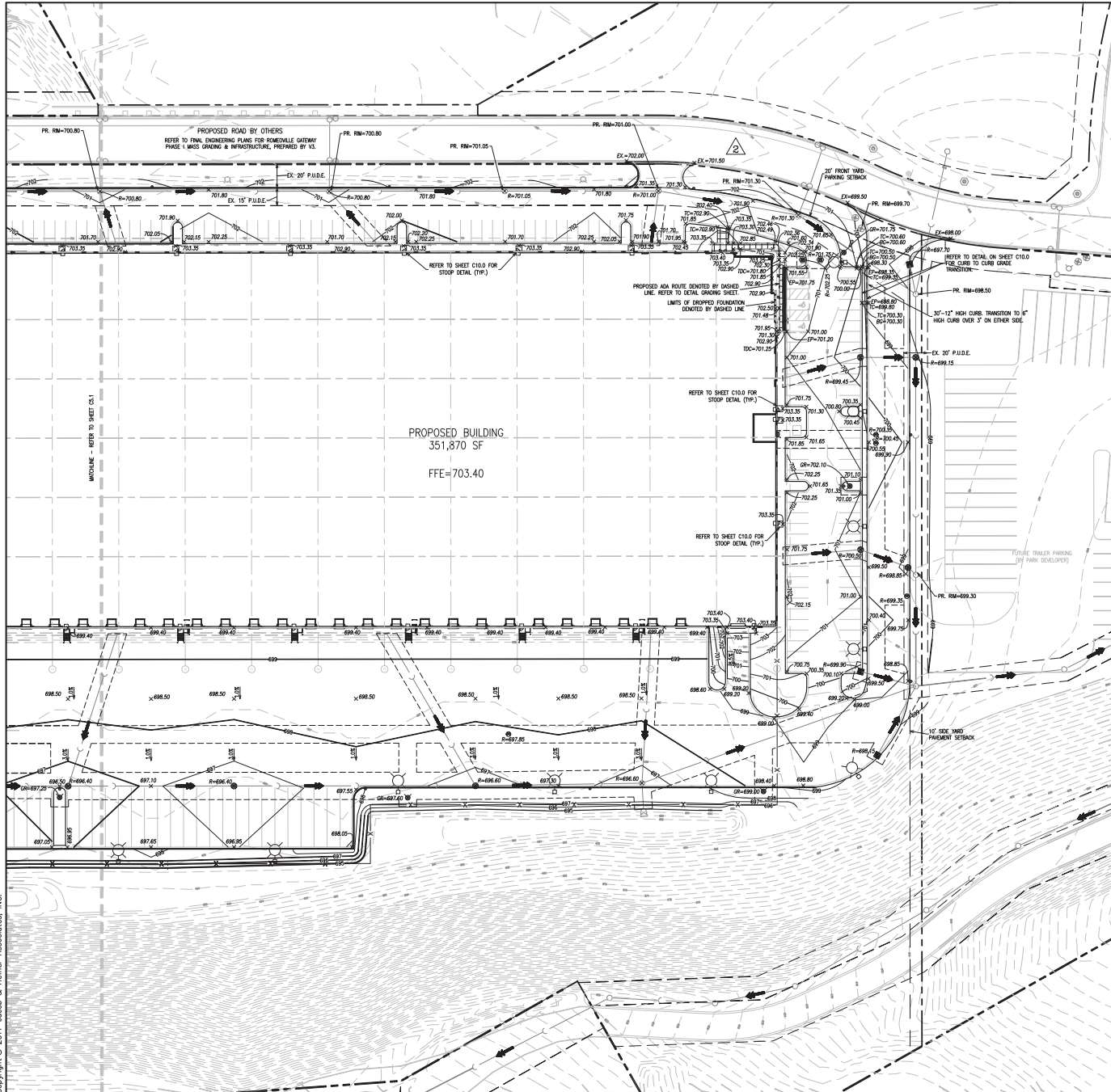
GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 7) THE SLOPE THROUGHOUT ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
- 8) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 9) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. RETAINING WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
- 10) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.

GRADING LEGEND

- XXX.XX = PROPOSED SPOT GRADE
TW=XXX.XX = PROPOSED GRADE AT TOP OF WALL
BW=XXX.XX = PROPOSED GRADE AT BOTTOM OF WALL
EP=XXX.XX = PROPOSED EDGE OF PAVEMENT
TC=XXX.XX = PROPOSED TOP OF CURB
TDC=XXX.XX = PROPOSED TOP OF DEPRESSED CURB
EX=XXX.XX = EXISTING ELEVATION
~ = DRAINAGE FLOW ARROWS
➔ = 100-YEAR DESIGN STORM SEWER

9/12/17		REVISION PER VILLAGE	DATE
8/2/17		1 ORIGINAL PLAN DATE	DATE
		Description	No.
GRADING PLAN - SOUTHWEST			
ROMEVILLE GATEWAY - BUILDING A			
IDI GAZELEY			
ROMEVILLE, ILLINOIS			
JACOB & HEFNER ASSOCIATES			
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1" = 40'			
C5.1			



GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 7) THE SLOPE THROUGHOUT ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
- 8) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 9) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. RETAINING WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
- 10) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.

GRADING LEGEND

- XXX.XX = PROPOSED SPOT GRADE
 TM=XXX.XX = PROPOSED GRADE AT TOP OF WALL
 BM=XXX.XX = PROPOSED GRADE AT BOTTOM OF WALL
 EP=XXX.XX = PROPOSED EDGE OF PAVEMENT
 TC=XXX.XX = PROPOSED TOP OF CURB
 TDC=XXX.XX = PROPOSED TOP OF DEPRESSED CURB
 EX=XXX.XX = EXISTING ELEVATION
 --- = DRAINAGE FLOW ARROWS
 --- = 100-YEAR DESIGN STORM SEWER

GRADING PLAN - NORTHEAST ROMEOVILLE GATEWAY - BUILDING A

IDI GAZELEY
ROME, ILLINOIS

**JACOB & HEFNER
ASSOCIATES**

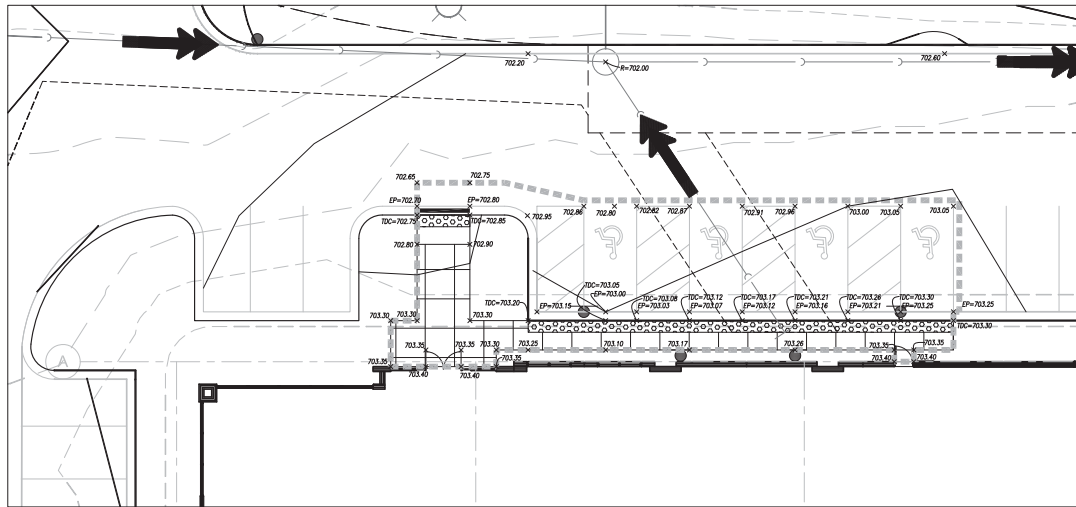
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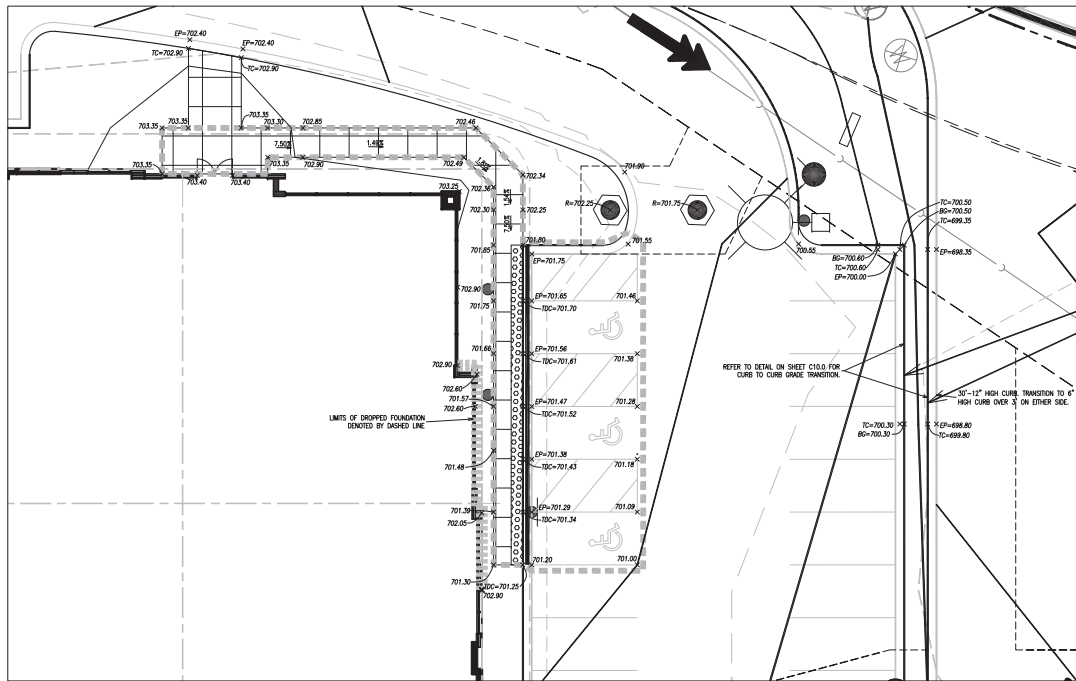
IDI Gazeley
Brookfield Logistics Properties

F305
1" = 40'
C5.2

No.	Description	Date
2	REVISED PER VILLAGE	9/12/17
1	ORIGINAL PLAN DATE	8/2/17



SOUTHWEST BUILDING ENTRANCE



NORTHWEST BUILDING ENTRANCE

ADA GRADING NOTES

- 1) ALL SIDEWALKS INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMPS UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
- 2) ALL HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%. HANDICAP ACCESSIBLE ROUTE DENOTED BY:
- 4) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 5) THE PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- 6) REFER TO SHEET C5.0-C5.2 FOR OVERALL GRADING PLAN AND NOTES.

GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.

GRADING LEGEND

- xxx.xx = PROPOSED SPOT GRADE
 TP=xxx.xx = PROPOSED GRADE AT TOP OF WALL
 BW=xxx.xx = PROPOSED GRADE AT BOTTOM OF WALL
 EP=xxx.xx = PROPOSED EDGE OF PAVEMENT
 TC=xxx.xx = PROPOSED TOP OF CURB
 TC=xxx.xx = PROPOSED TOP OF DEPRESSED CURB
 EX=xxx.xx = EXISTING ELEVATION
 ---> = DRAINAGE FLOW ARROWS
 ---> = 100-YEAR DESIGN STORM SEWER

DETAILED GRADING PLAN

ROMEOWILLE GATEWAY -- BUILDING A
IDI GAZELEY
ROMEOWILLE, ILLINOIS

JACOB & HEFNER
ASSOCIATES

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PHONE: (630) 652-4600, FAX: (630) 652-4601
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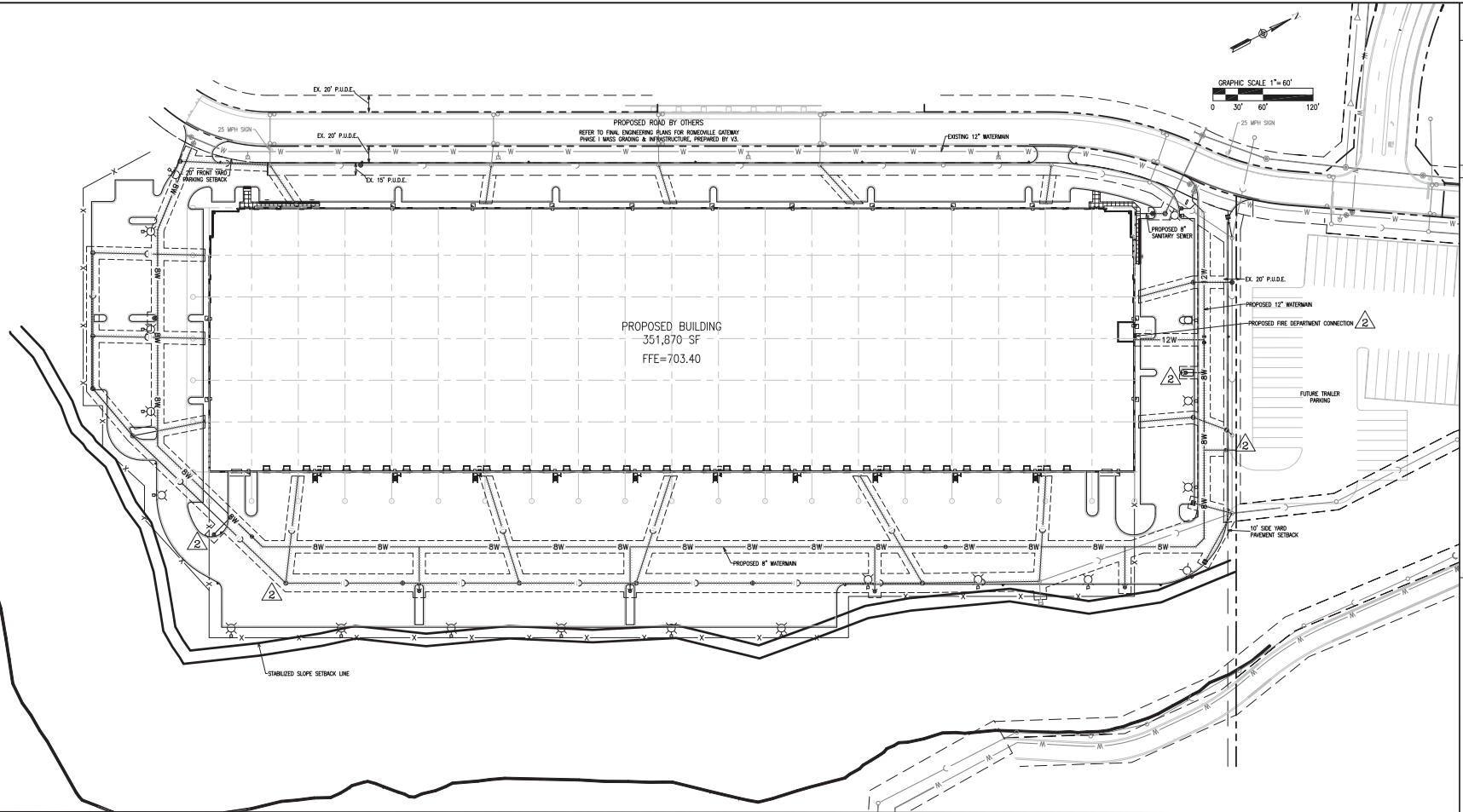
IDI Gazeley
Brookfield Logistics Properties

