

FINAL ENGINEERING PLANS

FOR

HIGHPOINT TOWN SQUARE APARTMENTS

ROMEOVILLE, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

TAT Global, LLC
175 S. Highpoint Drive
Romeoville, Illinois 60446
630 210 6227
Contact: Bruno Bottarelli

ENGINEER

V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200

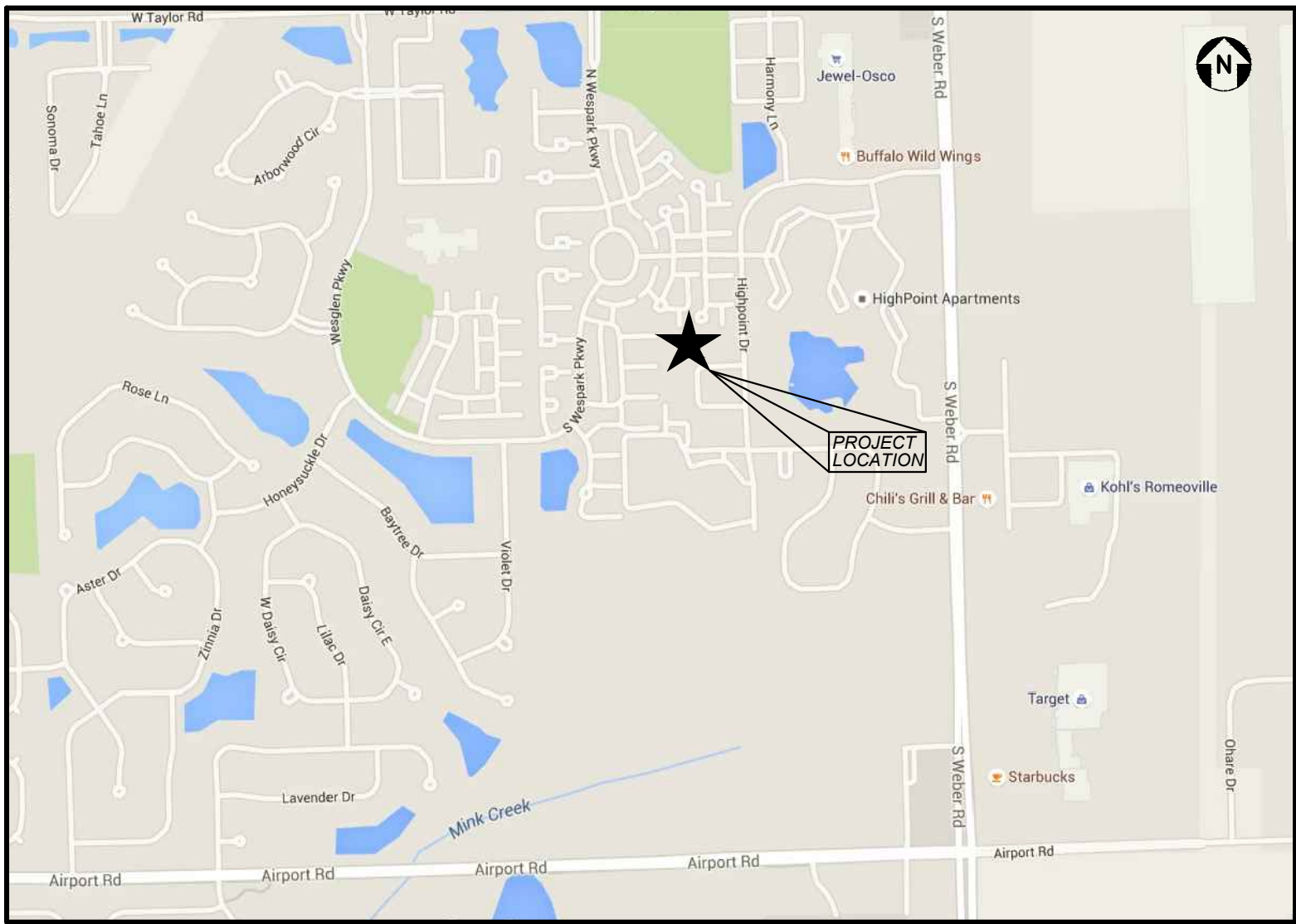
Project Manager: Theodore E. Feenstra, P.E., LEED AP BD+C
Project Engineer: Steven A. Kranenborg, P.E.

ARCHITECT

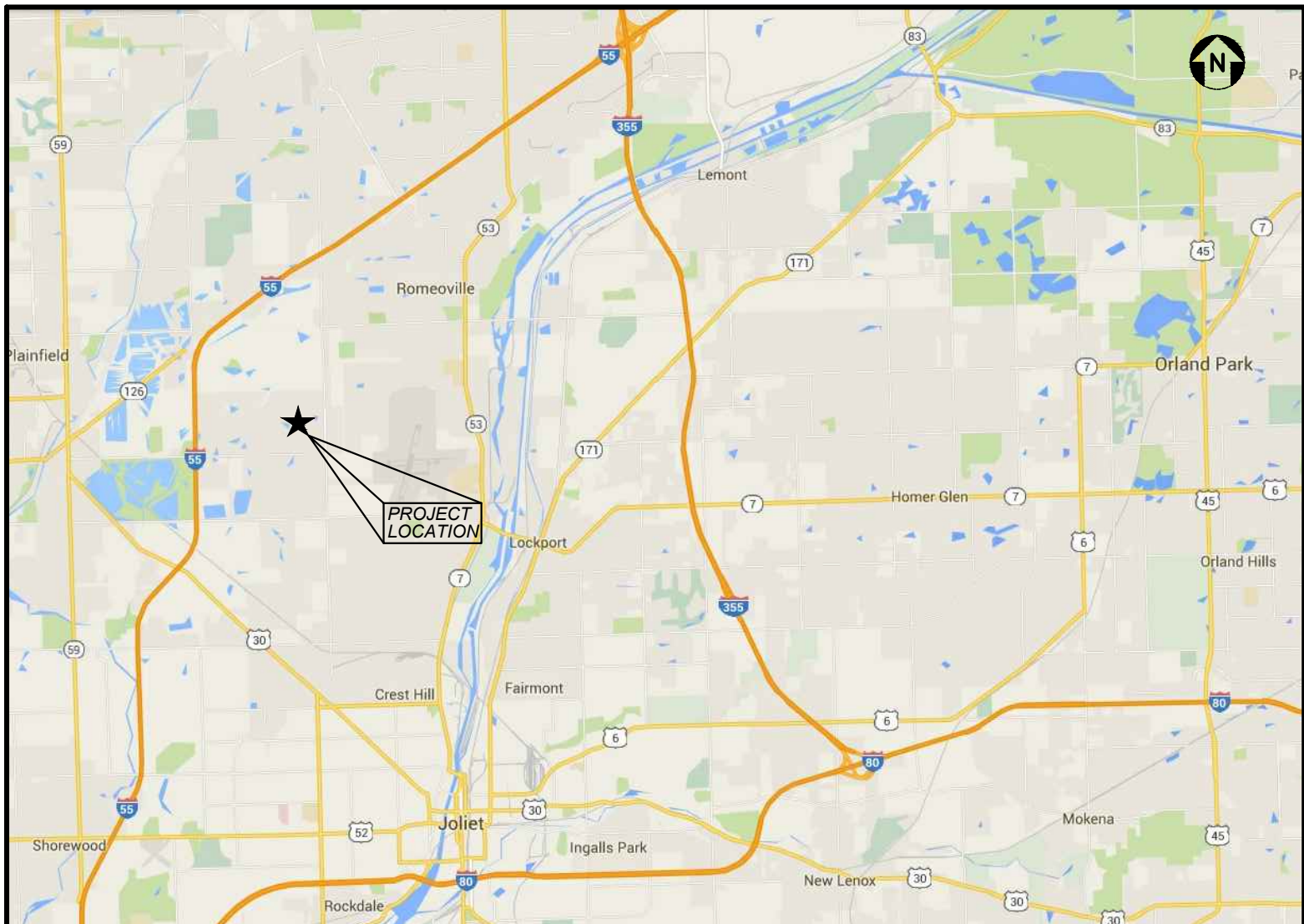
Bloom Architecture
P.O Box 579
La Grange, Illinois 60525
312 480 5847
Contact: Albert Bloom

VILLAGE CONTACT

Village of Romeoville
615 Anderson Drive
Romeoville, Illinois 60446
815 886 1870
Contact: Jonathon Zabrocki, P.E.



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

INDEX OF DRAWINGS

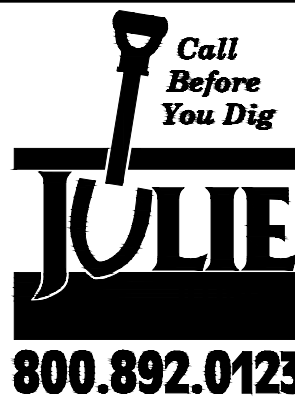
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DRAINAGE CERTIFICATION

"I, STEVEN A. KRANENBORG, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THE DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES."



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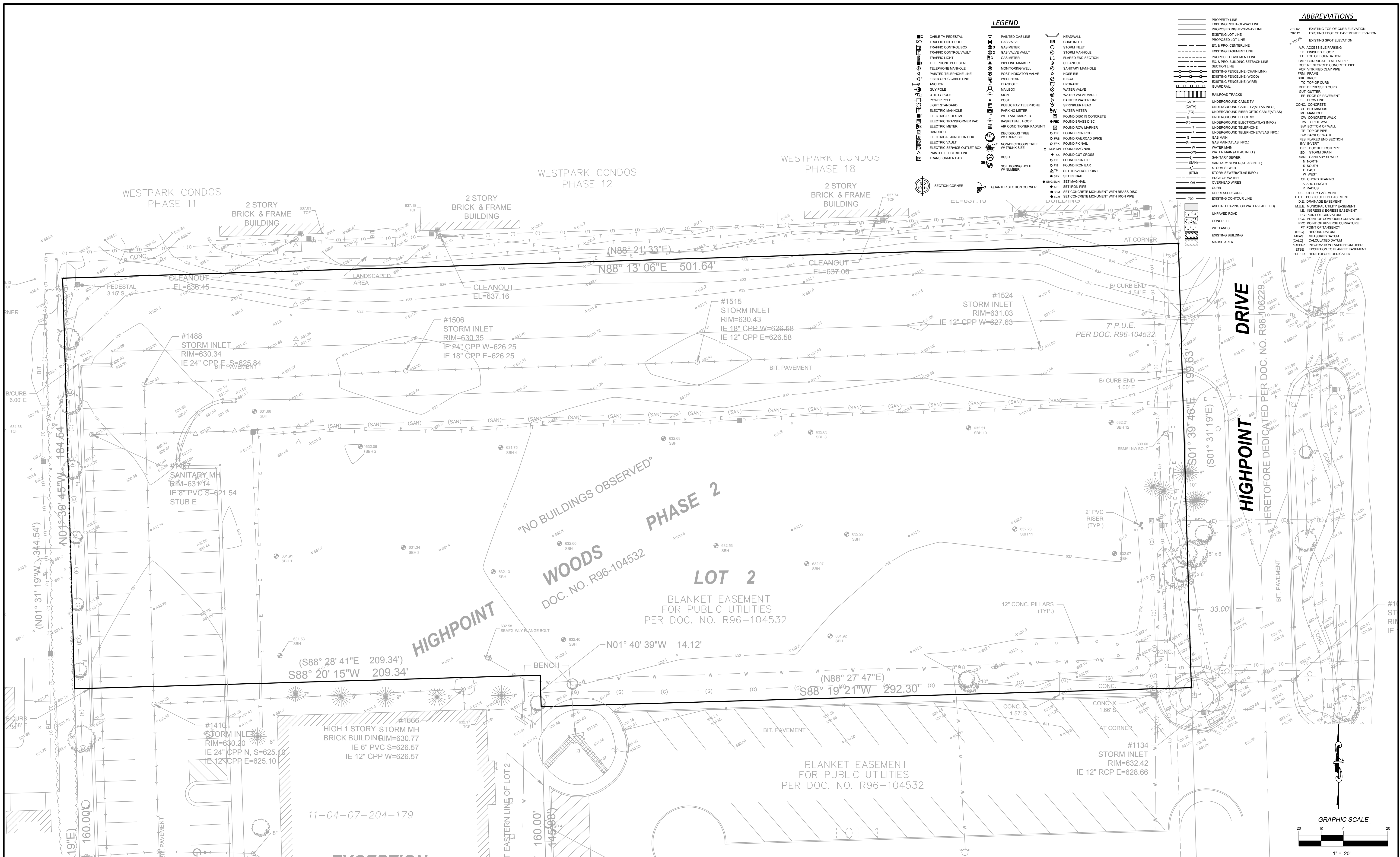
REVISIONS				
NO.	DATE	DESCRIPTION	SHEETS REVISED	REV. BY
1	11-23-16	ISSUED FOR HUD REVIEW	ALL	SAK
2	01-18-17	REVISED PER VILLAGE COMMENTS	ALL	SAK
3	02-17-17	REVISED PER VILLAGE COMMENTS	ALL	SAK
ORIGINAL ISSUE DATE: SEPTEMBER 19, 2016				


BENCHMARKS	
SOURCE: PER FEMA FIRM MAP	
STATION DESIGNATION: RM 54 ELEVATION: 601.01 (PUBLISHED AND HELD) DATUM: NGVD29 DESCRIPTION: CUT SQUARE IN THE SOUTHWEST WING WALL OF RENWICK ROAD BRIDGE OVER LILY CACHE CREEK.	
STATION DESIGNATION: RM 65 ELEVATION: 597.54 (PUBLISHED AND MEASURED) DATUM: NGVD29 DESCRIPTION: CHISELED SQUARE ON RIGHT DOWNSTREAM WING WALL OF CATON FARM ROAD BRIDGE, OVER SUNNYLAND DRAIN.	
SITE: STATION DESIGNATION: SBM #1 ESTABLISHED BY: V3 COMPANIES DATE: 02-24-16 ELEVATION: 633.60 (MEASURED) DATUM: NGVD29 DESCRIPTION: NORTHWEST BOLT ON FIRE HYDRANT WEST SIDE OF HIGHPOINT DRIVE, SOUTH OF BITUMINOUS DRIVE TO SITE.	
STATION DESIGNATION: SBM #2 ESTABLISHED BY: V3 COMPANIES DATE: 02-24-16 ELEVATION: 632.58 (MEASURED) DATUM: NGVD29 DESCRIPTION: WESTERLY FLANGE BOLT ON FIRE HYDRANT NEAR THE NORTHEAST CORNER OF THE HIGH 1 STORY BUILDING TO THE SOUTH.	
NOTE: BM CONVERSION FACTOR FROM NGVD29 - 0.31' = NAVD88	