F305

1" = 10'

C5.3

No.	Description	Date
2	REVISED PER VILLAGE	9/12/17
1	ORIGINAL PLAN DATE	8/2/17



SANITARY SEWER NOTES

SANITARY STRUCTURE SYMBOL LEGEND:
S=SANITARY MANHOLE, 4'-FT DIAMETER UNLESS OTHERWISE NOTED

ALL SANITARY MANHOLES SHALL HAVE THE FOLLOWING FRAME & GRATE:

- 1) IDOT TYPE 1 (CLOSED), EAST JORDAN 102223, EMBOSSED WITH "SANITARY" AND "VILLAGE OF ROMEOVILLE."
- 1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON THE PLANS.
- 2) CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER INVERT AT EXISTING SANITARY STUB PRIOR TO SEWER CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- 3) SEE SHEET C9.0 FOR ADDITIONAL SANITARY SEWER STANDARDS AND SPECIFICATIONS. IN THE EVENT OF CONFLICT, THE VILLAGE OF ROMEOVILLE STANDARDS AND SPECIFICATIONS SHALL SUPERCEDE.
- 4) ALL SANITARY SEWER MANHOLES SHALL BE 48" DIAMETER UNLESS OTHERWISE NOTED ON PLAN. MONITORING MANHOLE SHALL BE 60" DIAMETER (STRUCTURE S2).
- 5) CONTRACTOR SHALL DOCUMENT SIZE AND MATERIAL OF ALL PIPING AND LOCATION OF END SERVICE/PLUS FOR SERVICE LATERAL TO ADD TO FUTURE RECORD DRAWINGS (AS REQUIRED BY THE VILLAGE).

WATER MAIN NOTES

WATERMAIN STRUCTURE LEGEND:
W=VALVE VAULT
F=FIRE HYDRANT ASSEMBLY

- 1) ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON THE PLANS AND SHALL BE WRAPPED IN POLYETHYLENE USING METHOD B. ALL JOINTS MUST BE RETAINED WITH MEGALUGS (EBA IRON) ONLY.
- 2) ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON THE PLANS.
- 3) BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
- 4) MAINTAIN A MINIMUM OF 5.5'-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATERMAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.
- 5) ALL PROPOSED WATER MAIN INSTALLED WITHIN FILL MATERIAL SHALL BE RESTRAINED USING ONLY MEGALUGS (EBA IRON) TO A POINT 50'-FT PAST ON EACH SIDE THE AREA WHERE THE WATER MAIN IS INSTALLED WITHIN FILL.
- 6) PROPOSED DOMESTIC AND FIRE SERVICE DIAMETER SHOWN IS ASSUMED AND HAS NOT BEEN DESIGNED BASED ON BUILDING DEMAND. AT THE TIME THESE PLANS WERE PREPARED, BUILDING DEMAND WAS UNKNOWN AND FIRE SUPPRESSION/PLUMBING DESIGNS HAD NOT YET BEEN COMPLETED. WATER SERVICE DIAMETER SHALL BE VERIFIED BY A FIRE SUPPRESSION ENGINEER AND PLUMBING ENGINEER BASED ON ACTUAL BUILDING DEMAND PRIOR TO CONSTRUCTION.
- 7) REFER TO GRADING PLAN FOR PROPOSED VALVE VAULT RIM AND FIRE HYDRANT GRADE RING ELEVATIONS.
- 8) SEE SHEET C9.0 FOR ADDITIONAL WATERMAIN STANDARDS AND SPECIFICATIONS. IN THE EVENT OF CONFLICT, VILLAGE OF ROMEOVILLE STANDARDS AND SPECIFICATIONS SHALL SUPERCEDE.
- 9) CONTRACTOR SHALL DOCUMENT ALL PROPOSED FITTING LOCATIONS, MATERIALS, SIZES AND TYPES OF VALVES, PIPES AND FITTINGS TO ADD TO FUTURE RECORD DRAWINGS (AS REQUIRED BY THE VILLAGE).

STORM SEWER NOTES

STORM STRUCTURE SYMBOL LEGEND:
CB=CATCH BASIN
MH=MANHOLE
INL=INLET

FRAME AND GRATE/LID SYMBOL LEGEND:
1C: IDOT TYPE 1 (CLOSED LID), NEENAH R-1713
EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE"
1P: IDOT TYPE 1 (OPEN GRATE), NEENAH R-2504 (TYPE D GRATE)
1PP: IDOT TYPE 1 (OPEN GRATE), NEENAH R-2504 (TYPE G GRATE)
11P: IDOT TYPE 11, NEENAH R-3201-A
1C: NEENAH R2580-C (TYPE G GRATE)

EXAMPLE:
M36, A40, 1P
MANHOLE #36, TYPE A, 4'-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)

- 1) ALL 12-INCH AND 15-INCH STORM SEWER SHALL BE RCP CLASS V. ALL OTHER RCP SHALL BE CLASS N, UNLESS NOTED OTHERWISE ON PLANS.
- 2) ALL UNDERDRAINS SHALL BE PER IDOT STANDARDS OR AS SPECIFIED IN THE DETAIL.
- 3) ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO WATERWAYS"
- 4) ALL STORM SEWER JOINTS SHALL BE FLEXIBLE GASKET O-RINGS PER ASTM C361, ASTM C443 AND ASTM C1619.
- 5) FOR CLOSED LID STRUCTURES, FRAME AND COVER SHALL BE EAST JORDAN 102223 EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE".
- 6) CONTRACTOR SHALL DOCUMENT SIZE AND MATERIAL OF ALL STORM SEWER TO ADD TO FUTURE RECORD DRAWINGS (AS REQUIRED BY THE VILLAGE).

UTILITY NOTES

- 1) EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
- 2) CONTRACTOR TO TERMINATE PROPOSED UTILITIES 5'-FT OUTSIDE OF BUILDING FACE UNLESS NOTED OTHERWISE. PLUS AND STAKE LOCATION AND ELEVATION.
- 3) ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
- 4) ALL EXISTING UTILITY RIMS, GRADES RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
- 5) PROPOSED RIM GRADES FOR INLETS ARE FROM EDGE OF PAVEMENT.
- 6) SELECTED GRANULAR TRENCH BACKFILL MATERIAL (TBF) SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS. TBF DENOTED BY:
- 7) THE VILLAGE OF ROMEOVILLE REQUIRES SUBMISSION OF RECORDED VIDEO INSPECTIONS FOR ALL PUBLIC STORM SEWER.

OVERALL UTILITY PLAN

ROMEOVILLE GATEWAY - BUILDING A

IDI GAZELEY

ROMEOVILLE, ILLINOIS

JACOB & HEFNER
ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515

PHONE: (630) 652-4600, FAX: (630) 652-4601

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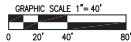
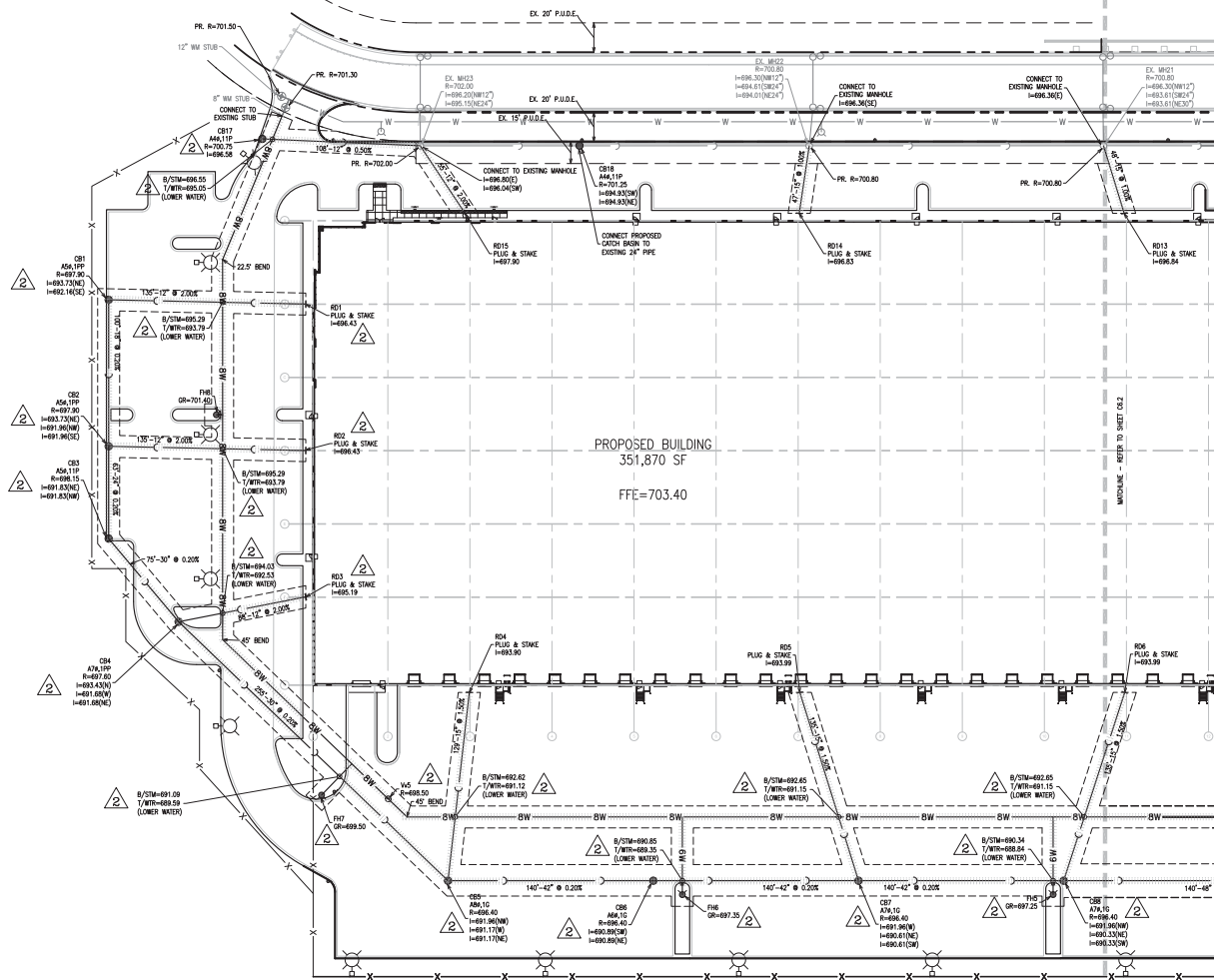
IDI Gazeley
Bookshelf Logistics Properties

F305

1" = 60'

C6.0

9/12/17
2 REVISED PER VILLAGE
8/2/17
1 ORIGINAL PLAN DATE
No Description Date



UTILITY NOTES

- 1) EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
- 2) CONTRACTOR TO TERMINATE PROPOSED UTILITIES 5-FT OUTSIDE OF BUILDING FACE UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.
- 3) ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
- 4) ALL EXISTING UTILITY RIMS, GRADES, RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
- 5) PROPOSED RIM GRADES FOR INLETS ARE FROM EDGE OF PAVEMENT.
- 6) SELECTED GRANULAR TRENCH BACKFILL MATERIAL (TBF) SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS. TBF DENOTED BY: [XXXXXX]
- 7) THE VILLAGE OF ROMEOVILLE REQUIRES SUBMISSION OF RECORDED VIDEO INSPECTIONS FOR ALL PUBLIC STORM SEWER.
- 8) THE OVERALL DESIGN CALCULATIONS FOR DEVELOPMENT ARE COMPLETED AND ARE CONTAINED IN THE PROJECT DRAINAGE STUDY, TITLED STORMWATER MANAGEMENT FOR ROMEOVILLE GATEWAY - BUILDING A PREPARED BY JACOB & HEFNER ASSOCIATES, INC. WHICH IS HEREBY INCORPORATED BY REFERENCE IN THIS PLAN.

STORM SEWER NOTES

STORM STRUCTURE SYMBOL LEGEND:
CB=CATCH BASIN
MH=MANHOLE
NL=INLET

FRAME AND GRATE/LID SYMBOL LEGEND:

- 1C: IDOT TYPE 1 (CLOSED LID), NEENAH R-1713
- EMBOSS WITH "STORM" AND "VILLAGE OF ROMEOVILLE"
- 1P: IDOT TYPE 1 (OPEN GRATE), NEENAH R-2504 (TYPE D GRATE)
- 1PP: IDOT TYPE 1 (OPEN GRATE), NEENAH R-2504 (TYPE G GRATE)
- 11P: IDOT TYPE 11, NEENAH R-3281-A
- 1G: NEENAH R2580-C (TYPE G GRATE)

EXAMPLE:

MANHOLE #246, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)

- 1) ALL 12-INCH AND 15-INCH STORM SEWER SHALL BE RCP CLASS V. ALL OTHER RCP SHALL BE CLASS IV, UNLESS NOTED OTHERWISE ON PLANS.
- 2) ALL UNDERDRAINS SHALL BE PER IDOT STANDARDS OR AS SPECIFIED IN THE DETAIL.
- 3) ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO WATERWAYS"
- 4) ALL STORM SEWER JOINTS SHALL BE FLEXIBLE GASKET O-RINGS PER ASTM C361, ASTM C443 AND ASTM C1619.
- 5) FOR CLOSED LID STRUCTURES, FRAME AND COVER SHALL BE EAST JORDAN 102223 EMBOSS WITH "STORM" AND "VILLAGE OF ROMEOVILLE".
- 6) CONTRACTOR SHALL DOCUMENT SIZE AND MATERIAL OF ALL STORM SEWER TO ADD TO FUTURE RECORD DRAWINGS (AS REQUIRED BY THE VILLAGE).

WATER MAIN NOTES

WATERMAIN STRUCTURE LEGEND:
V=VALVE VAULT
FH=FIRED HYDRANT ASSEMBLY

- 1) ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON THE PLANS AND SHALL BE WRAPPED IN POLYETHYLENE USING METHOD B. ALL JOINTS MUST BE RETAINED WITH MEGALUGS (EBAA IRON) ONLY.
- 2) ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON THE PLANS.
- 3) BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
- 4) MAINTAIN A MINIMUM OF 5.5-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATERMAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.
- 5) ALL PROPOSED WATER MAIN INSTALLED WITHIN FILL MATERIAL SHALL BE RESTRAINED USING ONLY MEGALUGS (EBAA IRON) TO A POINT 50-FT PAST ON EACH SIDE THE AREA WHERE THE WATER MAIN IS INSTALLED WITHIN FILL.
- 6) PROPOSED DOMESTIC AND FIRE SERVICE DIAMETER SHOWN IS ASSUMED AND HAS NOT BEEN DESIGNED BASED ON BUILDING DEMAND. AT THE TIME THESE PLANS WERE PREPARED, BUILDING DEMAND WAS UNKNOWN AND FIRE SUPPRESSION/PLUMBING DESIGNERS HAD NOT YET BEEN COMPLETED. WATER SERVICE DIAMETER SHALL BE VERIFIED BY A FIRE SUPPRESSION ENGINEER AND PLUMBING ENGINEER BASED ON ACTUAL BUILDING DEMAND PRIOR TO CONSTRUCTION.
- 7) REFER TO GRADING PLAN FOR PROPOSED VALVE VAULT RIM AND FIRE HYDRANT GRADE RING ELEVATIONS.
- 8) SEE SHEET C9.0 FOR ADDITIONAL WATERMAIN STANDARDS AND SPECIFICATIONS. IN THE EVENT OF CONFLICT, VILLAGE OF ROMEOVILLE STANDARDS AND SPECIFICATIONS SHALL SUPERSEDE.
- 9) CONTRACTOR SHALL DOCUMENT ALL PROPOSED FITTING LOCATIONS, MATERIALS, SIZES AND TYPES OF VALVES, PIPES AND FITTINGS TO ADD TO FUTURE RECORD DRAWINGS (AS REQUIRED BY THE VILLAGE).

SANITARY SEWER NOTES

SANITARY STRUCTURE SYMBOL LEGEND:
S=SANITARY MANHOLE, 4-FT DIAMETER UNLESS OTHERWISE NOTED

ALL SANITARY MANHOLES SHALL HAVE THE FOLLOWING FRAME & GRATE:

- 1C: IDOT TYPE 1 (CLOSED), EAST JORDAN 102223, EMBOSS WITH "SANITARY" AND "VILLAGE OF ROMEOVILLE."

1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON THE PLANS.

CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER INVERT AT EXISTING SANITARY STUB PRIOR TO SEWER CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

SEE SHEET C9.0 FOR ADDITIONAL SANITARY SEWER STANDARDS AND SPECIFICATIONS. IN THE EVENT OF CONFLICT, THE VILLAGE OF ROMEOVILLE STANDARDS AND SPECIFICATIONS SHALL SUPERSEDE.

ALL SANITARY SEWER MANHOLES SHALL BE 48" DIAMETER UNLESS OTHERWISE NOTED ON PLAN. MONITORING MANHOLE SHALL BE 60" DIAMETER (STRUCTURE S2).

CONTRACTOR SHALL DOCUMENT SIZE AND MATERIAL OF ALL PIPING AND LOCATION OF END SERVICE/PLUG FOR SERVICE LATERAL TO ADD TO FUTURE RECORD DRAWINGS (AS REQUIRED BY THE VILLAGE).

UTILITY PLAN - SOUTHWEST

ROMEOVILLE GATEWAY - BUILDING A

IDI GAZELEY

ROMEOVILLE, ILLINOIS

JACOB & HEFNER
ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60155
PHONE: (630) 452-4600, FAX: (630) 452-4601
www.jacobandhefner.com



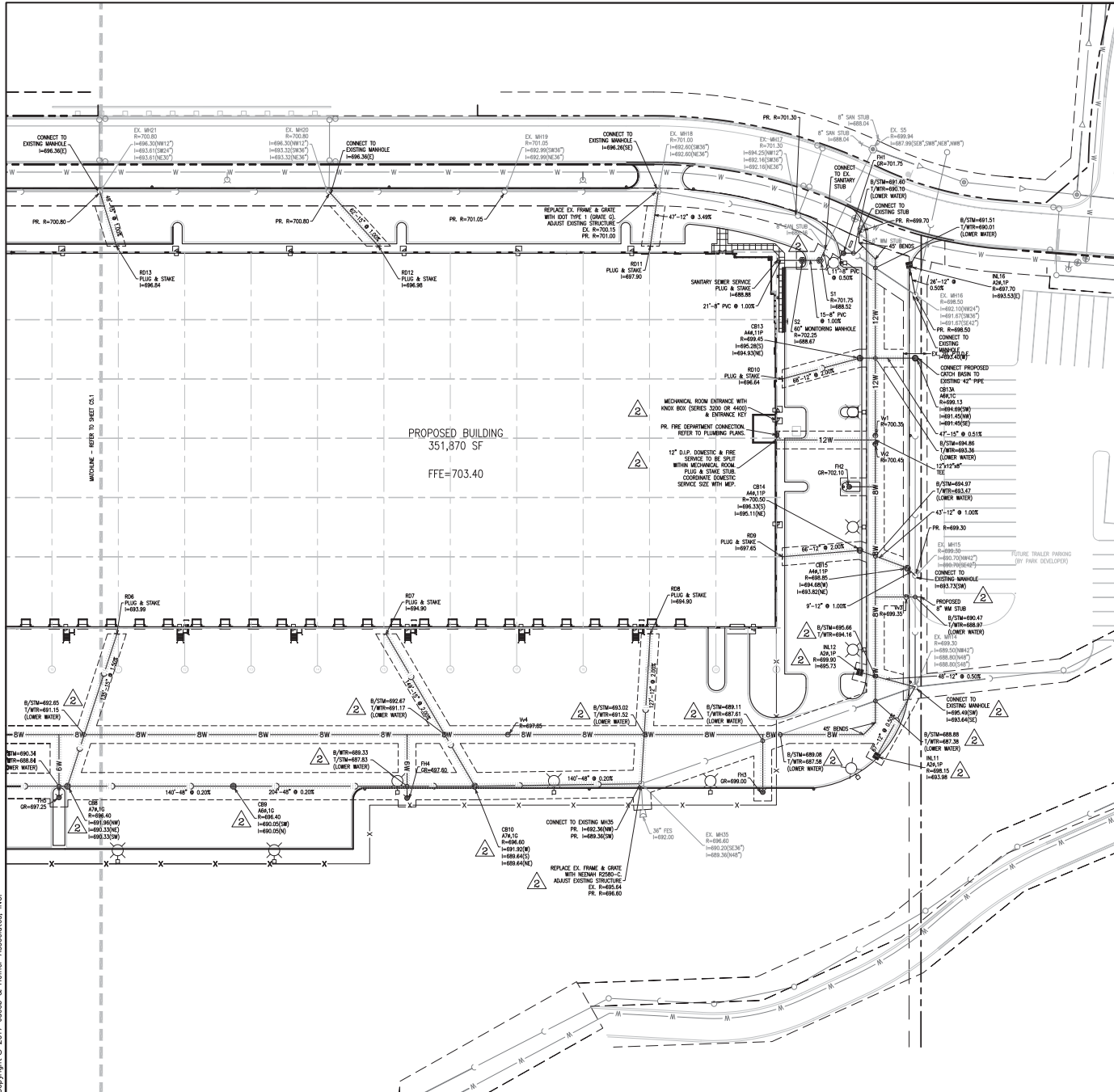
IDI Gazeley
Bookfield Logistics Properties

F305

1" = 40'

C6.1

Revised	Per Village	Original Plan Date	Description	Date
2	REVIS	PER VILLAGE		9/12/17
1	ORIGINAL	PLAN DATE		8/2/17



UTILITY NOTES

- EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
- CONTRACTOR TO TERMINATE PROPOSED UTILITIES 5'-FT OUTSIDE OF BUILDING FACE UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.
- ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
- ALL EXISTING UTILITY RIMS, GRADES RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
- PROPOSED RIM GRADES FOR INLETS ARE FROM EDGE OF PAVEMENT.
- SELECTED GRANULAR TRENCH BACKFILL MATERIAL (TBF) SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS. TBF DENOTED BY:
 1. VILLAGE OF ROMEOVILLE REQUIRES SUBMISSION OF RECORDED VIDEO INSPECTIONS FOR ALL PUBLIC STORM SEWER.
- THE OVERALL DESIGN CALCULATIONS FOR DEVELOPMENT ARE COMPLETED AND ARE CONTAINED IN THE PROJECT DRAINAGE STUDY, TITLED STORMWATER MANAGEMENT FOR ROMEOVILLE GATEWAY - BUILDING A PREPARED BY JACOB & HEFNER ASSOCIATES, INC. WHICH IS HEREBY INCORPORATED BY REFERENCE IN THIS PLAN.

STORM SEWER NOTES

STORM STRUCTURE SYMBOL LEGEND:

CS=CATCH BASIN
MH=MANHOLE
NL=INLET

FRAME AND GRATE/LID SYMBOL LEGEND:

- DOT TYPE 1 (CLOSED LID), NEENAH R-1713
- EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE"
- DOT TYPE 1 (OPEN GRATE), NEENAH R-2504 (TYPE D GRATE)
- DOT TYPE 1 (OPEN GRATE), NEENAH R-2504 (TYPE G GRATE)
- DOT TYPE 11, NEENAH R-3281-A
- NEENAH R2580-C (TYPE G GRATE)

EXAMPLE:

MANHOLE #36, TYPE A, 4-FT DIAMETER, DOT TYPE 1 FRAME AND GRATE (OPEN)

- ALL 12-INCH AND 15-INCH STORM SEWER SHALL BE RCP CLASS V. ALL OTHER RCP SHALL BE CLASS IV, UNLESS NOTED OTHERWISE ON PLANS.
- ALL UNDERDRAINS SHALL BE PER DOT STANDARDS OR AS SPECIFIED IN THE DETAIL.
- ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO WATERWAYS"
- ALL STORM SEWER JOINTS SHALL BE FLEXIBLE GASKET O-RINGS PER ASTM C361, ASTM C443 AND ASTM C1619.
- FOR CLOSED LID STRUCTURES, FRAME AND COVER SHALL BE EAST JORDAN 102223 EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE".

- CONTRACTOR SHALL DOCUMENT SIZE AND MATERIAL OF ALL STORM SEWER TO ADD TO FUTURE RECORD DRAWINGS (AS REQUIRED BY THE VILLAGE).