PROFESSIONAL ENGINEER'S CERTIFICATION	
I, STEVEN A. KRANENBORG, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF TAT GLOBAL, LLC BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. DATED THIS _____ DAY OF _____, A.D., 2017.	
ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-068598 MY LICENSE EXPIRES ON NOVEMBER 30, 2017 ILLINOIS LICENSED DESIGN FIRM NO. 184-000902	

DRAWING NO.
C0.0

16036 - TITLE SHEET





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SCALE:	1:20	PROJECT MANAGER:	TF

HIGHPOINT TOWN SQUARE APARTMENTS

ILLINOIS

EXISTING CONDITIONS PLAN

C2.0

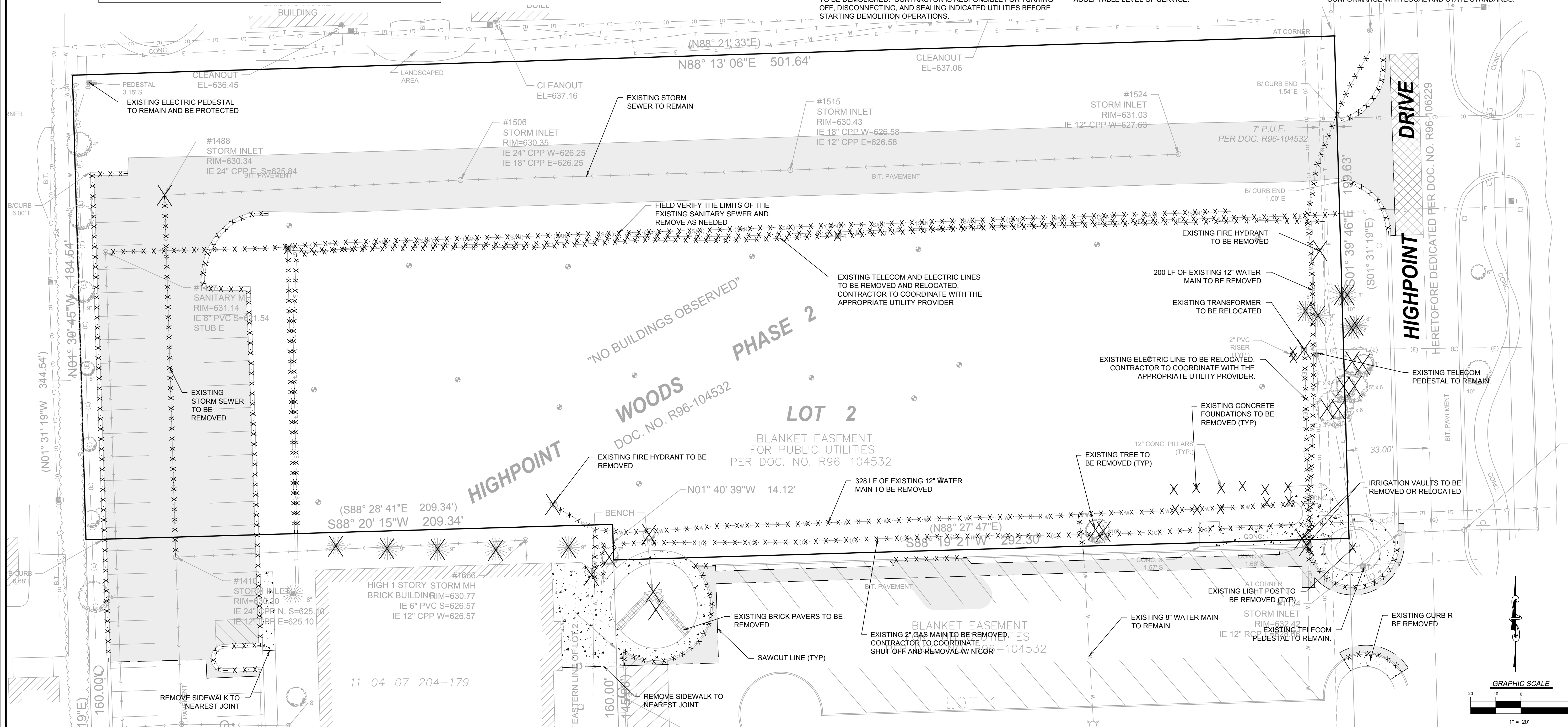
DEMOLITION LEGEND


- EXISTING BITUMINOUS PAVEMENT TO BE REMOVED AND PROPERLY DISPOSED OF
- EXISTING BITUMINOUS PAVEMENT TO BE MILLED 1.5"
- EXISTING CONCRETE TO BE REMOVED FULL-DEPTH
- X -X -X -X - EXISTING ITEM TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE
- /-/-/-/- EXISTING ITEM TO BE ABANDONED
- X ITEM TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE

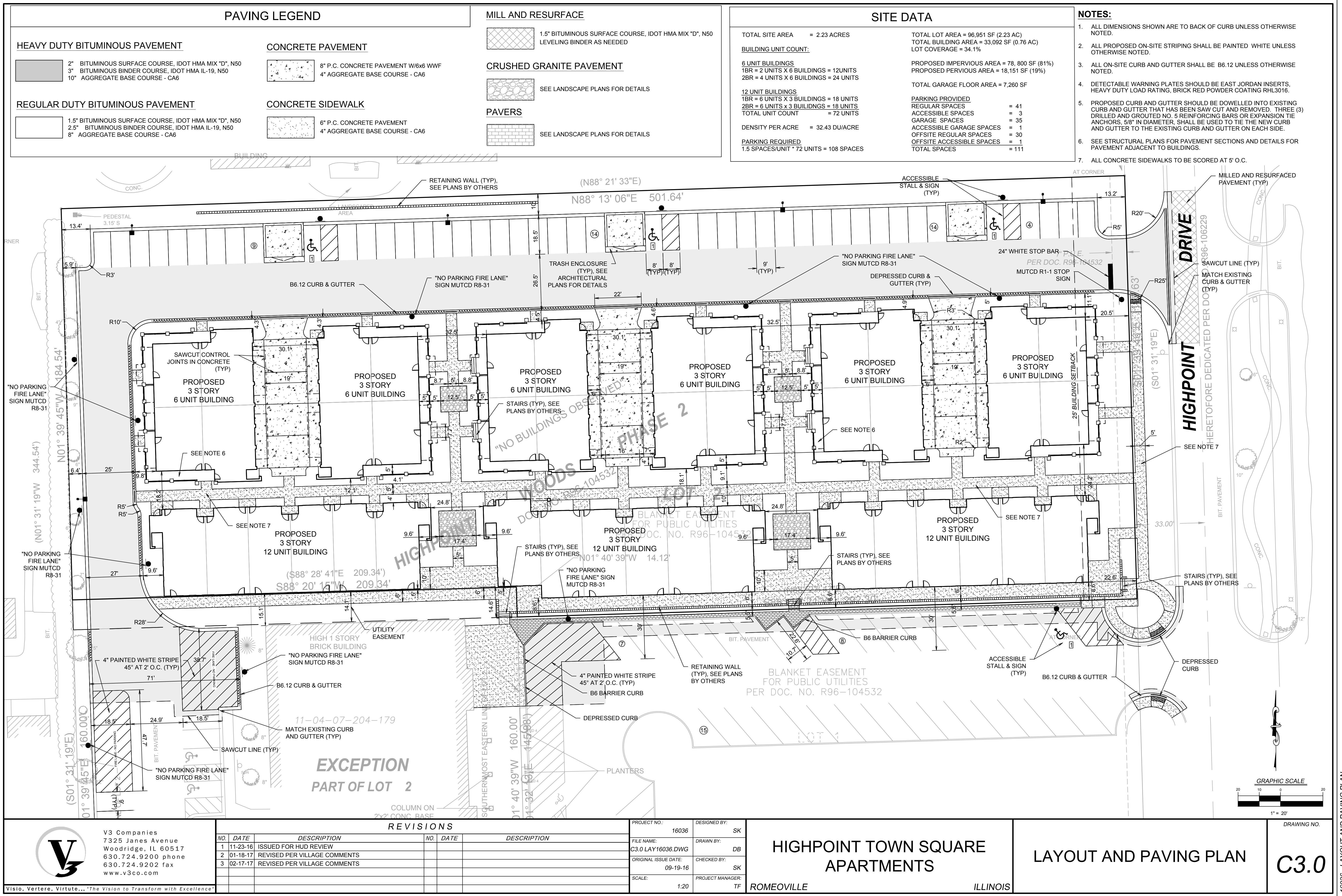
DEMOLITION NOTES

1. THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFF-SITE OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - FOUNDATIONS, WALLS AND SLABS
 - UTILITIES
 - CONSTRUCTION DEBRIS
2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
3. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
4. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
8. EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
9. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH CLSM OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
10. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
12. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.

13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
16. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
17. EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
18. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.



<div></div> <div>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</div> <div>Visio, Vertere, Virtute... "The Vision to Transform with Excellence"</div>	REVISIONS						PROJECT NO.: 16036	DESIGNED BY: SK	HIGHPOINT TOWN SQUARE APARTMENTS	DEMOLITION PLAN	DRAWING NO. C2.1
	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	FILE NAME: C2.0-C2.1 ECDemo16036.DWG	DRAWN BY: DB			
	1	11-23-16	ISSUED FOR HUD REVIEW				ORIGINAL ISSUE DATE: 09-19-16	CHECKED BY: SK			
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HEAVY DUTY BITUMINOUS PAVEMENT

- 2" BITUMINOUS SURFACE COURSE, IDOT HMA MIX "D", N50
- 3" BITUMINOUS BINDER COURSE, IDOT HMA IL-19, N50
- 10" AGGREGATE BASE COURSE - CA6

REGULAR DUTY BITUMINOUS PAVEMENT

- 1.5" BITUMINOUS SURFACE COURSE, IDOT HMA MIX "D", N50
- 2.5" BITUMINOUS BINDER COURSE, IDOT HMA IL-19, N50
- 8" AGGREGATE BASE COURSE - CA6

CONCRETE PAVEMENT

- 8" P.C. CONCRETE PAVEMENT W/6x6 WWF
- 4" AGGREGATE BASE COURSE - CA6

CONCRETE SIDEWALK

- 6" P.C. CONCRETE PAVEMENT
- 4" AGGREGATE BASE COURSE - CA6

MILL AND RESURFACE

- 1.5" BITUMINOUS SURFACE COURSE, IDOT HMA MIX "D", N50
- LEVELING BINDER AS NEEDED

CRUSHED GRANITE PAVEMENT

- SEE LANDSCAPE PLANS FOR DETAILS

PAVERS

- SEE LANDSCAPE PLANS FOR DETAILS

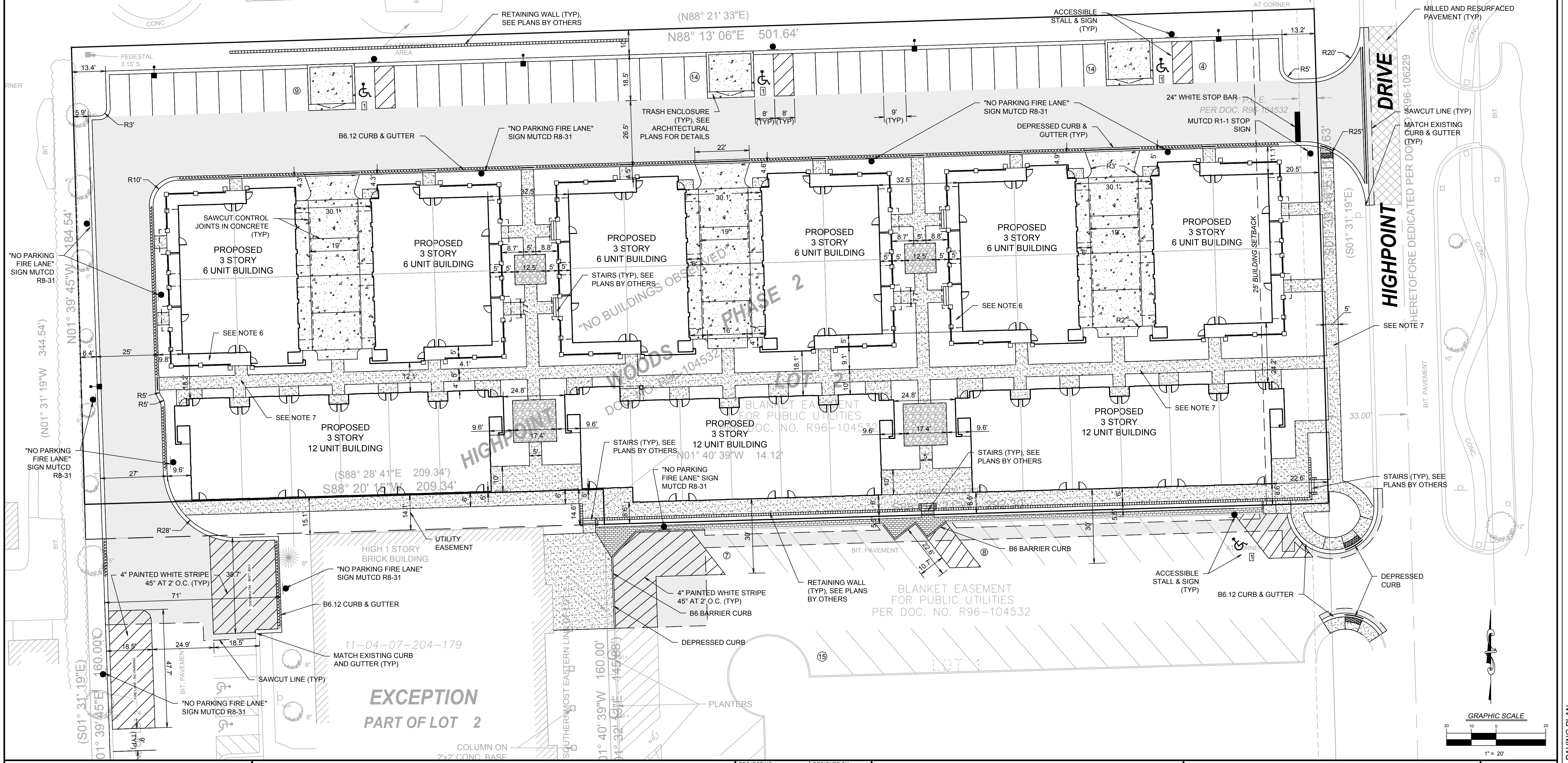
SITE DATA


TOTAL SITE AREA = 2.23 ACRES
BUILDING UNIT COUNT:
6 UNIT BUILDINGS
1BR = 2 UNITS X 6 BUILDINGS = 12 UNITS
2BR = 4 UNITS X 6 BUILDINGS = 24 UNITS
12 UNIT BUILDINGS
1BR = 6 UNITS X 3 BUILDINGS = 18 UNITS
2BR = 6 UNITS X 3 BUILDINGS = 18 UNITS
TOTAL UNIT COUNT = 72 UNITS
DENSITY PER ACRE = 32.43 DU/ACRE
PARKING REQUIRED
1.5 SPACES/UNIT * 72 UNITS = 108 SPACES

TOTAL LOT AREA = 96,951 SF (2.23 AC)
TOTAL BUILDING AREA = 33,092 SF (0.76 AC)
LOT COVERAGE = 34.1%
PROPOSED IMPERVIOUS AREA = 78, 800 SF (81%)
PROPOSED PERVIOUS AREA = 18,151 SF (19%)
TOTAL GARAGE FLOOR AREA = 7,260 SF
PARKING PROVIDED
REGULAR SPACES = 41
ACCESSIBLE SPACES = 3
GARAGE SPACES = 35
ACCESSIBLE GARAGE SPACES = 1
OFFSITE REGULAR SPACES = 30
OFFSITE ACCESSIBLE SPACES = 1
TOTAL SPACES = 111

NOTES:

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
- ALL ON-SITE CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
- DETECTABLE WARNING PLATES SHOULD BE EAST JORDAN INSERTS, HEAVY DUTY LOAD RATING, BRICK RED POWDER COATING RHL3016.
- PROPOSED CURB AND GUTTER SHOULD BE DOWELLED INTO EXISTING CURB AND GUTTER THAT HAS BEEN SAW CUT AND REMOVED. THREE (3) DRILLED AND GROUTED NO. 5 REINFORCING BARS OR EXPANSION TIE ANCHORS, 5/8" IN DIAMETER, SHALL BE USED TO TIE THE NEW CURB AND GUTTER TO THE EXISTING CURB AND GUTTER ON EACH SIDE.
- SEE STRUCTURAL PLANS FOR PAVEMENT SECTIONS AND DETAILS FOR PAVEMENT ADJACENT TO BUILDINGS.
- ALL CONCRETE SIDEWALKS TO BE SCORED AT 5' O.C.