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UTILITY PLAN - NORTHEAST ROMEOVILLE GATEWAY - BUILDING A IDI GAZELEY ROMEOVILLE, ILLINOIS

JACOB & HEFNER ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60155
PHONE: (630) 452-4600, FAX: (630) 452-4601
www.jacobandhefner.com



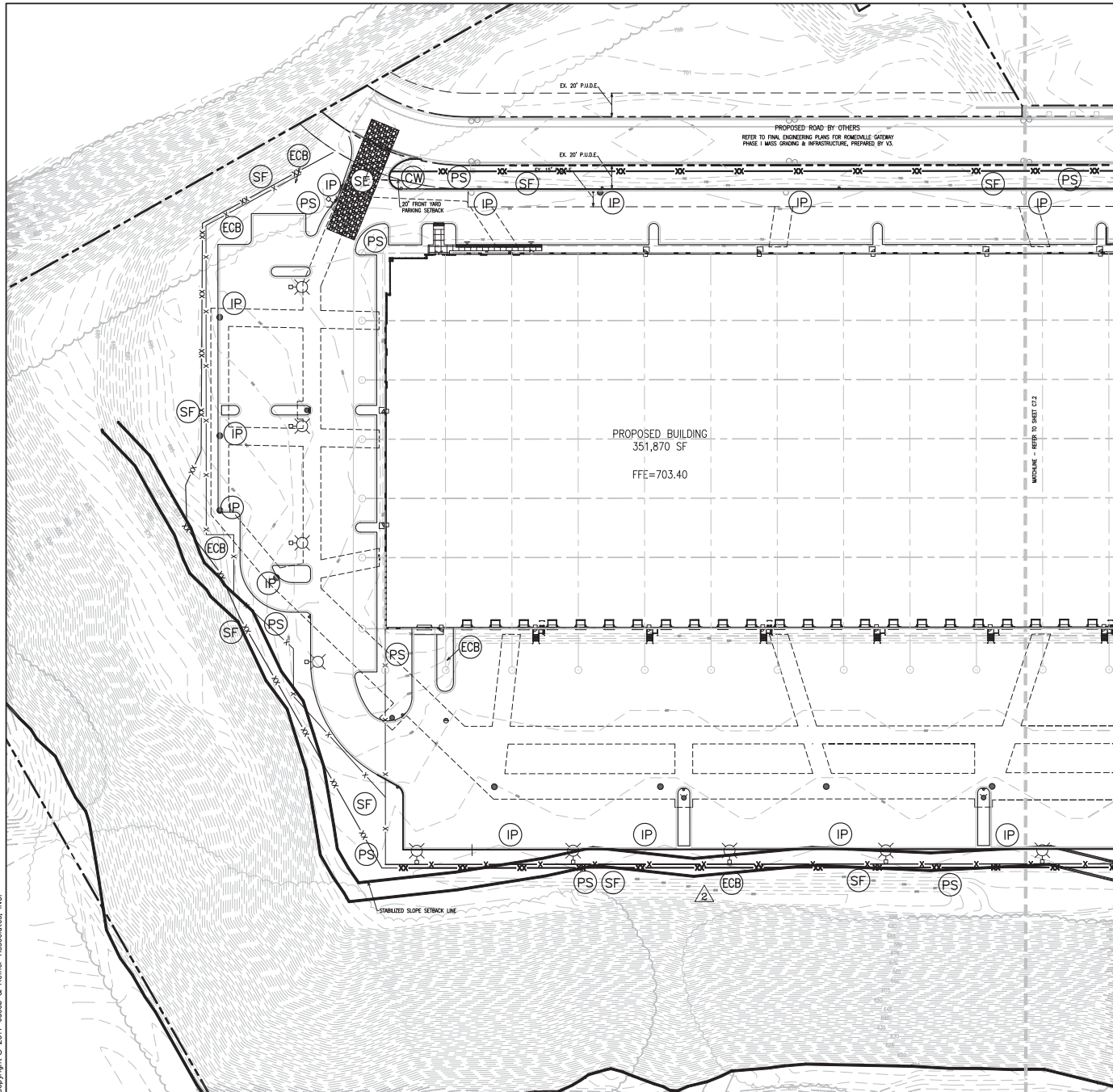
IDI Gazeley
Bookfield Logistics Properties

F305

1" = 40'

C6.2

Date	Description	No.
9/12/17	2	REVISD PER VILLAGE
8/2/17	1	ORIGINAL PLAN DATE



EROSION CONTROL LEGEND

(SF) SILT FENCE

(IP) INLET PROTECTION

(SE) STABILIZED CONSTRUCTION ENTRANCE

(ECB) EROSION CONTROL BLANKET

(PS) PERMANENT SEEDING

(CW) CONCRETE WASHOUT

REFER TO SWPP PLAN SHEETS AND DETAILS FOR ADDITIONAL INFORMATION.

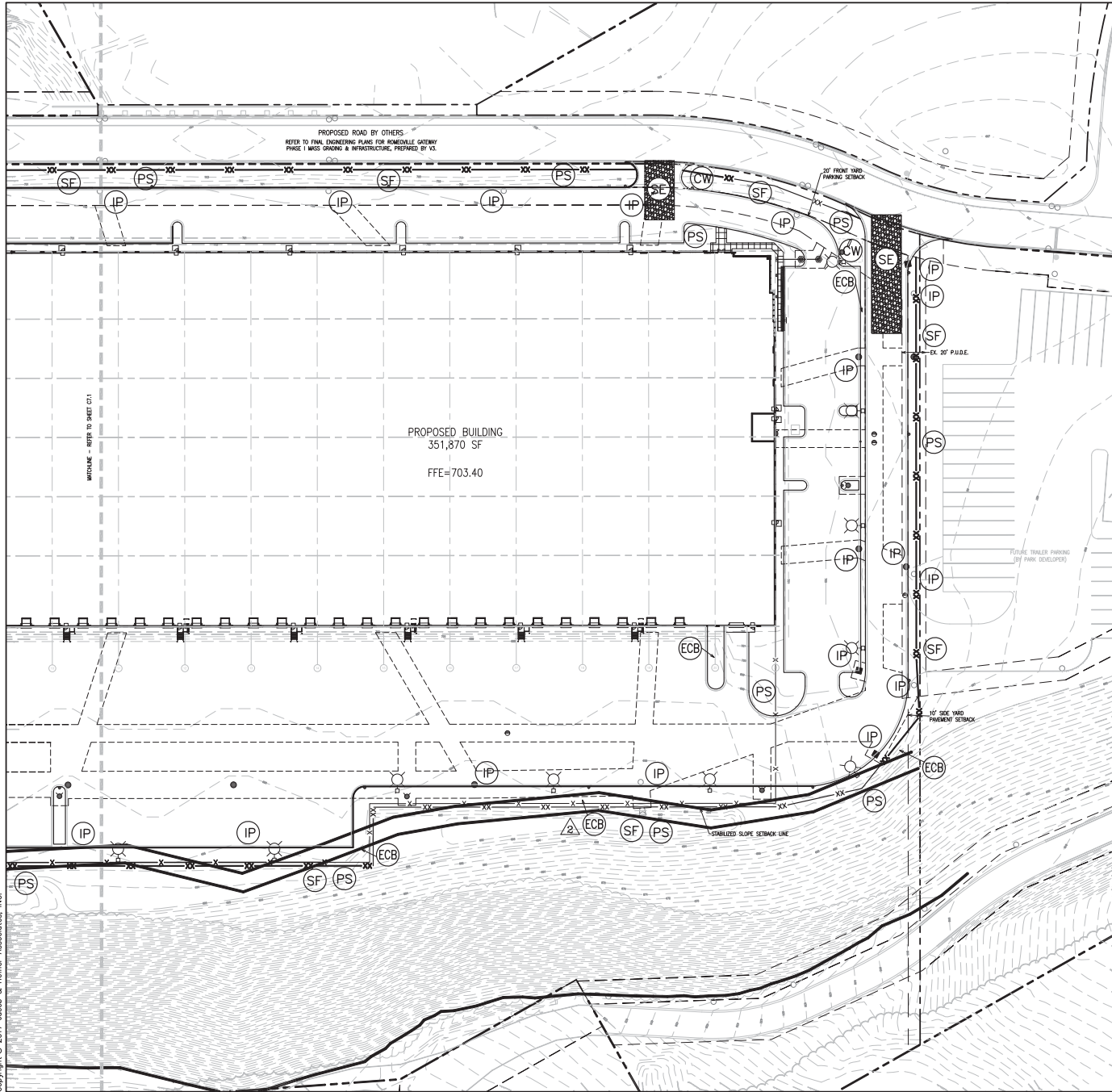
EROSION CONTROL NOTES

- 1) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR FUNCTION.
- 2) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 3) CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
- 4) ALL ACCESS TO AND FROM THE SUB-CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
- 5) IF Dewatering devices are used, discharge locations shall be protected from erosion. All pumped discharges shall be routed through appropriately designated sediment traps or basins.
- 6) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CLEAN PUBLIC ROADWAYS, FREE OF DIRT AND DEBRIS AT ALL TIMES. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
- 7) OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT FOR APPROVAL IN THE SAME MANNER AS THE ORIGINAL PLANS.
- 8) DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
- 9) SECONDARY CONTAINMENT SHALL BE REQUIRED FOR ANY BULK FUEL STORAGE THAT REMAINS ON-SITE FOR A PERIOD LONGER THAN 7 CALENDAR DAYS.
- 10) CONTAINMENT MEASURES SHALL BE REQUIRED FOR GENERATORS, PUMPS, MIXERS AND OTHER NON-ELECTRICAL POWERED EQUIPMENT THAT ARE TO BE STATIONED FOR LONGER THAN 24 HOURS.
- 11) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
- 12) EROSION CONTROL BLANKET SHALL BE PROVIDED IN ALL GREEN AREAS AT 8:1 OR STEEPER SLOPE. ALL GREEN AREAS SHALL BE DRESSED WITH A MINIMUM OF 1" OF TOPSOIL AND PERMANENT SEEDING. PERMANENT SEEDING SHALL CONSIST OF HYDROSEED (REFER TO LANDSCAPE PLAN).
- 13) AN ENGINEERED BARRIER OF LAM800 NON-WOVEN FILTER FABRIC FROM L&M SUPPLY MUST BE PROVIDED IN ALL GREEN AREAS BENEATH 12" OF TOPSOIL. REFER TO LANDSCAPE PLANS FOR FABRIC DETAILS NEAR TREES & SHRUBS.

ENGINEERED BARRIER QUANTITIES

TOPSOIL REQUIRED BY BUYER: 989-CY
TOPSOIL REQUIRED BY SELLER: 2,920-CY
BARRIER FABRIC REQUIRED BY BUYER: 2,967-SY
BARRIER FABRIC REQUIRED BY SELLER: 6,761-SY

EROSION CONTROL PLAN - SOUTHWEST		9/12/17
ROMEDEVILLE GATEWAY - BUILDING A		8/2/17
IDI GAZELEY		No
ROMEDEVILLE, ILLINOIS		Date
JACOB & HEFNER ASSOCIATES		2 REVISED PER VILLAGE
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515		1 ORIGINAL PLAN DATE
PHONE: (630) 652-6600, FAX: (630) 652-6601		Description
www.jacobandhefner.com		No
IDI Gazeley		
Brookfield Logistics Properties		
F305		
1" = 40'		
C7.1		



EROSION CONTROL LEGEND

- (SF) SILT FENCE
- (IP) INLET PROTECTION
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- 5) IF Dewatering DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNATED SEDIMENT TRAPS OR BAGS.
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EROSION CONTROL
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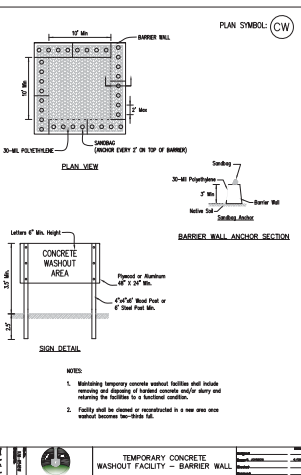
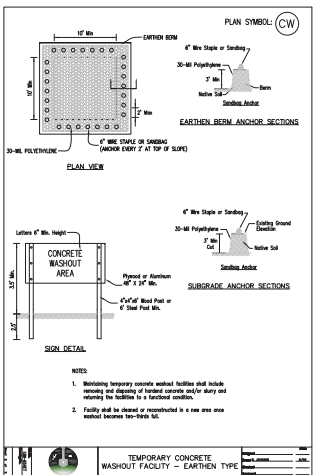
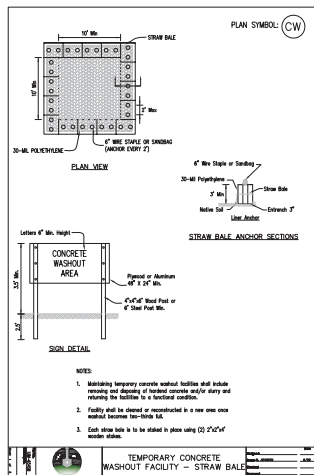
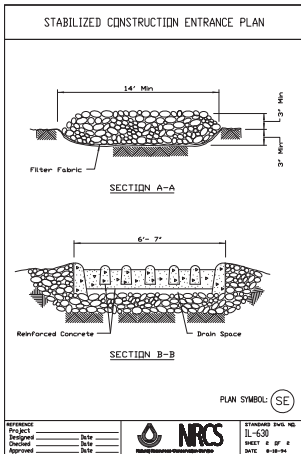
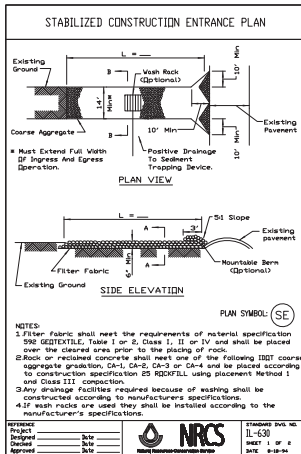
IDI Gazeley
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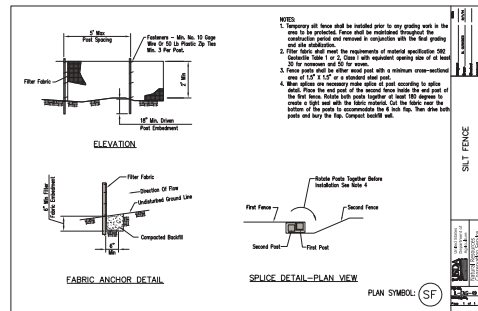
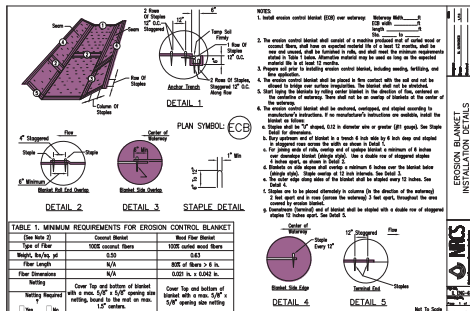
CONCRETE WASHOUT FACILITIES NOTES

GENERAL

- 1) PCC and AC WASTES SHALL BE COLLECTED AND DISPOSED OF IN A CONCRETE WASHOUT FACILITY. NO PCC OR AC WASTES SHALL ENTER THE STORM SEWER SYSTEM OR WATERCOURSES.
- 2) SIGN SHALL BE INSTALLED ADJACENT TO EACH FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE PROPER FACILITIES.
- 3) BELOW GRADE FACILITIES ARE TYPICAL. ABOVE GRADE FACILITIES ARE UTILIZED IF EXCAVATION IS NOT PRACTICAL.
- 4) WASHOUT FACILITIES SHALL HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED BY WASHOUT AND CONSTRUCTION ACTIVITIES.
- 5) ONCE CONCRETE WASTES ARE DISCHARGED TO FACILITY AND ALLOWED TO HARDEN, THE CONCRETE WASTE SHOULD BE BROKEN UP AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL LAW.
- 6) PLASTIC LINING SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- 7) A MINIMUM FREEBOARD OF 12-INCHES IS REQUIRED FOR BELOW GRADE FACILITIES. AND A MINIMUM OF 4-INCHES FREEBOARD IS REQUIRED FOR ABOVE GRADE FACILITIES.
- 8) A PLASTIC LINED DUMPSTER IS AN ACCEPTABLE ALTERNATIVE.