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HIGHPOINT TOWN SQUARE APARTMENTS

ROMEDEVILLE ILLINOIS

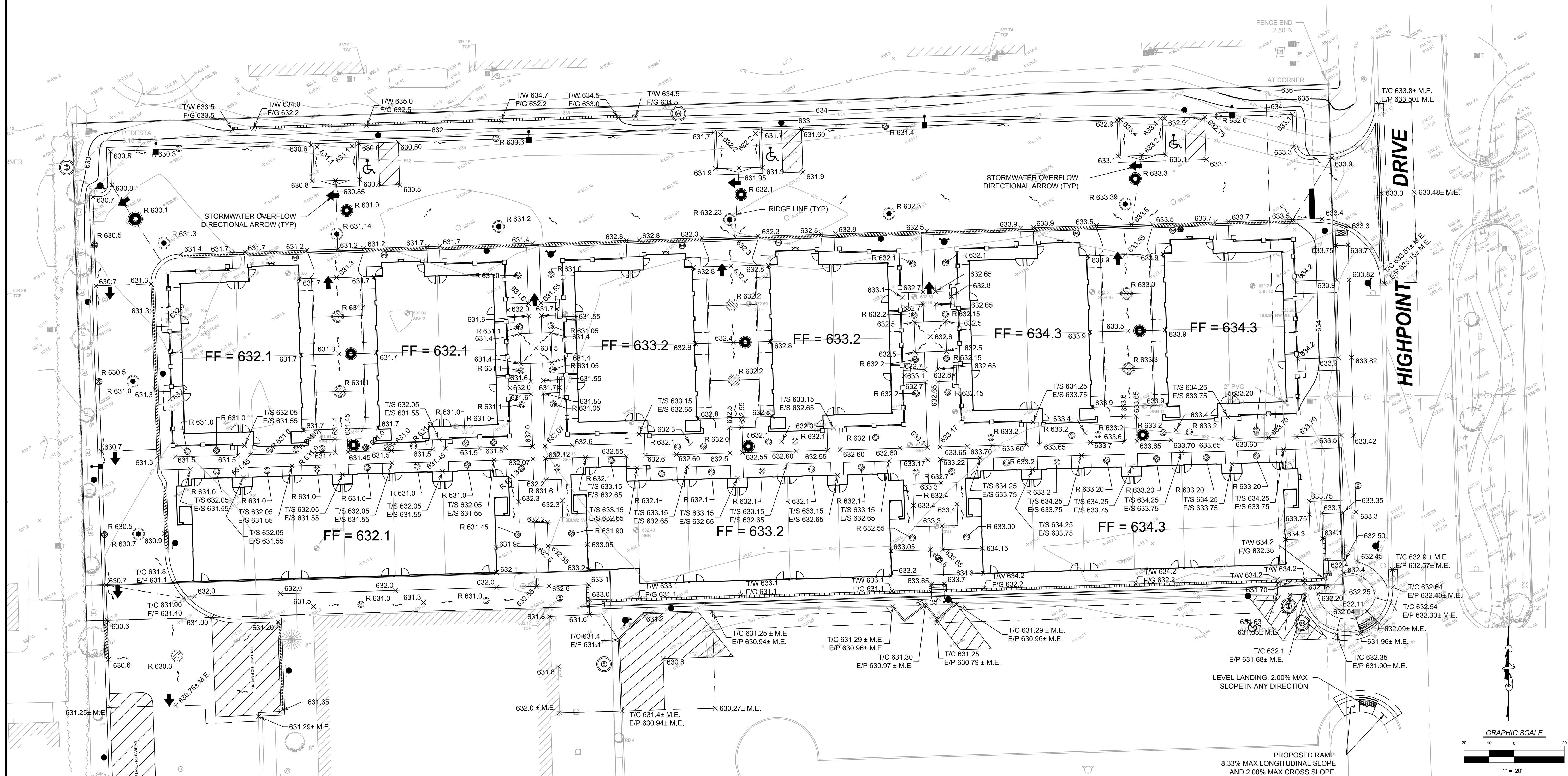
LAYOUT AND PAVING PLAN

C3.0

DRAWING NO.

NOTES:

1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.



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HIGHPOINT TOWN SQUARE
APARTMENTS

ROMEOVILLE

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GRADING PLAN

DRAWING NO.

C4.0



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LEGEND

EROSION BLANKET NORTH AMERICAN GREEN SC150 BN AND S75 BN

INLET BASKET FILTER

sf

SILT FENCE

EROSION CONTROL NOTES:

1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.

2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.

3. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL OPEN LID STRUCTURES. SEE INLET PROTECTION DETAIL ON SHEET C4.5.

4. EROSION CONTROL BLANKET (ROLLMAX ERONET S150 OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 8:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF ALL SWALES.

5. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.
6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY V3 COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.

7. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.

8. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.

9. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
10. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.

11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.

12. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR REDISTURBANCE.

13. IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.

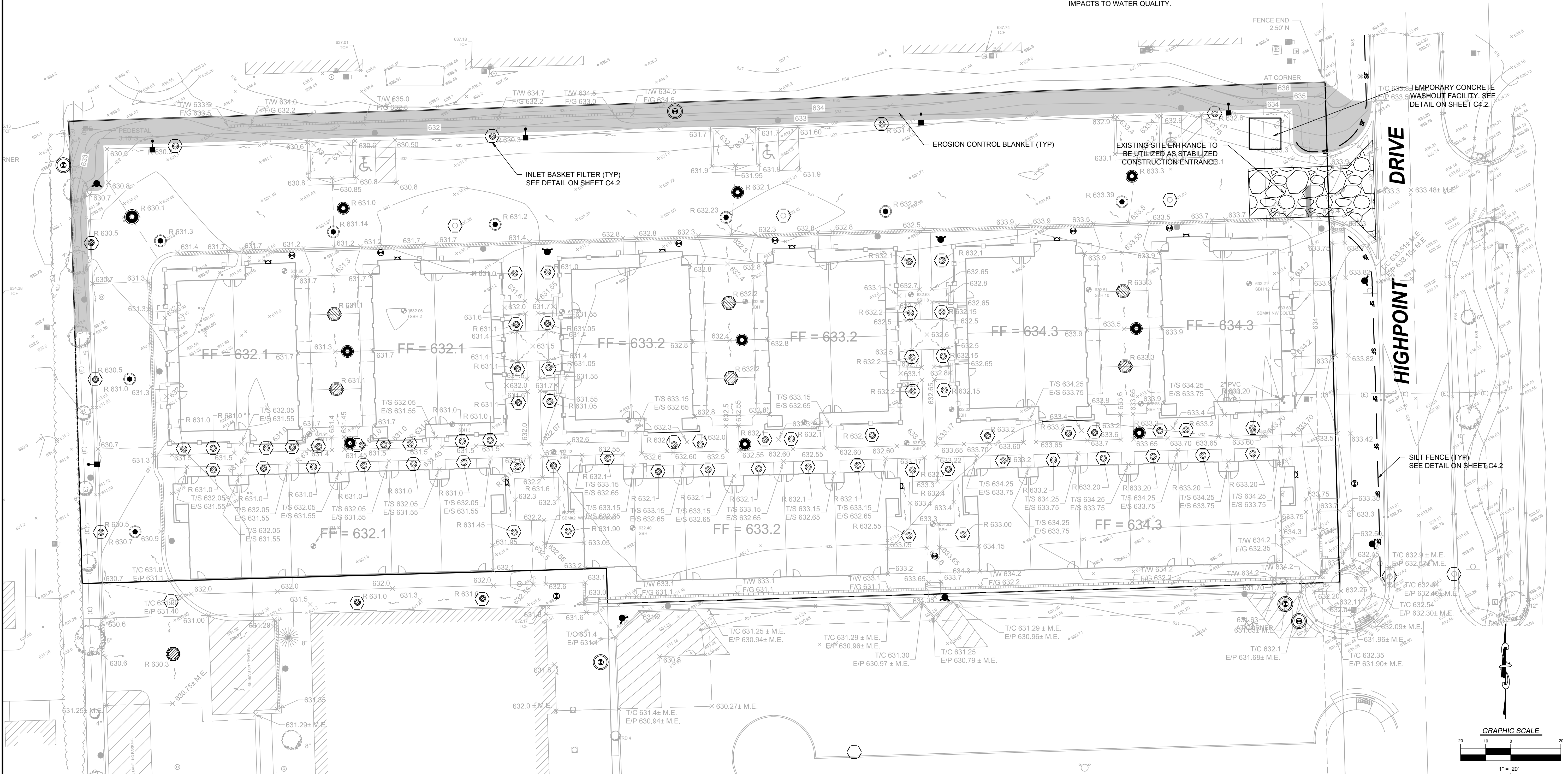
14. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
15. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK."

16. A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER ONE ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES APPROPRIATE BMPs TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.

17. AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.

18. A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.

19. TOPSOIL AND/OR TRENCH SPOIL STOCKPILES SHALL HAVE A ROW OF SILT FENCE AROUND THE PERIMETER OF THE BASE.



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EROSION CONTROL PLAN

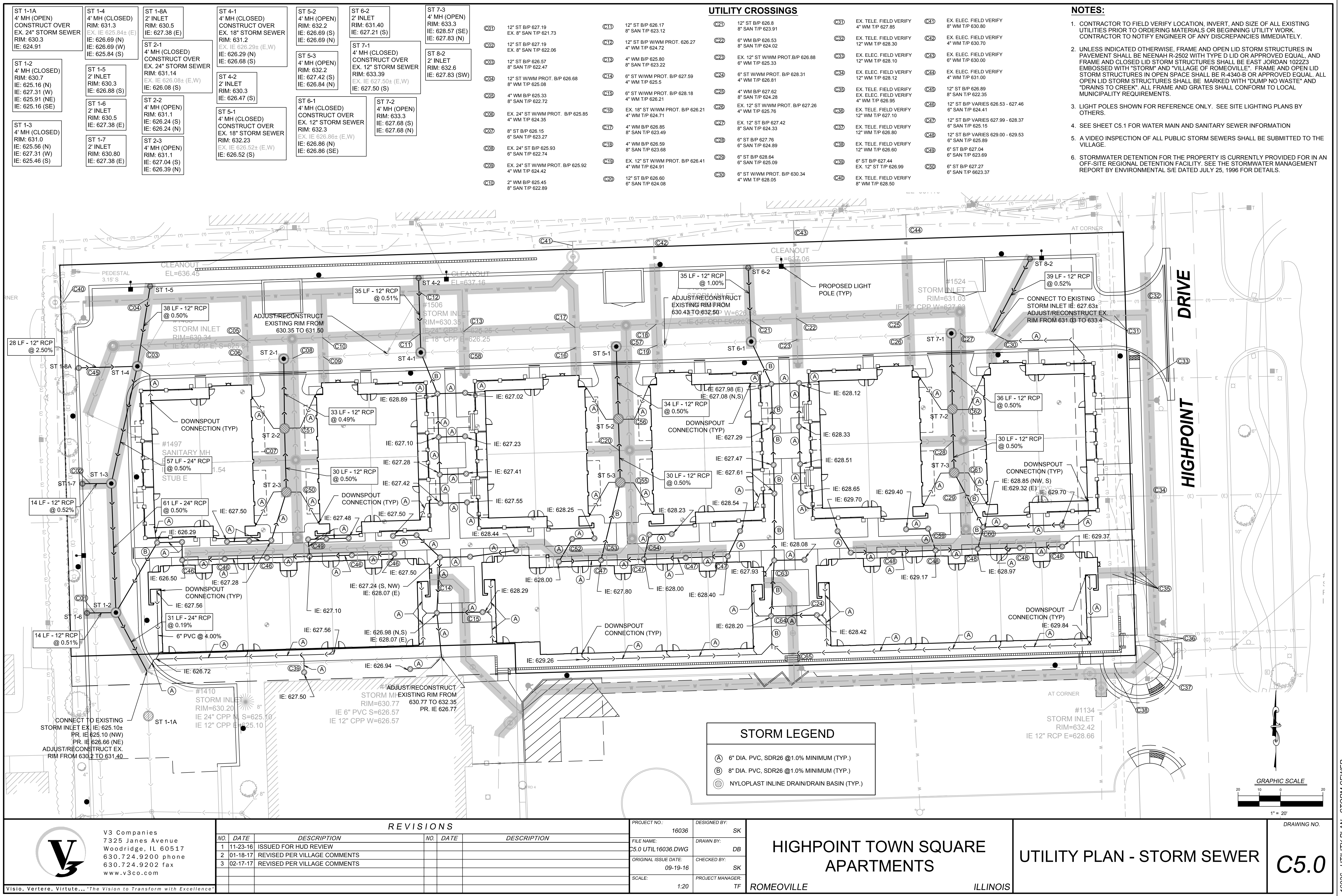
C4.1

DRAWING NO.