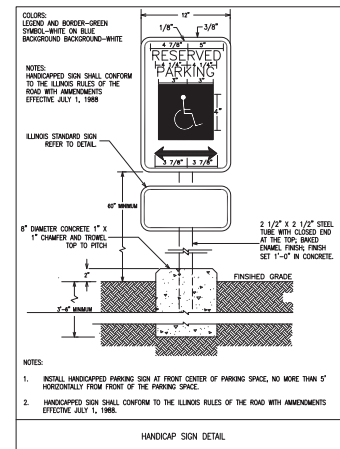
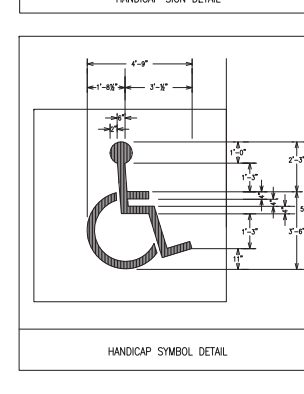
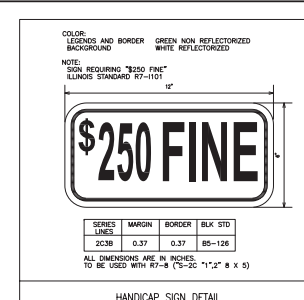
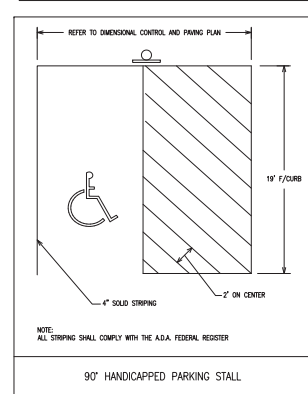
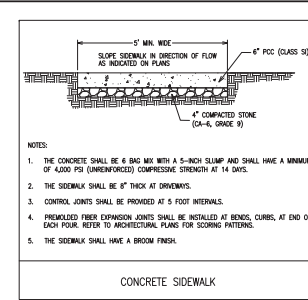
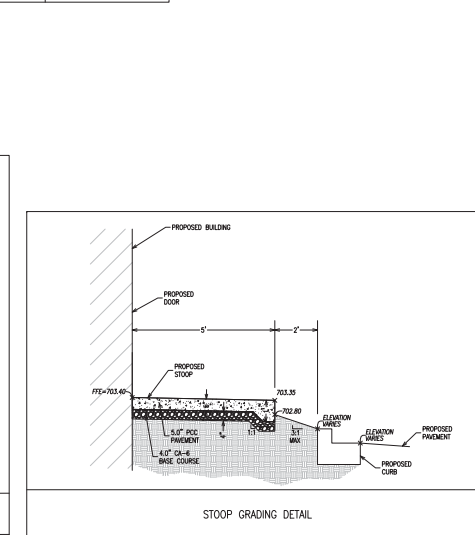
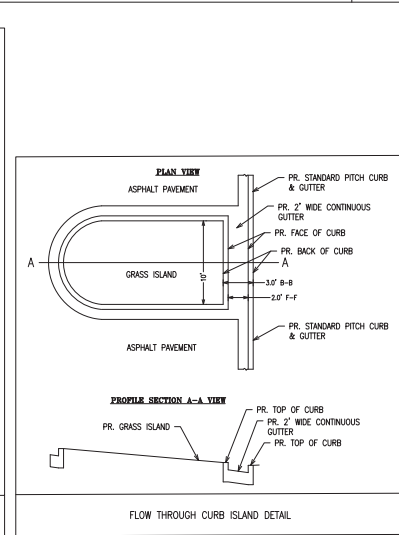
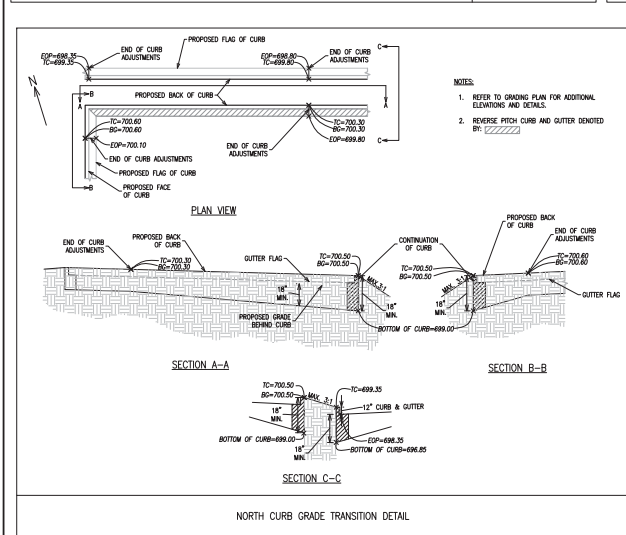
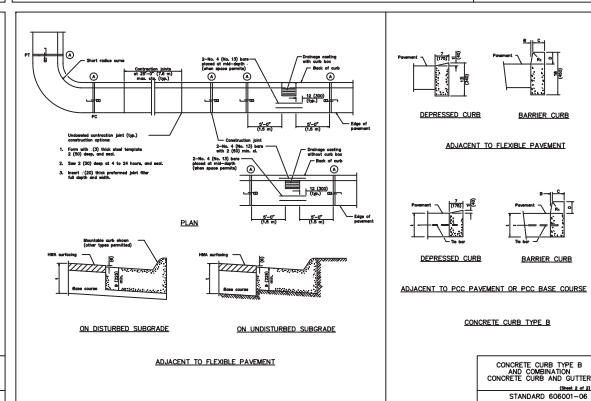
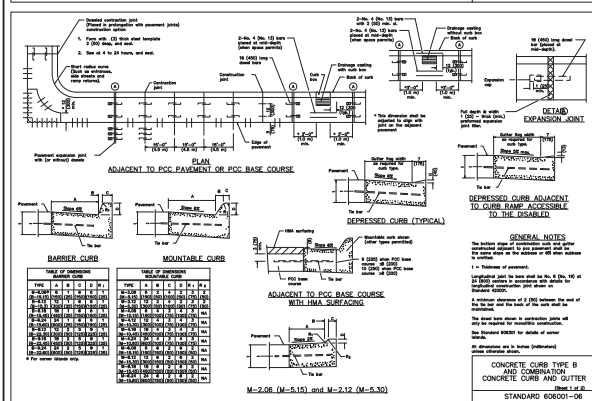
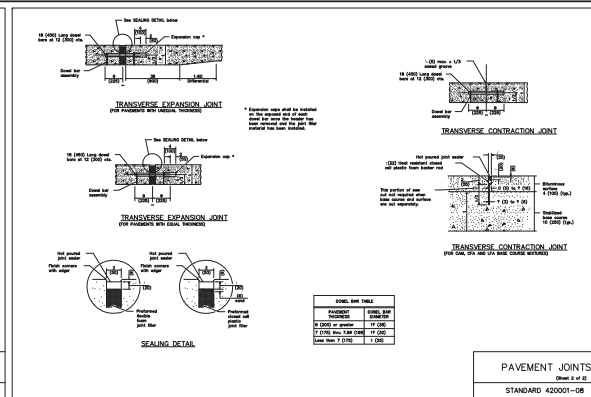
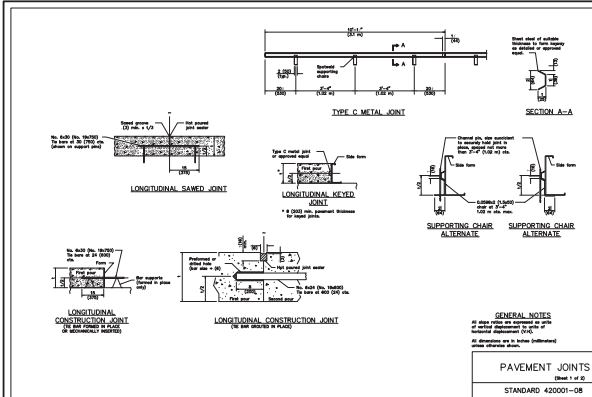
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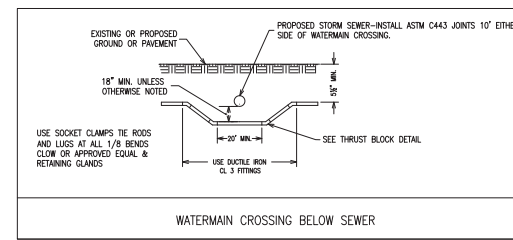
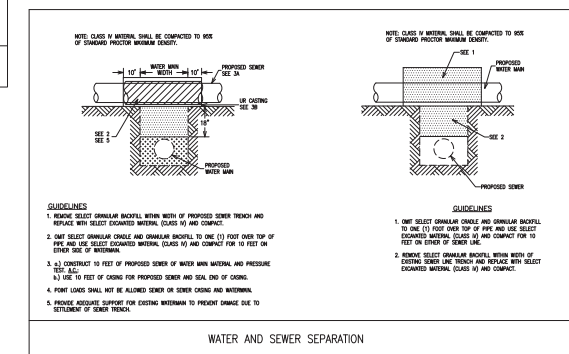
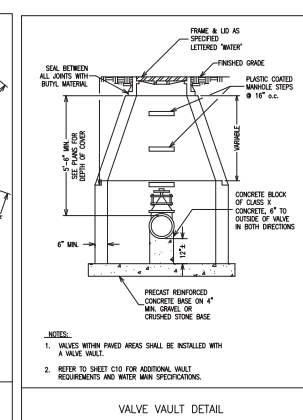
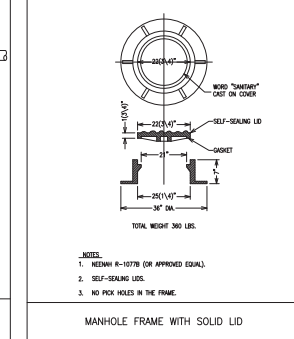
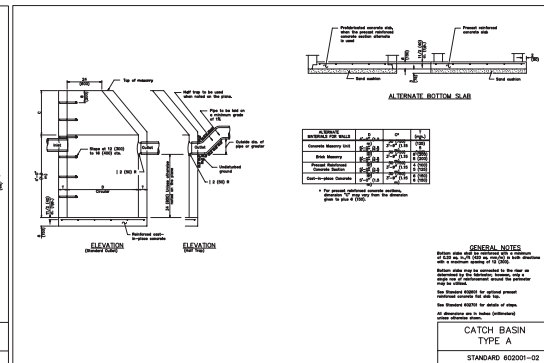
- 1) WHEN FACILITIES ARE NO LONGER REQUIRED FOR CONSTRUCTION WORK, THE MATERIALS USED TO CONSTRUCT THE FACILITY SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL LAW.
- 2) HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY REMOVAL OF THE FACILITY SHALL BE BACKFILLED AND RESTORED TO ITS PRE-EXISTING CONDITION OR INTENDED USE.

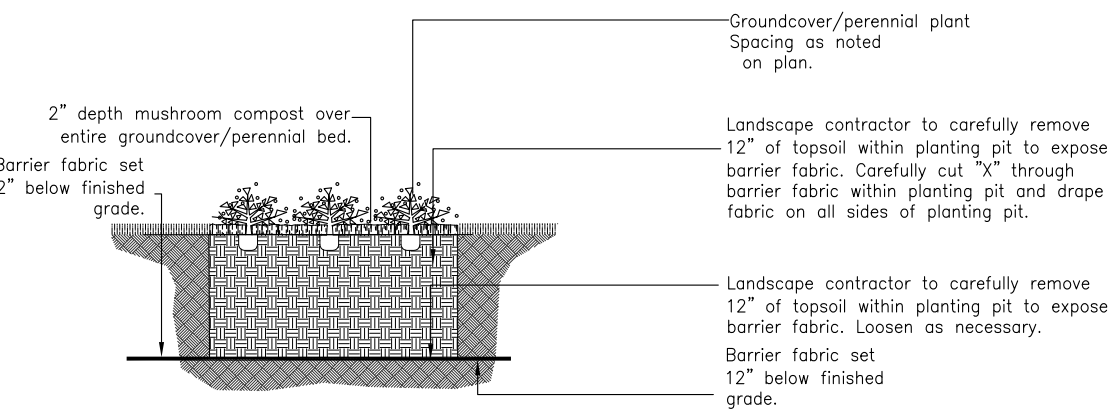


9/12/17	2	REVISION PER VILLAGE	1	ORIGINAL PLAN DATE	8/2/17	Date
9/12/17	1	ORIGINAL PLAN DATE	8/2/17	Date		
STORMWATER POLLUTION PREVENTION PLAN DETAILS						
ROMEOWILLE GATEWAY - BUILDING A						
IDI GAZELEY						
ROMEOWILLE, ILLINOIS						
JACOB & HEFNER ASSOCIATES						
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515						
PHONE: (630) 652-6606, FAX: (630) 652-6601						
www.jacobandhefner.com						
F305						
N.T.S.						
C8.1						

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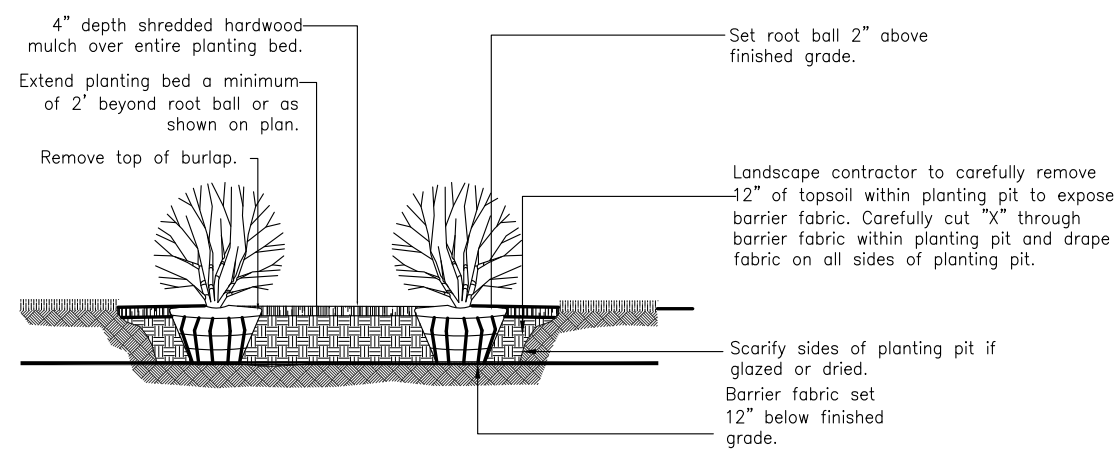






Detail

Groundcover/Perennial Planting



Detail

Shrub Planting

* Required Perimeter trees at east property line are not provided due to conflicts with proposed utilities in conformance with Section 159.30 (D)(4)(c)(i) of the Zoning Code.

The owner of the premises shall be responsible for the maintenance, repair and replacement of all landscape materials.

All planting beds shall be mulched as shown.

Village code requires lawn areas to be maintained so that the grass does not exceed six inches in height.

Trees shall not be planted within ten (10) feet of any fire hydrant, manhole, catch basin, or utility structure. Trees shall not be planted within five (5) feet of any underground utility line.

Required loading dock screening (Section 159.30 (D)(4)(o) of the Zoning Code) adjacent to trailer storage areas is not provided due to conflicts with trailer overhang.

All seed + blanket, No Mow seed and planting beds areas shall receive 12" depth topsoil and barrier

Shade Trees			Botanical Name	Common Name	Remarks
Key	Qty.	Size			
ACM	8	2.5"	<i>Acer micranthum</i> "Morton"	State Street Myrtle Maple	BB
GS	13	2.5"	<i>Acer occidentale</i> "Prairie Pride"	Prairie Pride Common Hackberry	BB
GPS	6	2.5"	<i>Ginkgo biloba</i> "Princeton Sentinel"	Princeton Sentinel Ginkgo	BB
GT2	12	2.5"	<i>Gleditsia triacanthos</i> var. <i>inermis</i> "Skyline"	Skyline Thornless Honeylocust	BB
OST	10	2.5"	<i>Ostrya virginiana</i>	Ironwood/American Hornbeam	BB
QUB	7	2.5"	<i>Quercus bicolor</i>	Swamp White Oak	BB
Shade Trees - TOTAL: 56					

Shrubs	Key	Qty.	Size	Botanical Name	Common Name	Remarks
BUX	64	24"		<i>Buxus x microphylla</i> "Glencoe"	Chicagoled Green Boxwood	88
CLE	115	30"		<i>Clethra alnifolia</i> "Hummingbird"	Hummingbird Summerweet	88
COT	54	3"		<i>Cotoneaster confertifolius</i>	Pinkie Cotoneaster	88
COT	98	3"		<i>Cotoneaster confertifolius</i>	Peking Cotoneaster	88
FVB	98	3"		<i>Forsythia viridissima</i> "Bronzeola"	Bronx Dwarf Forsythia	88
HFL	98	3"		<i>Hydrangea paniculata</i> "Pink Winky"	Pink Winky Hydrangea	88
HFL	98	30"		<i>Hydrangea paniculata</i> "Limelight"	Limelight Hydrangea	88
HYL	98	30"		<i>Hydrangea quercifolia</i>	Oaked Hydrangea	88
RRH	88	24"		<i>Ribes diuturnum</i> "Green Mound"	Green Mound Arise Currant	88
RHK	47	24"		<i>Rhus aromatica</i> "Gro-Low"	Gro-Low Fragrant Sumac	88
SMK	75	3"		<i>Syringa plicata</i> "Miss Kim"	Miss Kim Dwarf Lilac	88
TRJ	98	3"		<i>Taxus occidentalis</i>	Massachusetts Arborvitae	88
VBM	55	3"		<i>Viburnum dentatum</i> "Christom"	Blue Mufin Arrowwood Viburnum	88
VBM	67	3"		<i>Viburnum dentatum</i> "Christom"	Blue Mufin Arrowwood Viburnum	88
TOTAL:				720		

Perennials	Ornamental Grasses and Groundcovers				
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ALL	54	#1	Allium "Summer Beauty"	Summer Beauty Allium	Container
MLK	3	M	<i>Compositella scutellaria</i> "Karl Foerster"	Feather Reed Grass	Container
HFC	865	3"	<i>Euponymus fortunei</i> var. coloratus	Purpleleaf Wintercreeper	Pots
ELG	24	#1	Hemerocallis "Little Grapette"	Little Grapette Daylily	Container
PAN	78	#1	Panicum virgatum	Switch Grass	Container
SC	56	#1	Schizachyrium scoparium	Little Bluestem	Container
				TOTAL: 1,088	

PLANT MATERIALS - TOTAL: 1899

Topsoil Required by Buyer:	989 cubic yards
Topsoil Required by Seller:	2,920 cubic yards
Barrier Fabric Required by Buyer:	2,967 square yards
Barrier Fabric Required by Seller:	8,761 square yards

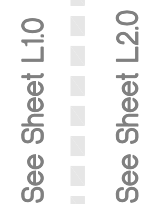
Note: Barrier fabric shall be LM800 Non-woven filter fabric
L&M Supply | P.O. Box 640 | 1800 Springhead Ch. Road | Willacooche, GA 31650 | 800-948-7870

No Mow Seed Mix	
Longfellow Chewings Fescue	23.60%
Sheep Fescue	23.06%
Chariot Hard Fescue	11.84%
Shoreline Slender Creeping Red Fescue	11.93%
Navigator Creeping Red Fescue	12.38%
Heron Hard Fescue	11.76%
Gulf Annual Ryegrass	3.99%

No Mow Lawn Mix with Annual Rye Nurse Crop
Prairie Nursery, Inc.

Applied at the rate of 5 lbs. per 1,000 square feet.

Kentucky Bluegrass	100 lbs per acre
Perennial Ryegrass	60 lbs per acre
Creeping Red Fescue	40 lbs per acre
North American Green S-75 Erosion Control Blanket	



Pomeoiville, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

350 N. Milwaukee Avenue | Libertyville, Illinois 60048
T 847.362.0209 | F 847.362.0214

McCALLUM
ASSOCIATES



**JACOB & HEFNER
ASSOCIATES**
1333 Butterfield Road, Suite 300 | Downers Grove, Illinois
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com

Landscape Plan

3	Village Review Comments	09.13.11
2	Site Plan Modifications	08.02.11
1	For Review	07.27.11
Mark	Description	Date
Issuance		

Number
469417

Scale
1" = 40'

File
4694FP1F

Sheet

North

Romeoville
Gateway

Romeoville, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
350 N. Milwaukee Avenue | Libertyville, Illinois 60048
T 847.382.2209 | F 847.382.0294

McCALLUM
ASSOCIATES

JACOB & HEFNER
ASSOCIATES
1310 Hawthorn Road, Suite 100 | Downers Grove, Illinois 60155
PHONE: (630) 652-4008, FAX: (630) 652-4081
www.jacobandhefner.com

Landscape Plan

3	Village Review Comments	09.13.17
2	Site Plan Modifications	08.02.17
1	For Review	07.27.17
Mark	Description	Date

Issuance

Number
463417

Scale
1" = 40'

File
4634FPF

Sheet
L20

Landscape Calculations

Perimeter	Required	Proposed
West (1306')	17	17 shade trees
North (390')	5	0 shade trees
East (1247')	16	5 shade trees 11 evergreen trees
South (740')	10	10 shade trees
Total	48	43

* Required Perimeter trees at east property line are not provided due to conflicts with proposed utilities in conformance with Section 159.30 (D)(4)(c)(i) of the Zoning Code.

Notes

The owner of the premises shall be responsible for the maintenance, repair and replacement of all landscape materials.

All planting beds shall be mulched as shown.

Village code requires lawn areas to be maintained so that the grass does not exceed six inches in height.

Trees shall not be planted within ten (10) feet of any fire hydrant, manhole, catch basin, or utility structure. Trees shall not be planted within five (5) feet of any underground utility line.

Required loading dock screening (Section 159.30 (D)(4)(c) of the Zoning Code) adjacent to trailer storage areas is not provided due to conflicts with trailer overhang.

All seed + blanket, No Mow seed and planting beds areas shall receive 12" depth topsoil and barrier.

Plant List

Shade Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACM	8	2.5"		Acer miyabei 'Morton'	State Street Miyabe Maple	BB
CEO	13	2.5"		Celtis occidentalis 'Prairie Pride'	Prairie Pride Common Hackberry	BB
GPS	6	2.5"		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	BB
GTS	12	2.5"		Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	BB
OST	10	2.5"		Ostrya virginiana	Ironwood/American Hophornbeam	BB
QUB	7	2.5"		Quercus bicolor	Swamp White Oak	BB
Shade Trees - TOTAL: 56						

Ornamental Trees			Botanical Name	Common Name	Remarks
Key	Qty.	Size			
AMC	1	6'	Amelanchier canadensis	Shadblow Serviceberry	BB/Clump
MLS	2	4'	Malus sargentii	Sargent Crabapple	BB/Clump
Ornamental Trees			- TOTAL: 3		

Evergreen Trees			Botanical Name	Common Name	Remarks
Key	Qty.	Size			
PGD	3	8'	Picea glauca 'Densata'	Black Hills Spruce	BB
PIA	3	8'	Picea abies	Norway Spruce	BB
PIC	5	8'	Picea pungens	Colorado Green Spruce	BB
Evergreen Trees -			TOTAL: 11		

Shrubs	Key	Qty.	Size	Botanical Name	Common Name	Remarks
BUX	64	24"	Buxus x microphylla 'Glencoe'	Chicagoland Green Boxwood	BB	
CLE	115	30"	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	BB	
COT	25	30"	Cotoneaster acutifolius	Peking Cotoneaster	BB	
COT	54	3"	Cotoneaster acutifolius	Peking Cotoneaster	BB	
FVB	98	24"	Forsythia viridissima 'Bronxensis'	Bronx Dwarf Forsythia	BB	
HPW	13	30"	Hydrangea paniculata 'Pink Winky'	Pink Winky Hydrangea	BB	
HYL	9	30"	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	BB	
HYQ	4	30"	Hydrangea quercifolia	Oakedleaf Hydrangea	BB	
RGM	88	24"	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	BB	
RHG	47	24"	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	BB	
SMK	75	3"	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	BB	
TOT	6	6'	Thuja occidentalis	Mission Arborvitae	BB	
VBM	55	30"	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	BB	
VBM	67	3"	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	BB	
Shrubs - TOTAL:		720				

Perennials, Ornamental Grasses and Groundcovers					Common Name	Remarks
Key	Qty.	Size	Botanical Name			
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CMK	32	#1	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Container	
EFC	855	3"	Euonymus fortunei var. coloratus	Purpleleaf Wintercreeper	Pots	
HLG	24	#1	Hemerocallis 'Little Grapette'	Little Grapette Daylily	Container	
PAN	78	#1	Panicum virgatum	Switch Grass	Container	
SCH	56	#1	Schizachyrium scoparium	Little Bluestem	Container	
Perennials, Ornamental Grasses and Groundcovers - TOTAL:					1109	

PLANT MATERIALS - TOTAL: 1899

Materials | Topsoil and Barrier Fabric

Topsoil Required by Buyer:	989 cubic yards
Topsoil Required by Seller:	2,920 cubic yards
Barrier Fabric Required by Buyer:	2,967 square yards
Barrier Fabric Required by Seller:	8,761 square yards

Note: Barrier fabric shall be LM800 Non-woven filter fabric
L&M Supply | P.O. Box 640 | 1800 Springhead Ch. Road | Willacooche, GA 31650 | 800-948-7870