C4.1

16036 - EROSION CONTROL PLAN

C4.1 ERO16036.DWG - 2/17/2017 11:44: AM



UTILITY CROSSINGS

C01	12" ST B/P 627.19 EX. 8" SAN T/P 621.73	C17	12" ST B/P 626.17 8" SAN T/P 623.12	C33	12" ST B/P 626.8 8" SAN T/P 623.91	C39	EX. TELE. FIELD VERIFY 4" WM T/P 627.85	C45	EX. ELEC. FIELD VERIFY 8" WM T/P 630.80
C02	12" ST B/P 627.19 EX. 8" SAN T/P 622.06	C18	12" ST B/P W/WM PROT. 626.27 4" WM T/P 624.72	C34	6" WM B/P 626.53 8" SAN T/P 624.02	C40	EX. TELE. FIELD VERIFY 12" WM T/P 628.30	C46	EX. ELEC. FIELD VERIFY 4" WM T/P 630.70
C03	12" ST B/P 626.57 8" SAN T/P 622.47	C19	4" WM B/P 625.80 8" SAN T/P 623.22	C35	EX. 12" ST W/WM PROT. B/P 626.88 6" WM T/P 625.33	C41	EX. ELEC. FIELD VERIFY 12" WM T/P 628.10	C47	EX. ELEC. FIELD VERIFY 6" WM T/P 630.00
C04	12" ST W/WM PROT. B/P 626.68 8" WM T/P 625.08	C20	6" ST W/WM PROT. B/P 627.59 4" WM T/P 625.5	C36	6" ST W/WM PROT. B/P 628.31 4" WM T/P 626.81	C42	EX. ELEC. FIELD VERIFY 12" WM T/P 628.12	C48	EX. ELEC. FIELD VERIFY 4" WM T/P 631.00
C05	4" WM B/P 625.33 8" SAN T/P 622.72	C21	6" ST W/WM PROT. B/P 628.18 4" WM T/P 626.21	C37	4" WM B/P 627.62 8" SAN T/P 624.28	C43	EX. TELE. FIELD VERIFY EX. ELEC. FIELD VERIFY 4" WM T/P 626.95	C49	12" ST B/P 626.89 8" SAN T/P 623.35
C06	EX. 24" ST W/WM PROT. B/P 625.85 4" WM T/P 624.35	C22	EX. 18" ST W/WM PROT. B/P 626.21 4" WM T/P 624.71	C38	EX. 12" ST W/WM PROT. B/P 627.26 4" WM T/P 625.76	C44	EX. TELE. FIELD VERIFY 12" WM T/P 627.10	C50	12" ST B/P VARIES 626.53 - 627.46 6" SAN T/P 624.41
C07	8" ST B/P 626.15 6" SAN T/P 623.27	C23	4" WM B/P 626.85 8" SAN T/P 623.49	C39	EX. 12" ST B/P 627.42 8" SAN T/P 624.33	C45	EX. TELE. FIELD VERIFY 12" WM T/P 626.80	C51	12" ST B/P VARIES 627.99 - 628.37 6" SAN T/P 625.15
C08	EX. 24" ST B/P 625.93 6" SAN T/P 624.42	C24	4" WM B/P 626.59 8" SAN T/P 623.68	C40	6" ST B/P 627.76 8" SAN T/P 624.89	C46	EX. TELE. FIELD VERIFY 12" WM T/P 626.60	C52	12" ST B/P VARIES 629.00 - 629.53 6" SAN T/P 625.89
C09	EX. 24" ST W/WM PROT. B/P 625.92 4" WM T/P 624.42	C25	EX. 12" ST W/WM PROT. B/P 626.41 4" WM T/P 624.91	C41	6" ST B/P 628.64 6" SAN T/P 625.09	C47	6" ST B/P 627.44 EX. 12" ST T/P 626.99	C53	6" ST B/P 627.04 6" SAN T/P 623.69
C10	2" WM B/P 625.45 8" SAN T/P 622.89	C26	12" ST B/P 626.60 6" SAN T/P 624.08	C42	6" ST W/WM PROT. B/P 630.34 4" WM T/P 628.05	C48	EX. TELE. FIELD VERIFY 8" WM T/P 628.50	C54	8" ST B/P 627.27 6" SAN T/P 623.37

NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORM STRUCTURES SHALL BE EAST JORDAN 1022Z3 EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE". FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL OPEN LID STORM STRUCTURES SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK". ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS.
- LIGHT POLES SHOWN FOR REFERENCE ONLY. SEE SITE LIGHTING PLANS BY OTHERS.
- SEE SHEET C5.1 FOR WATER MAIN AND SANITARY SEWER INFORMATION
- A VIDEO INSPECTION OF ALL PUBLIC STORM SEWERS SHALL BE SUBMITTED TO THE VILLAGE.
- STORMWATER DETENTION FOR THE PROPERTY IS CURRENTLY PROVIDED FOR IN AN OFF-SITE REGIONAL DETENTION FACILITY. SEE THE STORMWATER MANAGEMENT REPORT BY ENVIRONMENTAL S/E DATED JULY 25, 1996 FOR DETAILS.

STORM LEGEND

(A) 6" DIA. PVC, SDR26 @ 1.0% MINIMUM (TYP.)

(B) 8" DIA. PVC, SDR26 @ 1.0% MINIMUM (TYP.)

(C) NYLOPLAST INLINE DRAIN/DRAIN BASIN (TYP.)

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REVISIONS							
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	NO.	DATE
1	11-23-16	ISSUED FOR HUD REVIEW					
2	01-18-17	REVISED PER VILLAGE COMMENTS					
3	02-17-17	REVISED PER VILLAGE COMMENTS					

PROJECT NO.:	16036	DESIGNED BY:	SK
FILE NAME:	C5.0 UTIL 16036.DWG	DRAWN BY:	DB
ORIGINAL ISSUE DATE:	09-19-16	CHECKED BY:	SK
SCALE:	1:20	PROJECT MANAGER:	TF

**HIGHPOINT TOWN SQUARE
APARTMENTS**

ROMEORVILLE

UTILITY PLAN - STORM SEWER

ILLINOIS

C5.0

DRAWING NO.

UTILITY CROSSINGS

C51 6" ST B/P 627.99
6" SAN T/P 623.07

C52 6" ST B/P 628.01
6" SAN T/P 624.84

C53 6" ST B/P 627.76
6" SAN T/P 624.65

C54 6" ST B/P 628.01
6" SAN T/P 624.57

C55 6" ST B/P 629.10
6" SAN T/P 624.19

C56 6" ST B/P 629.09
6" SAN T/P 623.88

C57 EX 18" ST B/P 626.47
6" SAN T/P 623.54

C58 EX 18" ST W/W PROT. B/P 626.28
4" WM T/P 624.76

C59 6" ST B/P 629.18
6" SAN T/P 625.47

C60 8" ST B/P 628.87
6" SAN T/P 623.38

C61 6" ST B/P 630.20
6" SAN T/P 624.99

C62 6" ST B/P 630.19
6" SAN T/P 624.69

C63 6" ST W/W PROT. B/P 628.02
4" WM T/P 626.52

C64 6" ST W/W PROT. B/P 628.32
4" WM T/P 626.82

C65 6" ST W/W PROT. B/P 628.45
4" WM T/P 626.95

FH 1
F/G: 633.6

FH 2
F/G: 633.0

FH 3
F/G: 631.9

FH 4
F/G: 631.3

FH 5
F/G: 631.3

FH 6
F/G: 633.0

FH 7
F/G: 631.5

VV 1
8" GATE VALVE
IN 5' DIA. VAULT
RIM: 634.20

VV 2
8" PRESSURE CONNECTION
IN 5' DIA. VAULT
RIM: 633.7

VV 3
12" GATE VALVE
IN 5' DIA. VAULT
RIM: 631.50

VV 4
12" GATE VALVE
IN 5' DIA. VAULT
RIM: 631.64 ± M.E.

VV 5
8" GATE VALVE
IN 5' DIA. VAULT
RIM: 631.70 ± M.E.

VB 1
4" GATE VALVE
IN VALVE BOX
RIM: 631.8

VB 2
4" GATE VALVE
IN VALVE BOX
RIM: 631.8

VB 3
4" GATE VALVE
IN VALVE BOX
RIM: 632.9

VB 4
4" GATE VALVE
IN VALVE BOX
RIM: 632.9

VB 5
4" GATE VALVE
IN VALVE BOX
RIM: 634.1

VB 6
4" GATE VALVE
IN VALVE BOX
RIM: 634.1

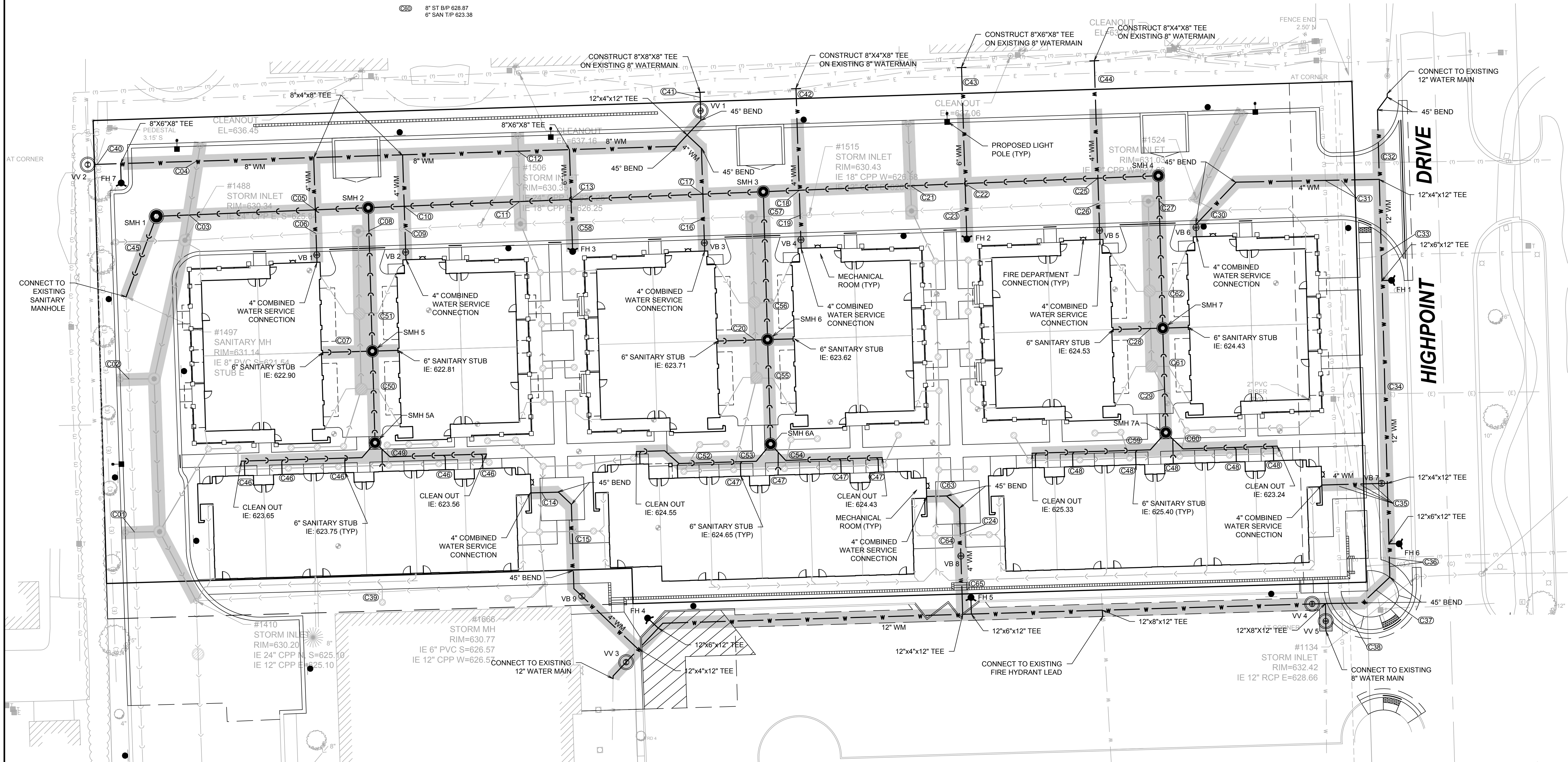
VB 7
4" GATE VALVE
IN VALVE BOX
RIM: 633.3

VB 8
4" GATE VALVE
IN VALVE BOX
RIM: 633.6

VB 9
4" GATE VALVE
IN VALVE BOX
RIM: 632.0

NOTES:

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- LIGHT POLES SHOWN FOR REFERENCE ONLY. SEE SITE LIGHTING PLANS BY OTHERS.
- SEE SHEET C5.0 FOR STORM SEWER INFORMATION.
- SEE SHEETS C5.2 AND C5.3 FOR SANITARY SEWER PROFILES.
- ALL MECHANICAL ROOMS SHALL REQUIRE SERIES 3200 OR 4400 KNOX-BOX.
- PER 158.032 (E), THE DEVELOPER WILL BE REQUIRED TO CONDUCT A LEAK DETECTION SURVEY BY SOUNDING AND CORRELATING WITH COMPUTERIZED EQUIPMENT AT EVERY VALVE BOX, HYDRANT, AND SERVICE TO IDENTIFY ANY LEAKS OCCURRING IN THE SYSTEM.
- ALL MANHOLES LOCATED IN AREAS SUBJECT TO INUNDATION MUST HAVE WATERPROOF, BOLT DOWN LIDS.



REVISIONS

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PROJECT NO.:	16036	DESIGNED BY:	SK
FILE NAME:	C5.0 UTIL 16036.DWG	DRAWN BY:	DB
ORIGINAL ISSUE DATE:	09-19-16	CHECKED BY:	SK
SCALE:	1:20	PROJECT MANAGER:	TF

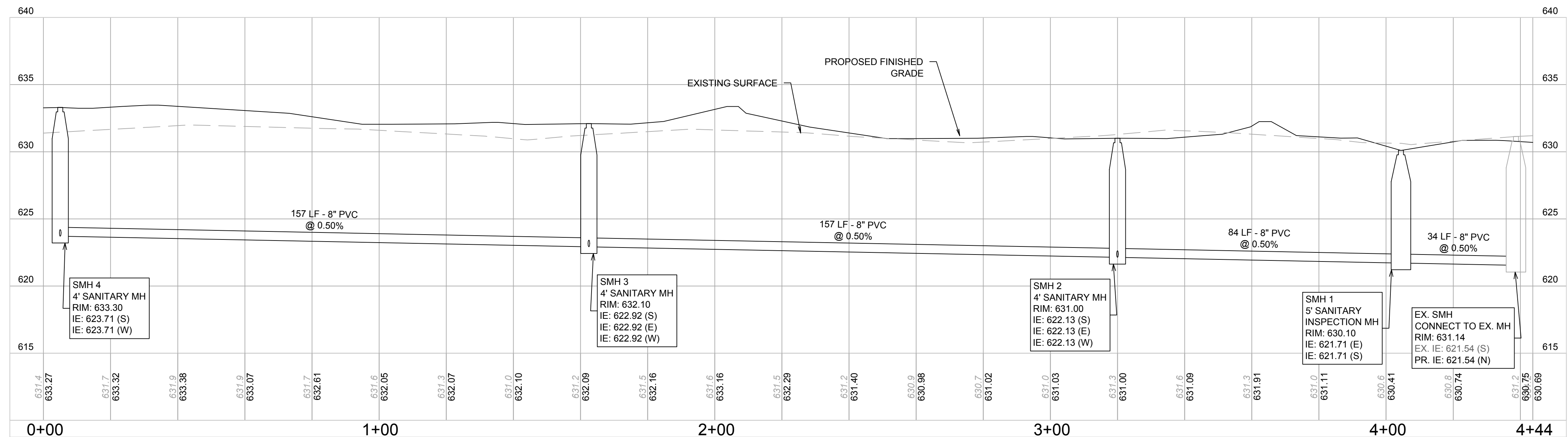
HIGHPOINT TOWN SQUARE
APARTMENTS

UTILITY PLAN - WATER MAIN
AND SANITARY SEWER

C5.1

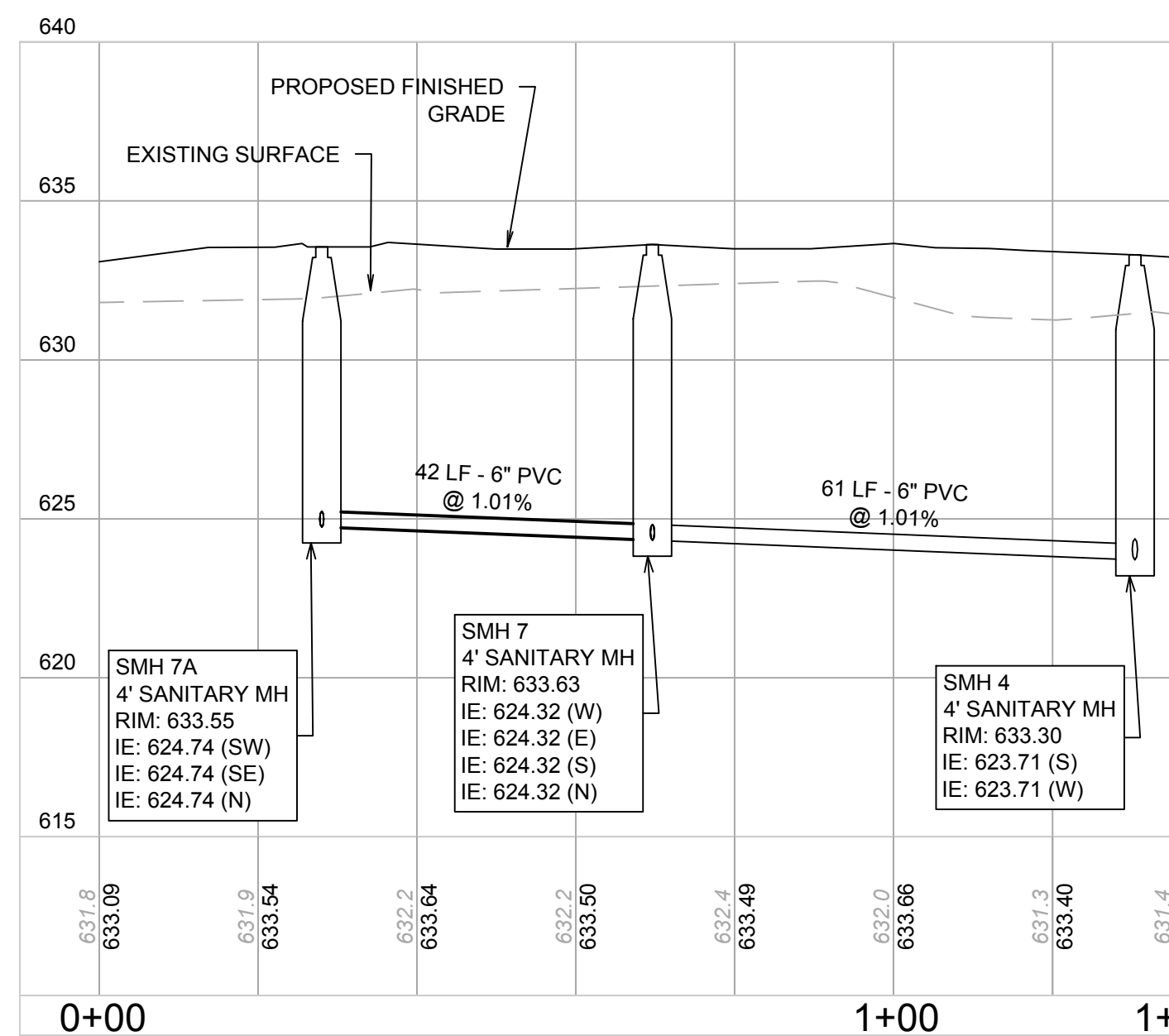


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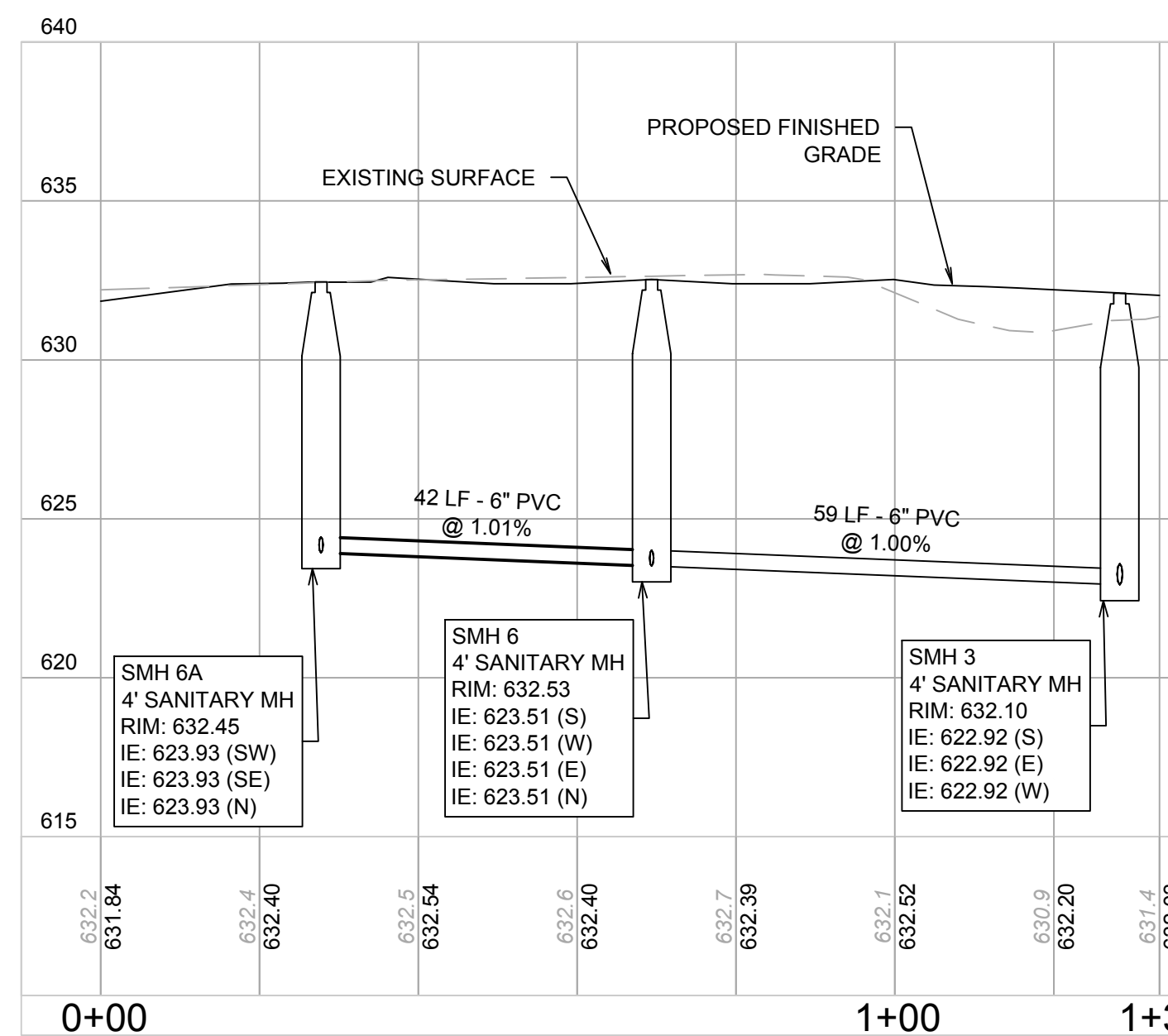


SANITARY SEWER PROFILE 1
SCALE: HORIZ.: 1" = 10'
VERT.: 1" = 20'

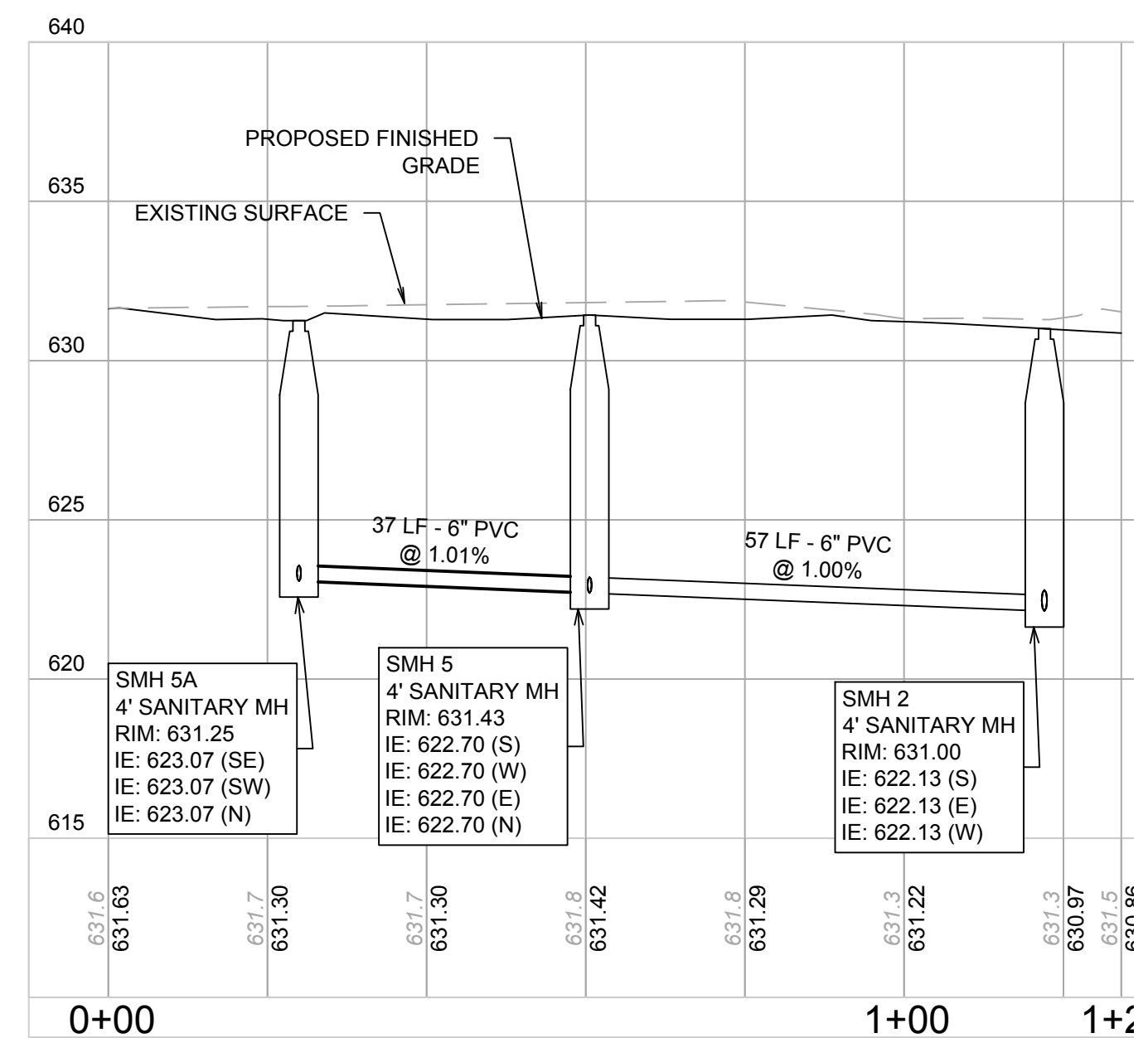
NOTE:
1. PVC SDR 26 WHEN PIPE <15' DEEP.
2. PVC SDR 21 WHEN PIPE 15'-20' DEEP.
3. PVC SDR 18 WHEN PIPE > 20' DEEP.



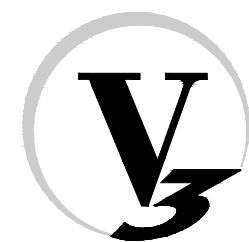
SANITARY SEWER PROFILE 2
SCALE: HORIZ.: 1" = 20'
VERT.: 1" = 5'



SANITARY SEWER PROFILE 3
SCALE: HORIZ.: 1" = 20'
VERT.: 1" = 5'



SANITARY SEWER PROFILE 4
SCALE: HORIZ.: 1" = 20'
VERT.: 1" = 5'



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ORIGINAL ISSUE DATE:	09-19-16	CHECKED BY:	SK
SCALE:	1:20	PROJECT MANAGER:	TF