No Mow Seed Mix

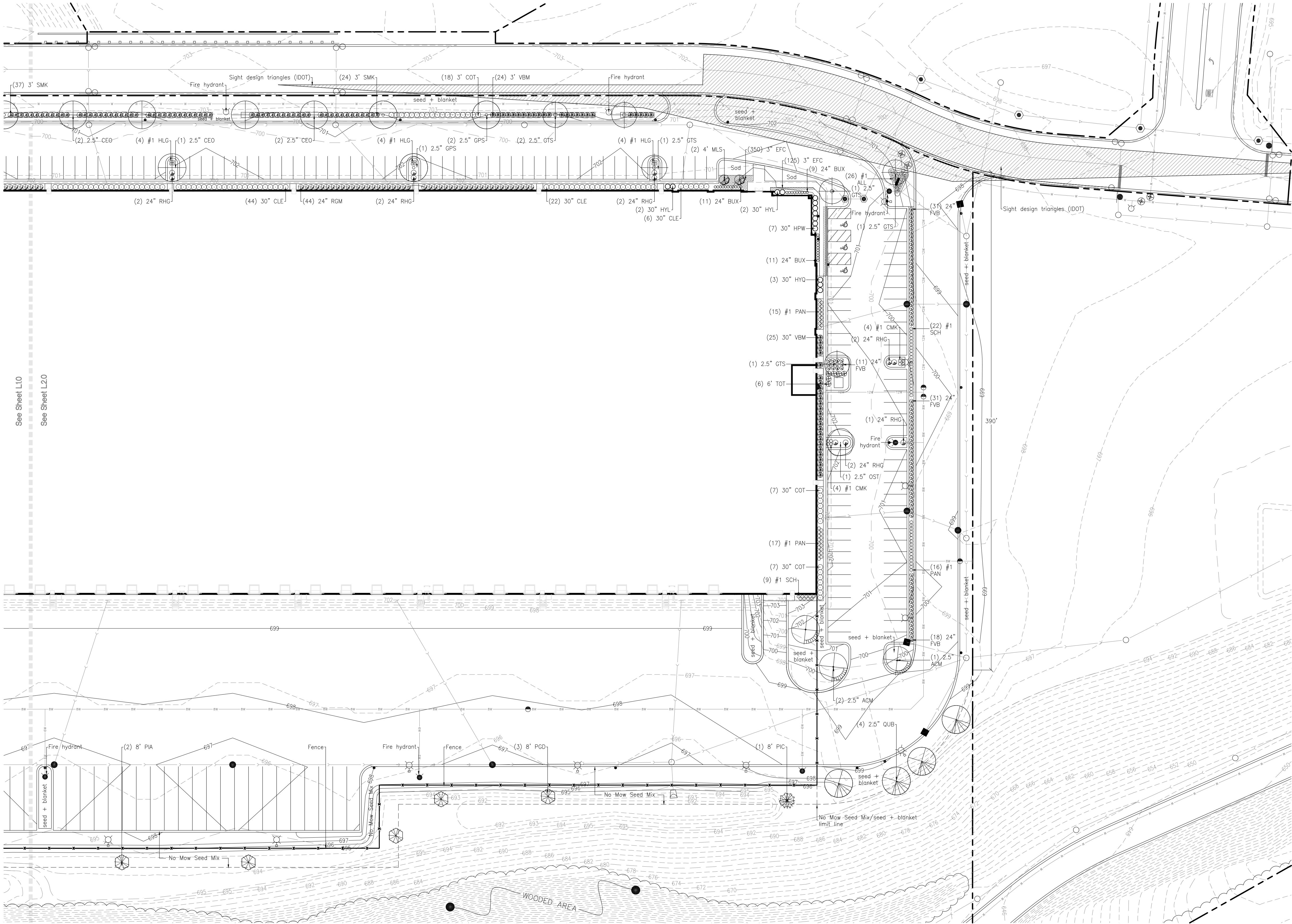
Longfellow Chewings Fescue	23.60%
Sheep Fescue	23.06%
Charlton Hard Fescue	11.84%
Shoreline Slender Creeping Red Fescue	11.90%
Navigator Creeping Red Fescue	12.38%
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Gulf Annual Ryegrass	3.99%

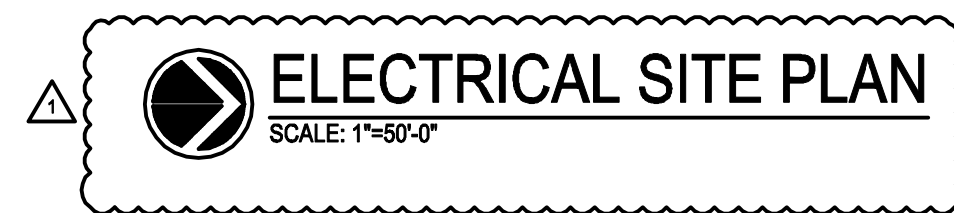
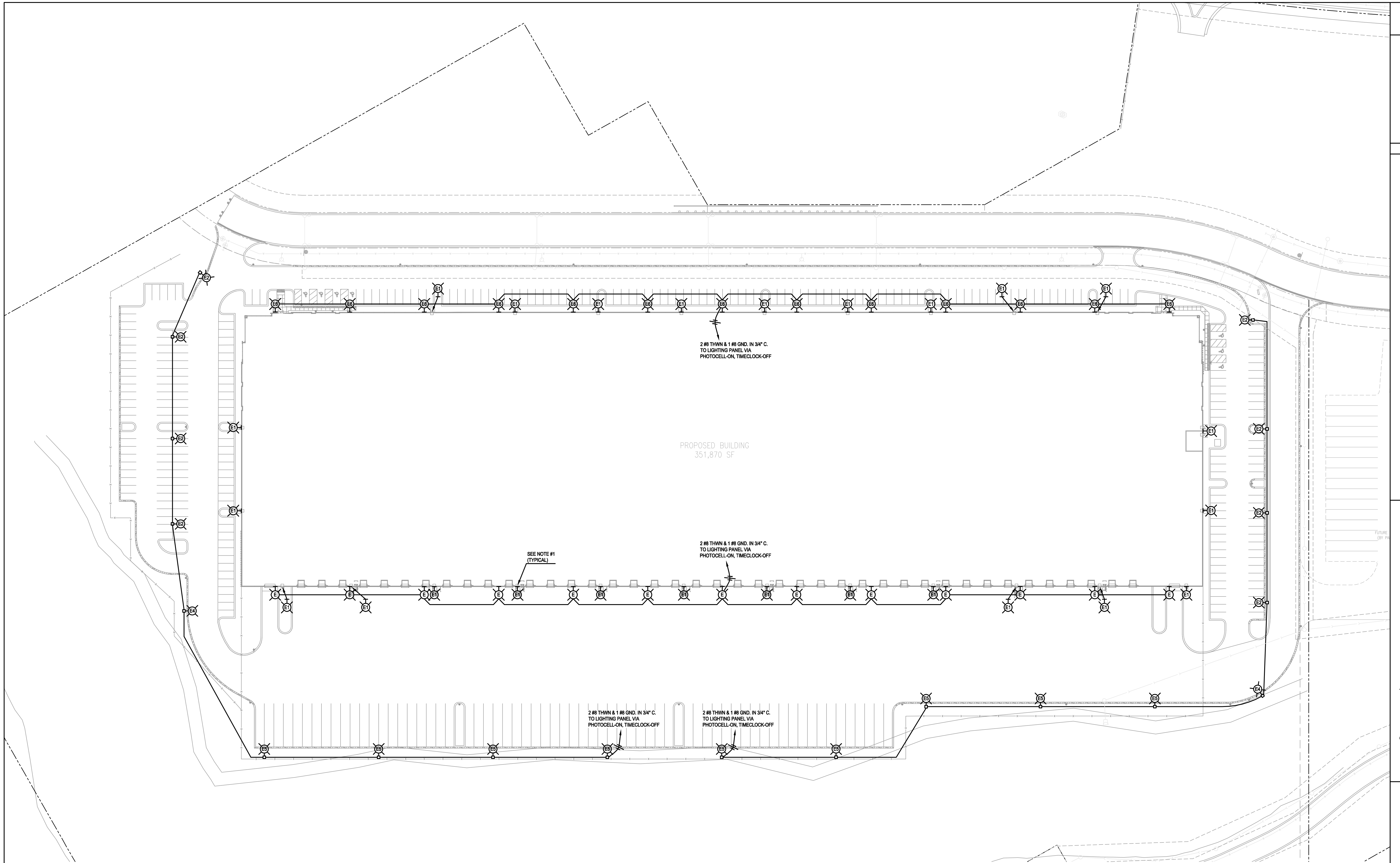
No Mow Lawn Mix with Annual Rye Nurse Crop
Prairie Nursery, Inc.

Applied at the rate of 5 lbs. per 1,000 square feet.

Seed and Blanket Mix

Kentucky Bluegrass	100 lbs per acre
Perennial Ryegrass	60 lbs per acre
Creeping Red Fescue	40 lbs per acre
North American Green S-75 Erosion Control Blanket	





NOTES:

1. 2 #8 THWN & 1 #8 GND. IN 3/4" C. TO LIGHTING PANEL VIA PHOTOCELL-ON/OFF. TYPICAL FOR ALL TYPE 'E1' FIXTURES.



Date: 09/11/17
Lic. Exp.: 11/30/17

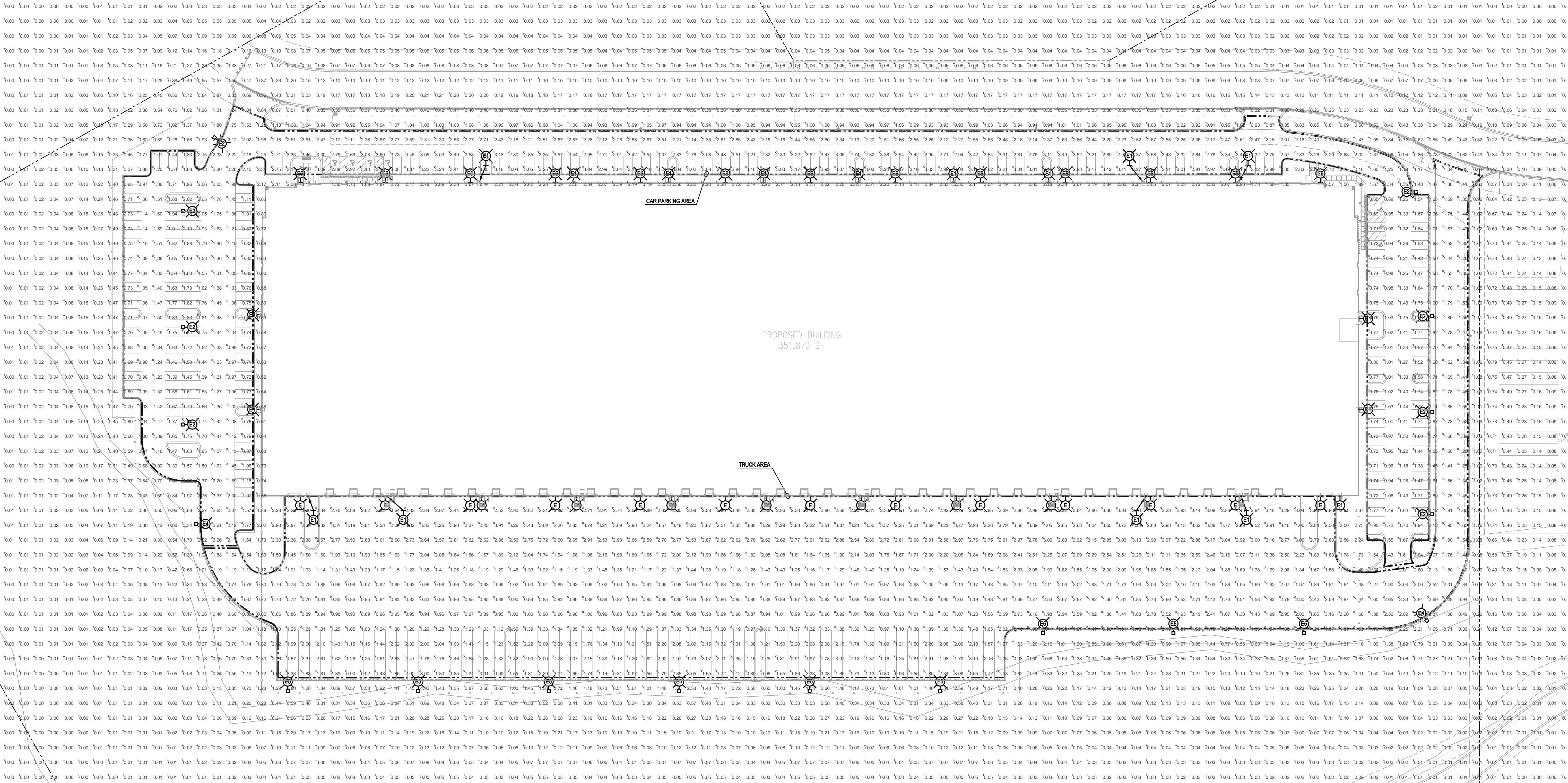


AS NOTED

17078

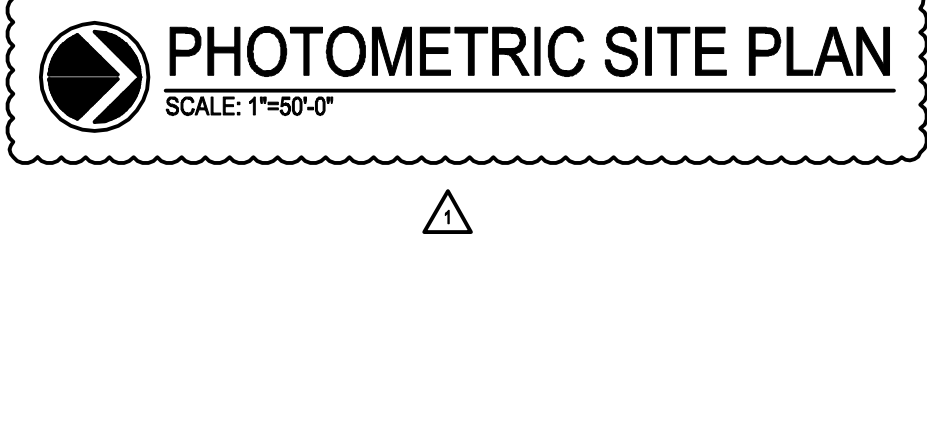
E1

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LIGHTING ANALYSIS NOTES: (ROMEDEVILLE CAR PARKING CODES)	
1. AVERAGE FOOTCANDLES:	1.92 < AVE < 2.4
2. MINIMUM FOOTCANDLES:	> 0.4
3. MAXIMUM FOOTCANDLES:	NA
4. AVERAGE/MINIMUM RATIO:	< 6.0:1
5. MAXIMUM/MINIMUM RATIO:	NA