**HIGHPOINT TOWN SQUARE
APARTMENTS**

ROMEOVILLE

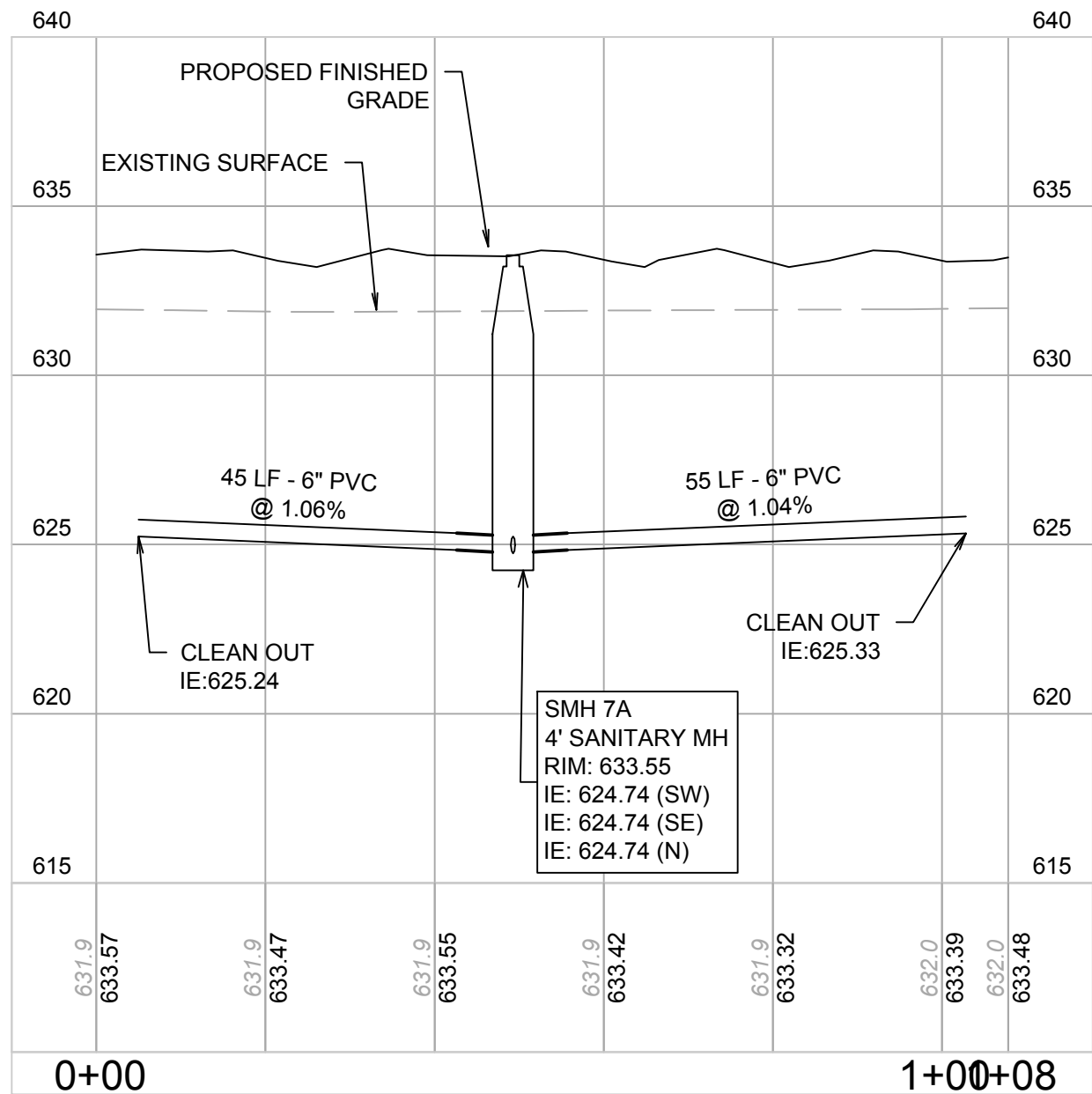
ILLINOIS

SANITARY PROFILES

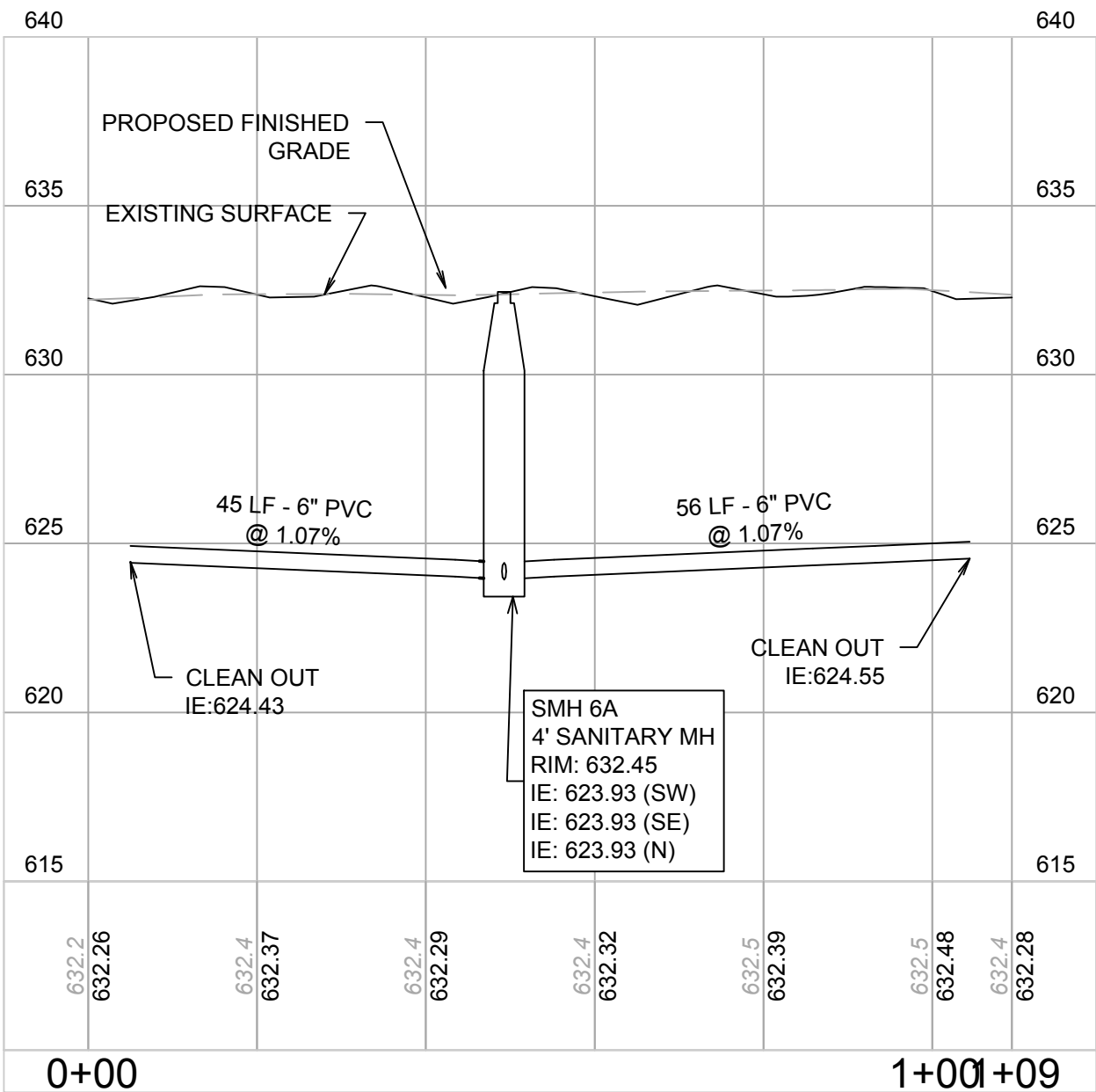
DRAWING NO.

C5.2

16036 - SANITARY PROFILES

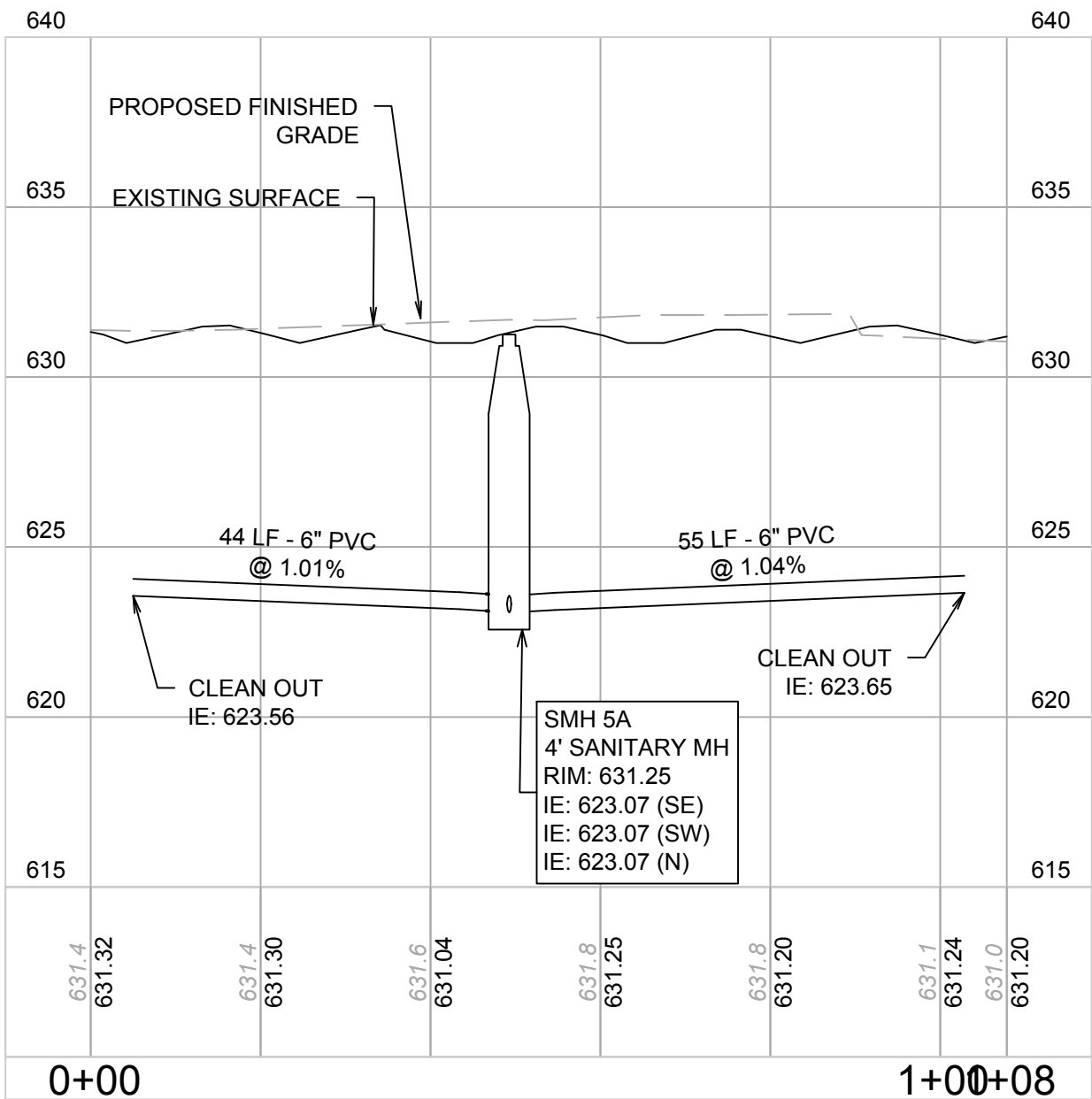


SANITARY SEWER PROFILE 5
SCALE: HORIZ.: 1" = 20'
VERT.: 1" = 5'




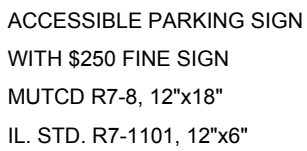
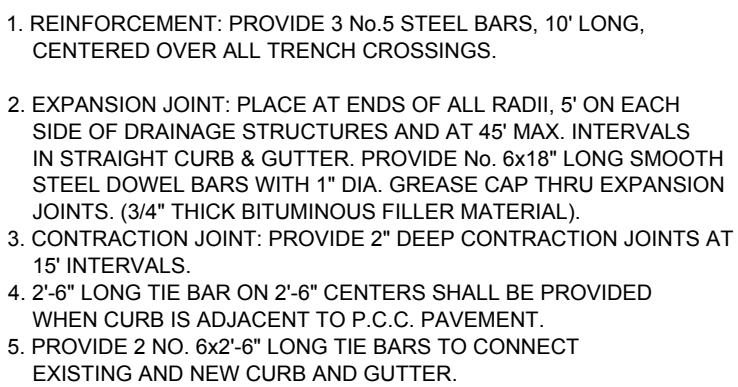
SANITARY SEWER PROFILE 6
SCALE: HORIZ.: 1" = 20'
VERT.: 1" = 5'

NOTE:
1. PVC SDR 26 WHEN PIPE <15' DEEP.
2. PVC SDR 21 WHEN PIPE 15'-20' DEEP.
3. PVC SDR 18 WHEN PIPE > 20' DEEP.



SANITARY SEWER PROFILE 7
SCALE: HORIZ.: 1" = 20'
VERT.: 1" = 5'

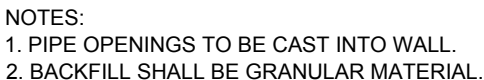
 <div>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</div>	REVISIONS				PROJECT NO.: 16036	DESIGNED BY: SK	HIGHPOINT TOWN SQUARE APARTMENTS	SANITARY PROFILES	C5.3		
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	2	01-18-17	REVISED PER VILLAGE COMMENTS							SCALE: ####	PROJECT MANAGER: TF
							ILLINOIS				



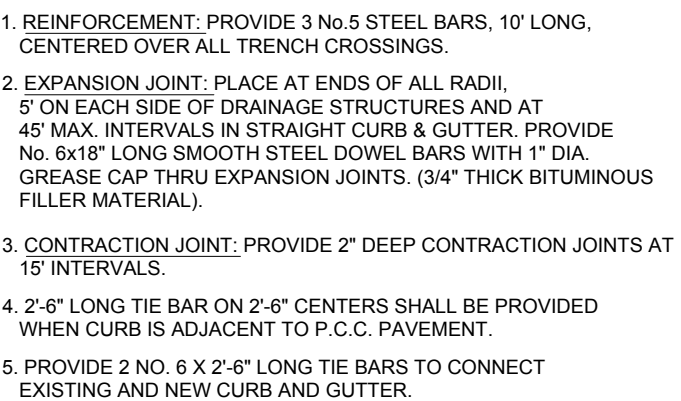
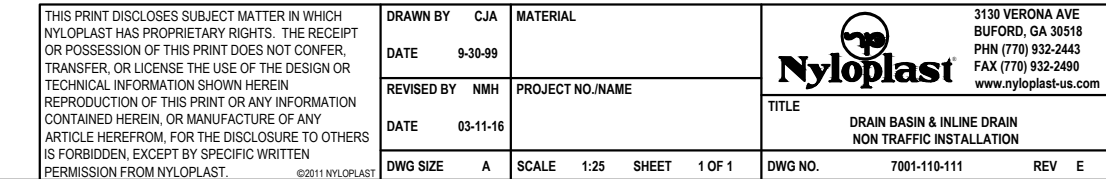
PAINTED ACCESSIBLE STALL SYMBOL



UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE 5'-0" O.C. AND EXPANSION JOINTS TO BE 40'-0" O.C. MAX., OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK, UTILITY APPURTENANCE, OR FACE OF STRUCTURE



TYPICAL PRESSURE CONNECTION



NOTE:

1. WHEN RIM ADJUSTMENTS ARE REQUIRED TO MATCH FINAL GRADE, THE ADJUSTMENT SHALL BE COMPLETED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED, NON-HARDENING MASTIC (RUB-R-NEK OR APPROVED EQUAL). MAXIMUM HEIGHT ADJUSTMENT SHALL BE 10 INCHES.