LIGHTING ANALYSIS NOTES: (CAR PARKING AREA)	
1. AVERAGE FOOTCANDLES:	1.98
2. MINIMUM FOOTCANDLES:	0.65
3. MAXIMUM FOOTCANDLES:	3.73
4. AVERAGE/MINIMUM RATIO:	3.0:1
5. MAXIMUM/MINIMUM RATIO:	5.7:1



LIGHTING ANALYSIS NOTES: (ROMEDEVILLE TRUCK PARKING & MANUEVERING CODES)	
1. AVERAGE FOOTCANDLES:	1.92 < AVE < 2.4
2. MINIMUM FOOTCANDLES:	NA
3. MAXIMUM FOOTCANDLES:	NA
4. AVERAGE/MINIMUM RATIO:	NA
5. MAXIMUM/MINIMUM RATIO:	NA

LIGHTING ANALYSIS NOTES: (TRUCK AREA)	
1. AVERAGE FOOTCANDLES:	1.93
2. MINIMUM FOOTCANDLES:	0.67
3. MAXIMUM FOOTCANDLES:	5.41
4. AVERAGE/MINIMUM RATIO:	2.9:1
5. MAXIMUM/MINIMUM RATIO:	8.1:1



Corporation Registration #184-0053574

KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS

5420 SOUTH WESTRODE DRIVE
NEW BERN, W. 53551
(262) 784-3323 FAX: (262) 784-5014

PHOTOMETRIC SITE PLAN

ROMEDEVILLE GATEWAY – BUILDING A

IDI GAZELEY

ROMEDEVILLE, ILLINOIS

JACOB & HEFNER
ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com

AS NOTED

17078

E2

09/11/17

PERMIT REVIEW COMMENTS

09/01/17

ISSUED FOR PERMIT

No.

Description

[illegible]

TRAVERSE SERIES

SURFACE/CABLE/GARAGE

Job _____

App _____

E1

SPECIFICATIONS

Intended Use:

The Traverse Luminaire is a wall surface luminaire with a fixed replaceable LED light engine & optical beam system. Internal components are totally enclosed in an air-tight and corrosion-resistant die cast aluminum housing. The TTV Luminaire is suitable for wet locations.

Construction:

- Traverse luminaire consists of a die cast aluminum two piece housing.
- Die cast main thermal housing provides direct heat exchange between the LED light engine and the cool outdoor air by drawing air through integral heat channels and out of the insulated and functional luminaire surface.
- LED light engine is thermally attached and held sealed to the rear housing.
- Main housing is designed with heat dissipating fins for LED thermal management without the use of metallic screws, clips, or fasteners.
- Shape of the main housing is designed to prevent debris accumulation and as a bird nesting deterrent. The back and main housings are designed to hinge open for easy mounting and easy access.

LED/Optic:

- Optical output of each LED engine, LED temps, color rendering and beam spread.
- Cartridge is held together with internal brass pins for LED thermal management.
- Cartridge is held to the back so that it can be replaced as one piece optical unit.
- A few pieces die cut silicone and polykarbonate heat gasket ensure a weather-proof seal around each individual LED and allows the Traverse luminaire to be used in high pressure hose down applications.
- General corrosion is secured to the insulated housing with fasteners and a heat pad to ensure thermal conduction.
- Optics are held in place without the use of adhesives and the complete assembly is gasketed for high pressure hose down.
- Cartridge assembly is available in various lighting distributions using TIR designed acrylic optical lenses over each LED.

Electrical:

- 1000 lumens from 277V, 50 Hz to 60 Hz full load.
- Power factor is min .92 to .99 full load.
- All electrical components are rated at 50,000 hours at full load and 40°C ambient conditions per MIL-STD-883C Note 2.
- Optional 0 to 120° dimming drivers are available upon request.
- Component to component wiring within the luminaire may carry no more than 180°C of ambient and is listed by UL for use at 2000VAC at 90°C or higher.
- Plug dimensions are listed by IEC for use at 600 VAC, 15A or higher. IEC wiring applies to primary AC cable only.
- Surge protection – 3000A

Control/Options:

- Traverse is available with an optional passive infrared (PIR) motion sensitive luminaire selecting motion 360° around the luminaire. The PIR sensor is factory programmed for the specified time, the Motion Response system reduces the wattage drawn to a factory preset level, reducing light level accordingly. When motion is detected, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from the standard configurations.
- Available with Energizer for optional solar driving with crystals and solar wiring details listed on time of print.
- LED light engine can be specified with more than one beam angle and beam spread. See www.beaconproducts.com/products/morelight for details.
- In addition, Traverse can be specified with white emitting light quality 2470. See order information or website: www.beaconlighting.com/beamtest/ for more details.

Installation:

- Rear housing (back plate) is designed with various bolt patterns for direct wall mounting or mounting to a recessed 4" junction box.
- Rear housing has three integral 3/4" NPT power feed locations to support conduit applications.
- After mounting the rear housing to the wall or junction box, the main housing is designed to hang and hinge closed after connecting the male and female quick connectors.
- Mounting design permits a simple method to extending wall luminaires that utilize surface mount or recessed luminaire beam bodies.

Finish:

- Traverse luminaire powder coat electrostatically applied and thermocured.
- PIR luminaire finish is a clear powder coat inorganic phosphate chemical pretreatment.
- Traverse luminaire is available in powder, oven dry off, and flat coated with a thermal stable TPOC powder coat.
- Traverse luminaire is available in 6000 series powder specification which meets the painting method of AAMA 600-2 for corrosion resistance and resists cracking and rate of nitrogen per year and resists surface impacts of up to 160 mph impacts.

Listings:

- The luminaire shall bear a CSA label and be market suitable for wet locations.
- This product is approved by the Florida Fish and Wildlife Conservation Commission.
- See project specific approvals at: www.beaconlighting.com/usa/certifications

Warranty:

- One year limited warranty for more information visit: www.beaconlighting.com/resources/warranty/

PRODUCT IMAGE(S)

Dimensions shown: 12" H, 14" W, 4" D.

Views: Front View, Top View, Bottom View.

Labels: "Shown with 30°PIR's", "Side View".

CERTIFICATIONS/LISTINGS

2000A - 3000A per CSA cUL only

BEACON

Beacon Products, 10450 Avenue Ardis Drive, Bradenton, FL 34203 • Phone: 888-355-4028


Due to a continued effort to improve our products, product specifications are subject to change without notice.

©2016 Beacon luminaire sold as is with no warranty. Beacon does not warrant this SPEC SHEET.

HUBBELL

[illegible][illegible]

RSA-B-S SERIES POLES ROUND STAINLESS ALUMINUM

Cat.# Job	Type E2, E3, E4 & E5	 BEACON APPROVALS _____ _____ _____
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APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- SHAFT:** One-piece straight aluminum with round cross section; Extruded shafts of 6061-T6 aluminum in 1/8", 3/16", or 1/4" thickness. Base plate of 356 cast aluminum.
- BASE COVERS:** Four (4) individual bolt covers provided, painted to match pole and base finish.
- POLE CAP OR FINALS:** Cap or decorative finials available for side mounted luminaires. Top or tenons provided for post topped luminaires.
- HAND HOLE:** Aluminum hand hole frame; Mounting provisions for grounding lag located behind cover.
- ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 5,000 psi (ASTM F1554).

Sanitized hardware with two washers and two nuts per lag for leveling.

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint finish coat available in twelve standard colors; Custom colors available; RAL number preferable.

Overall Height = 24"

Hand Hole 15"

Hand Hole 15"

Base Cover 15"

Base Cover 15"

TENONS & POLE CAPS

BASE DETAIL

BOLT COVERS

HAND HOLE

LEVELING LAG

POLE CAP OR FINIAL

FOUNDATION MOUNTING PROVISIONS

ORDERING EXAMPLE:



RSA-B-S - 16 - 40 - A/B/C - CAP - 2L - B3 - DBT - VM2

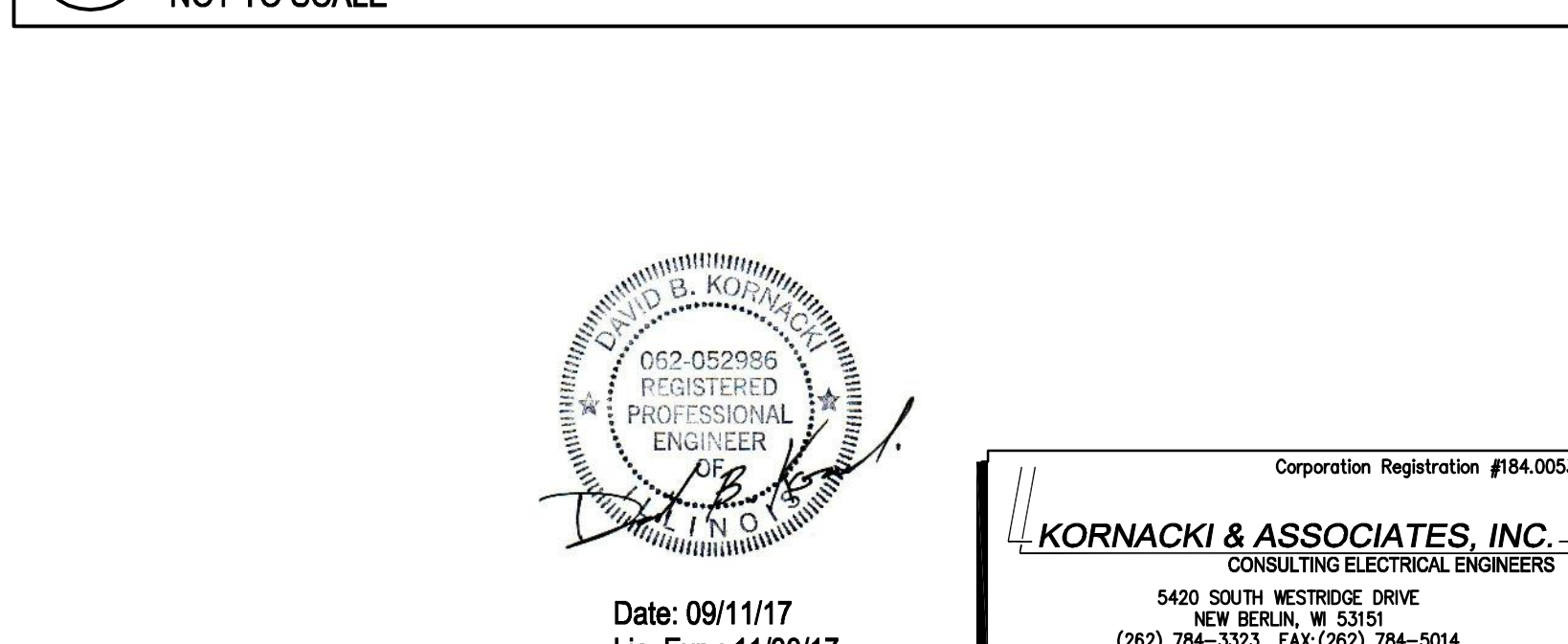
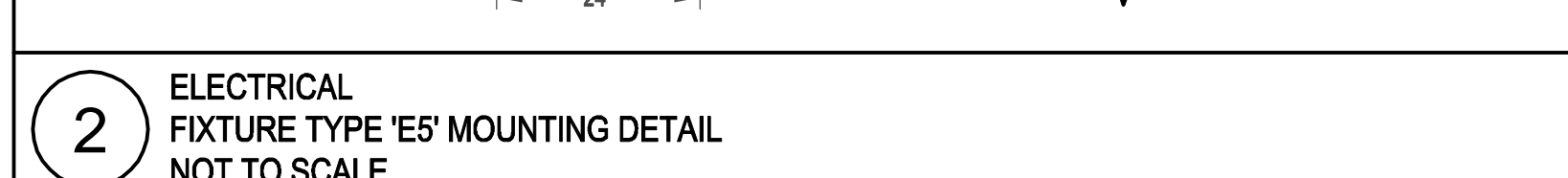
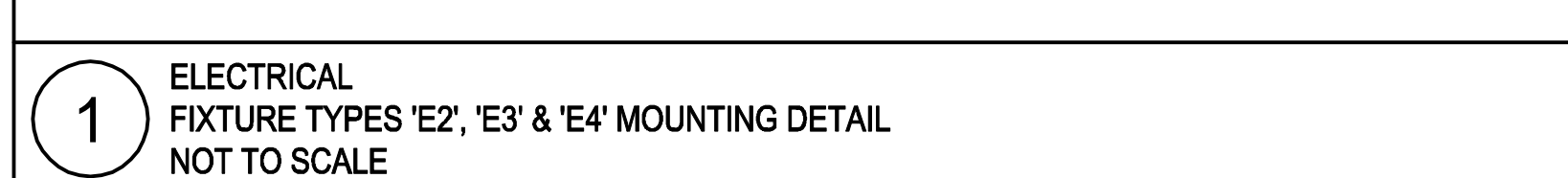
SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	DRILL PATTERNS	FINISH	OPTIONS
RSA-B-S Round Shaft Aluminum Pole Beacon Smooth	16 24 30 36 42 48 54 60 66 72 78 84 90 96 102 108 114 120 126 132 138 144 150 156 162 168 174 180 186 192 198 204 210 216 222 228 234 240	3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000					

ACCESSORIES: Order Separately

Catalog Number	Description
VM2SX	2nd mode vibration damper

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