2' DIAMETER INLET - TYPE A



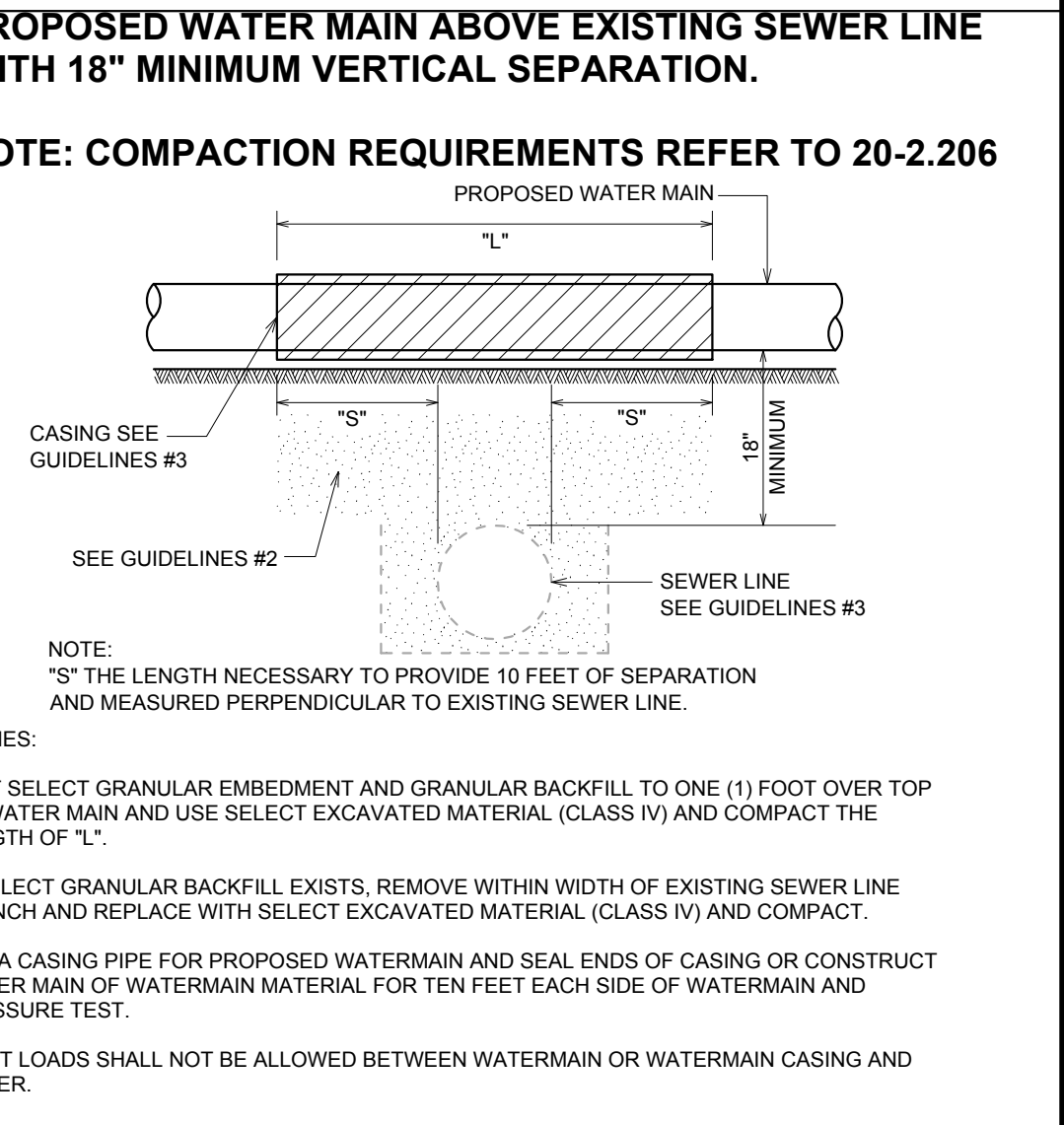
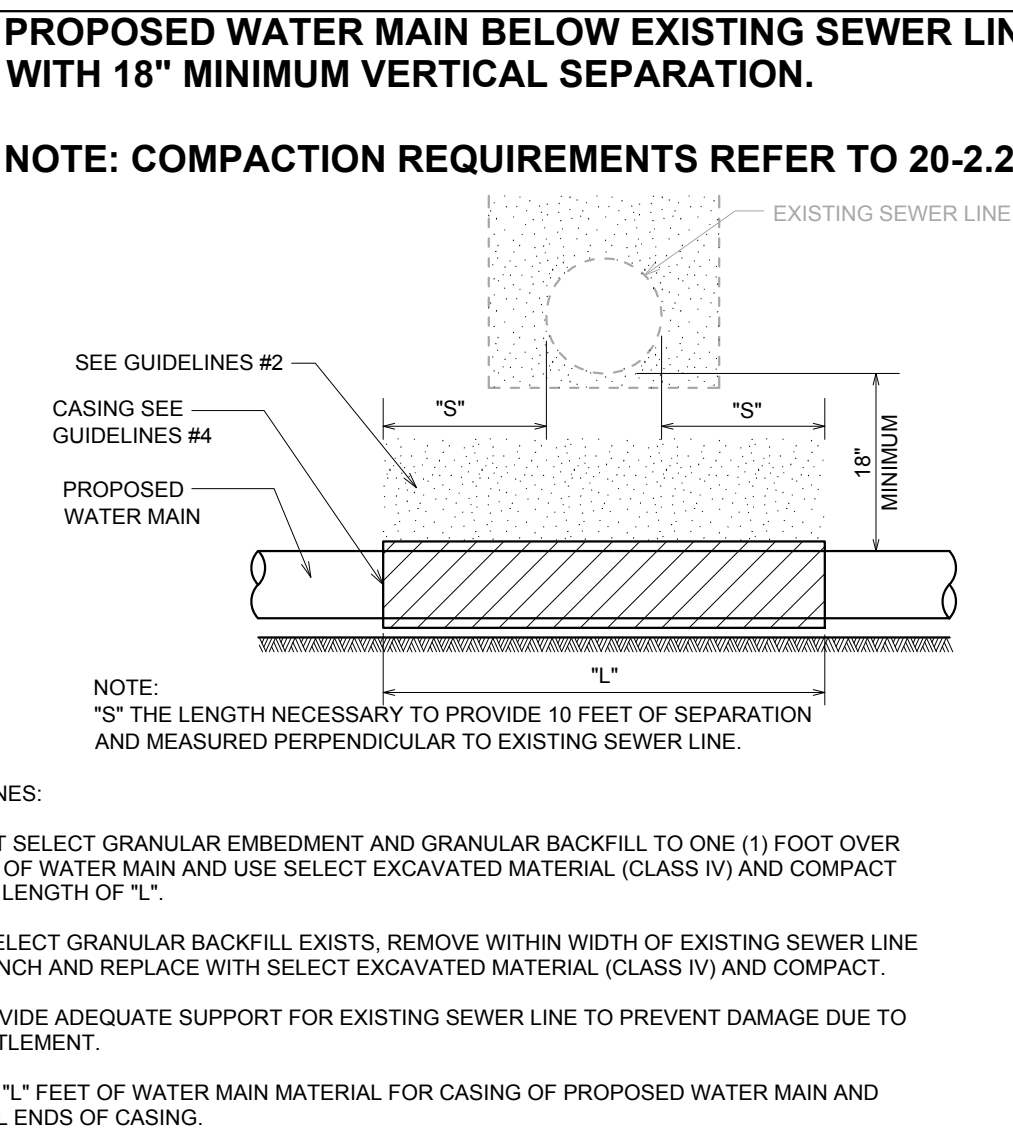
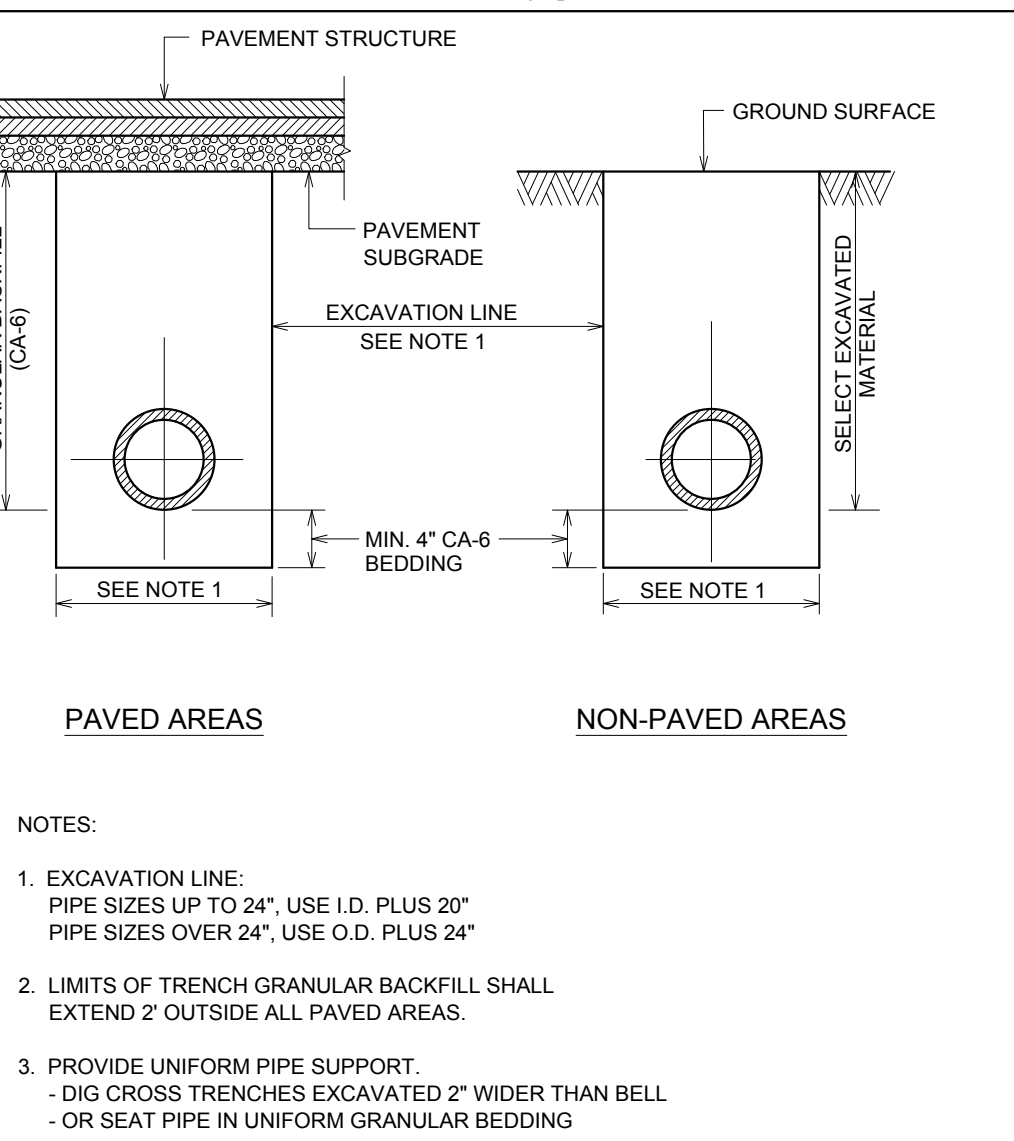
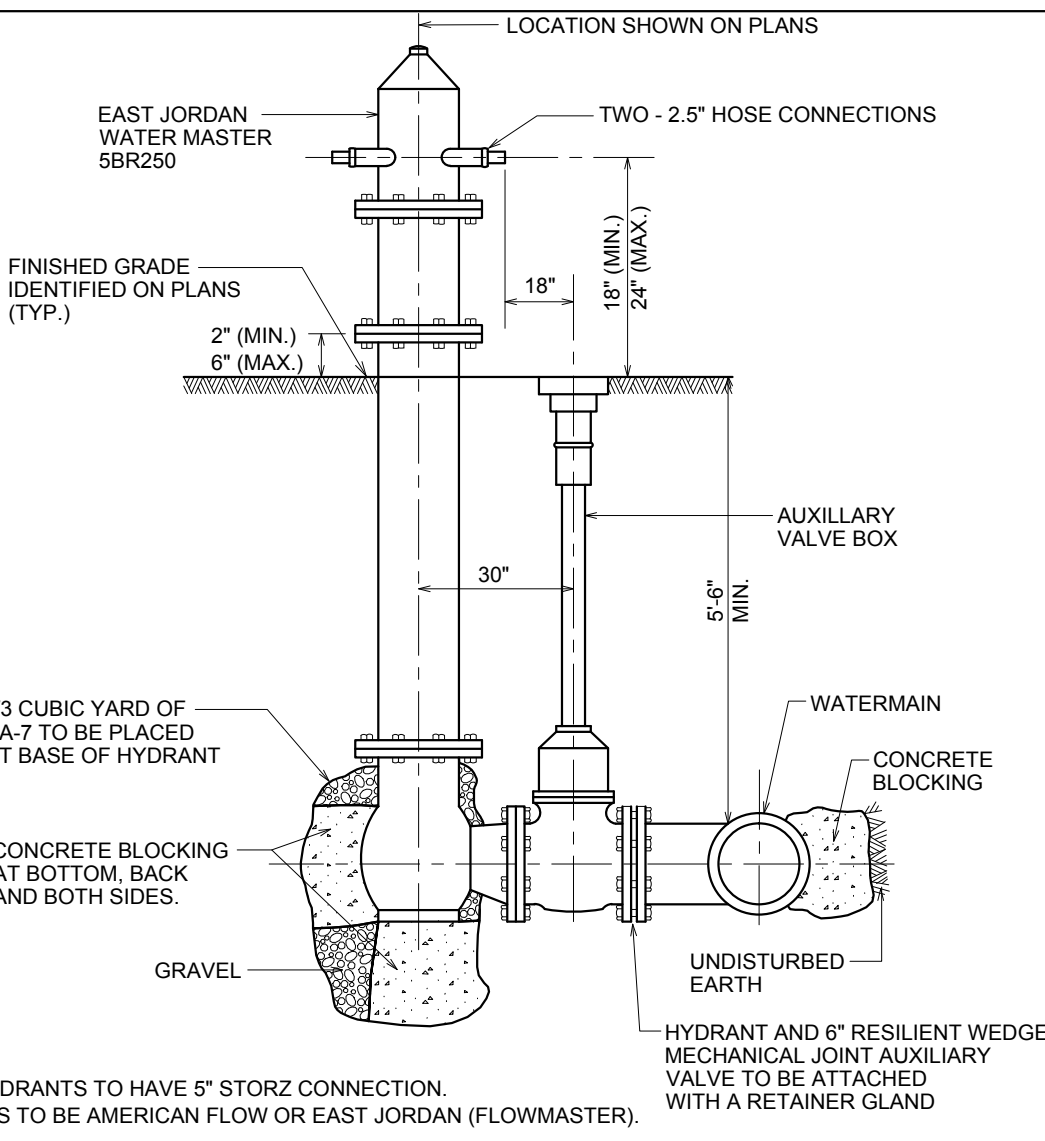
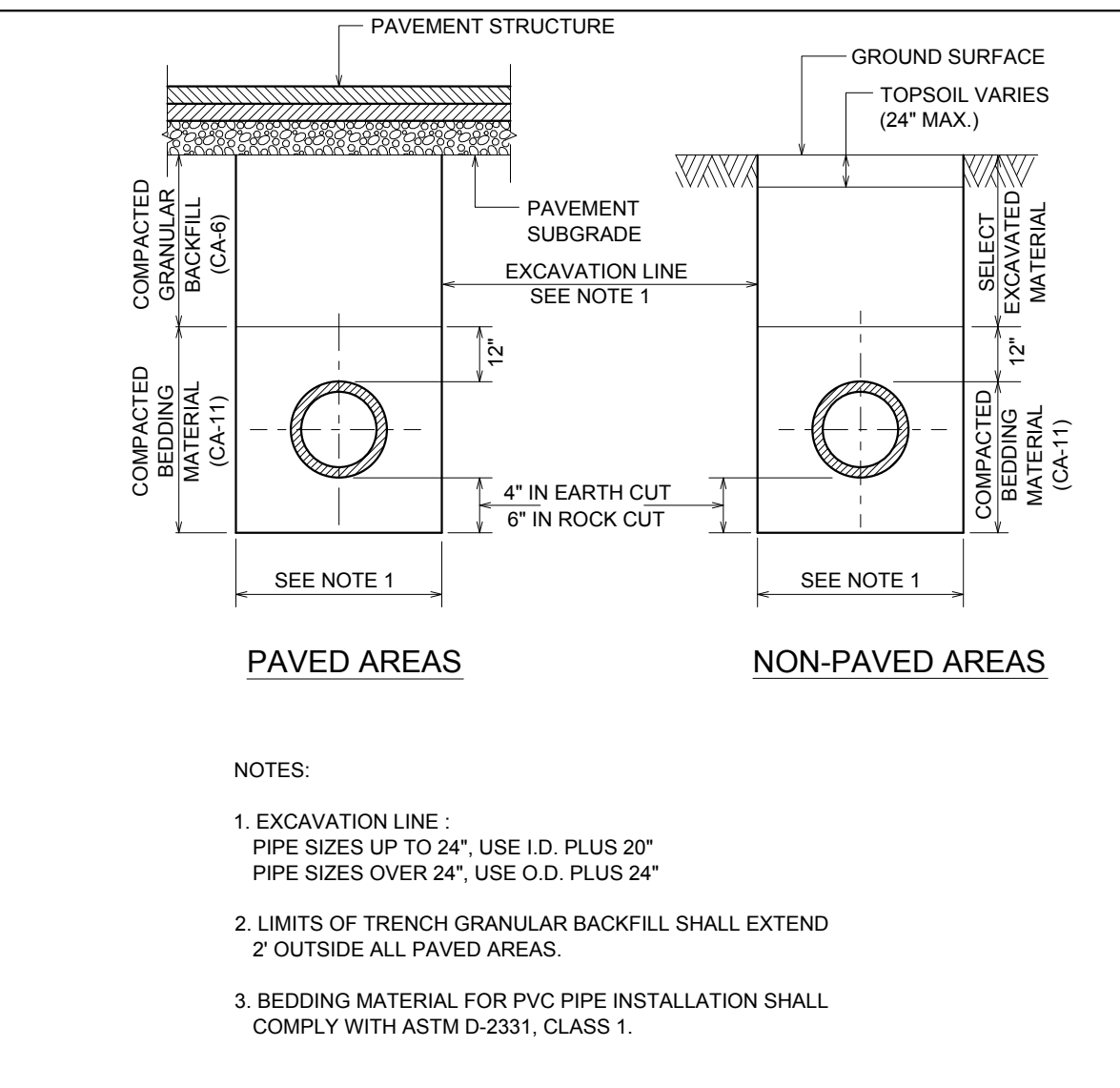
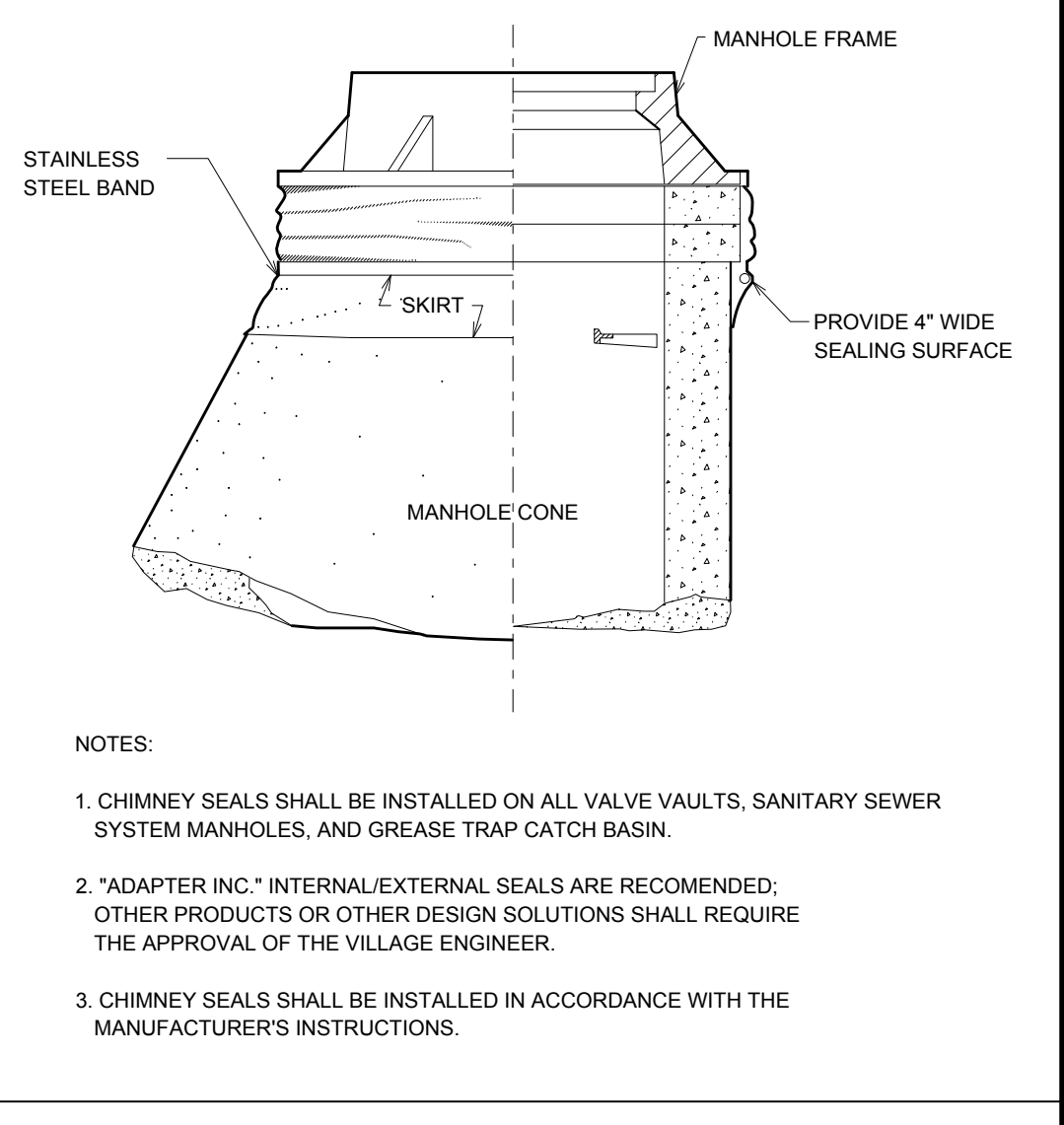
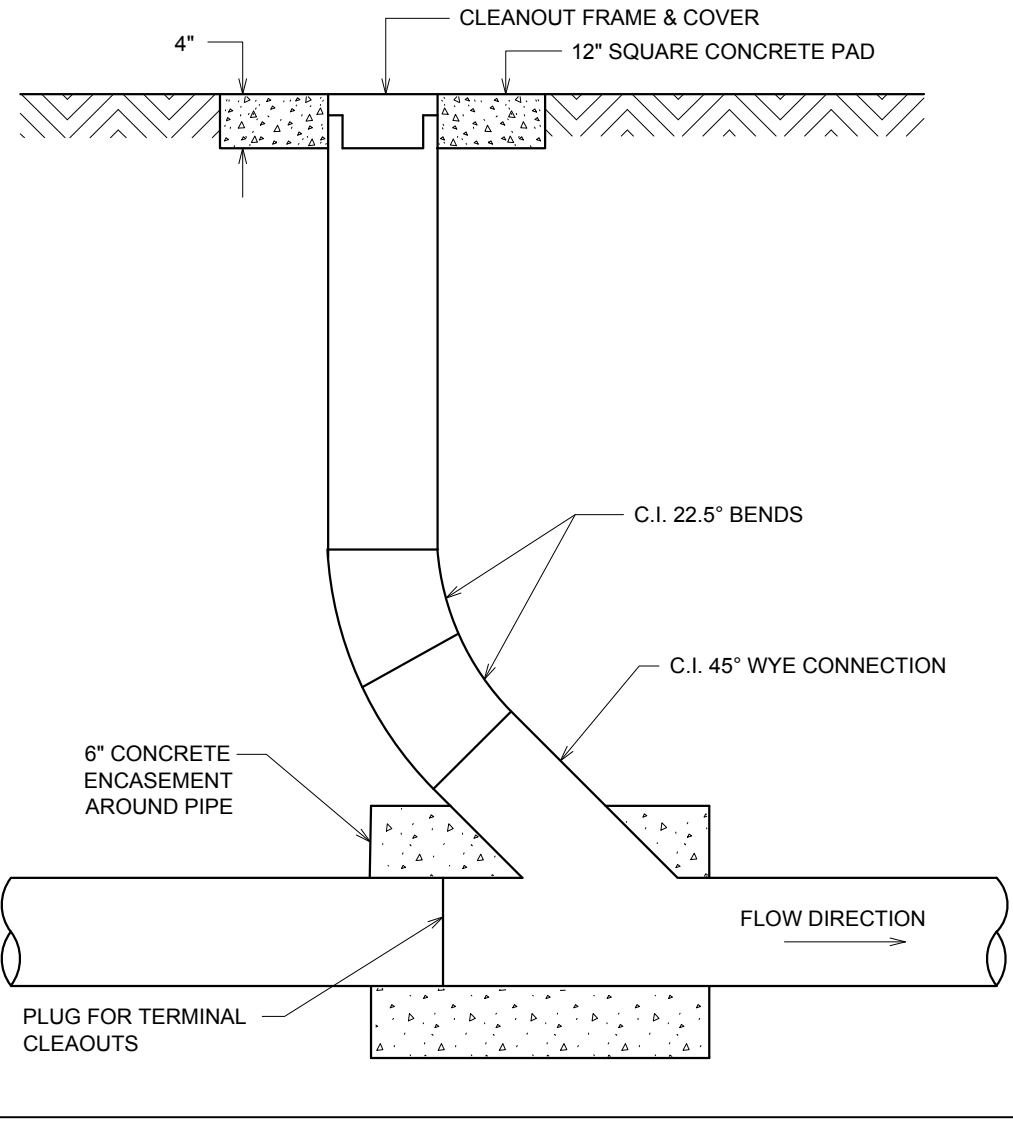
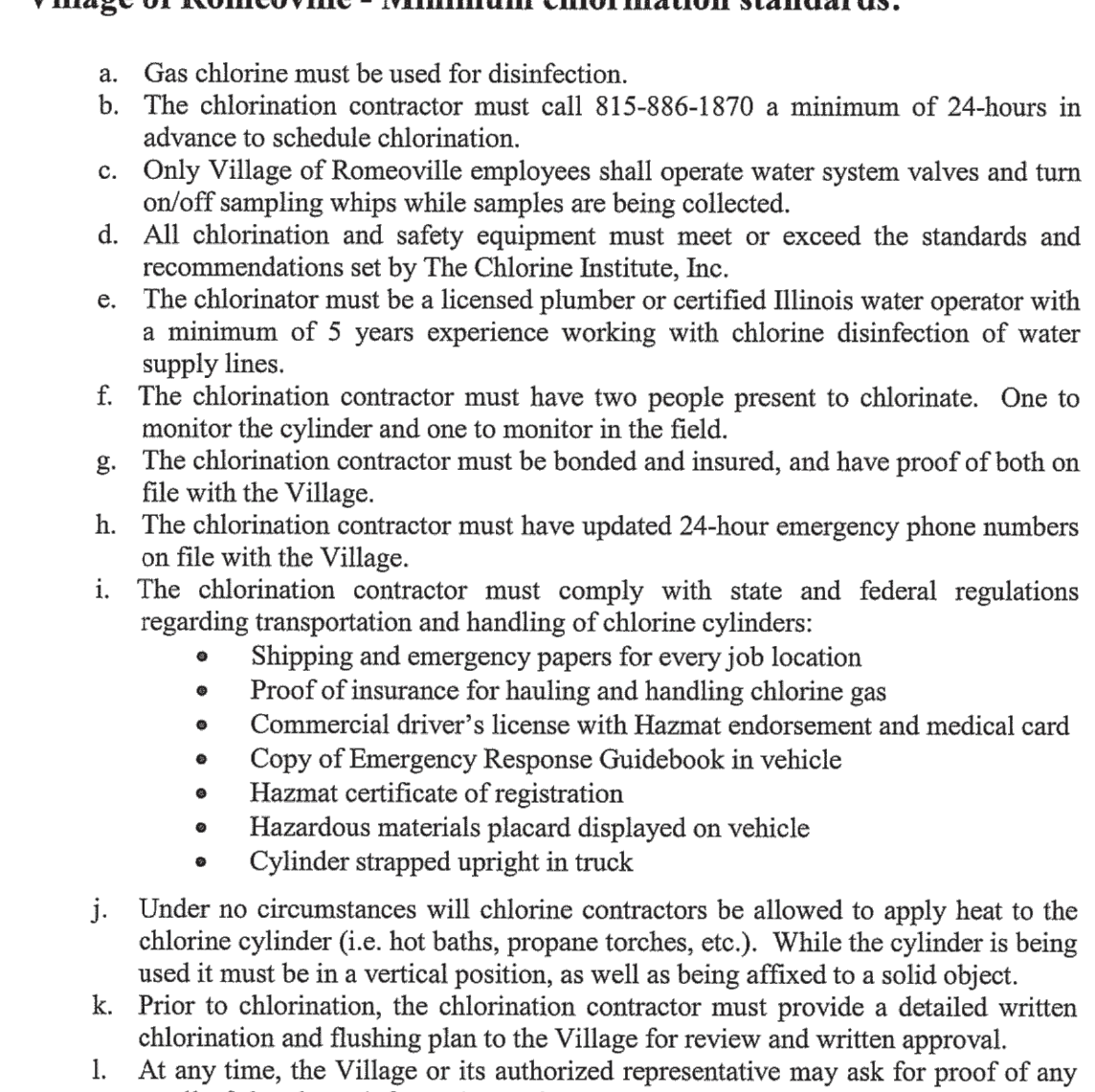
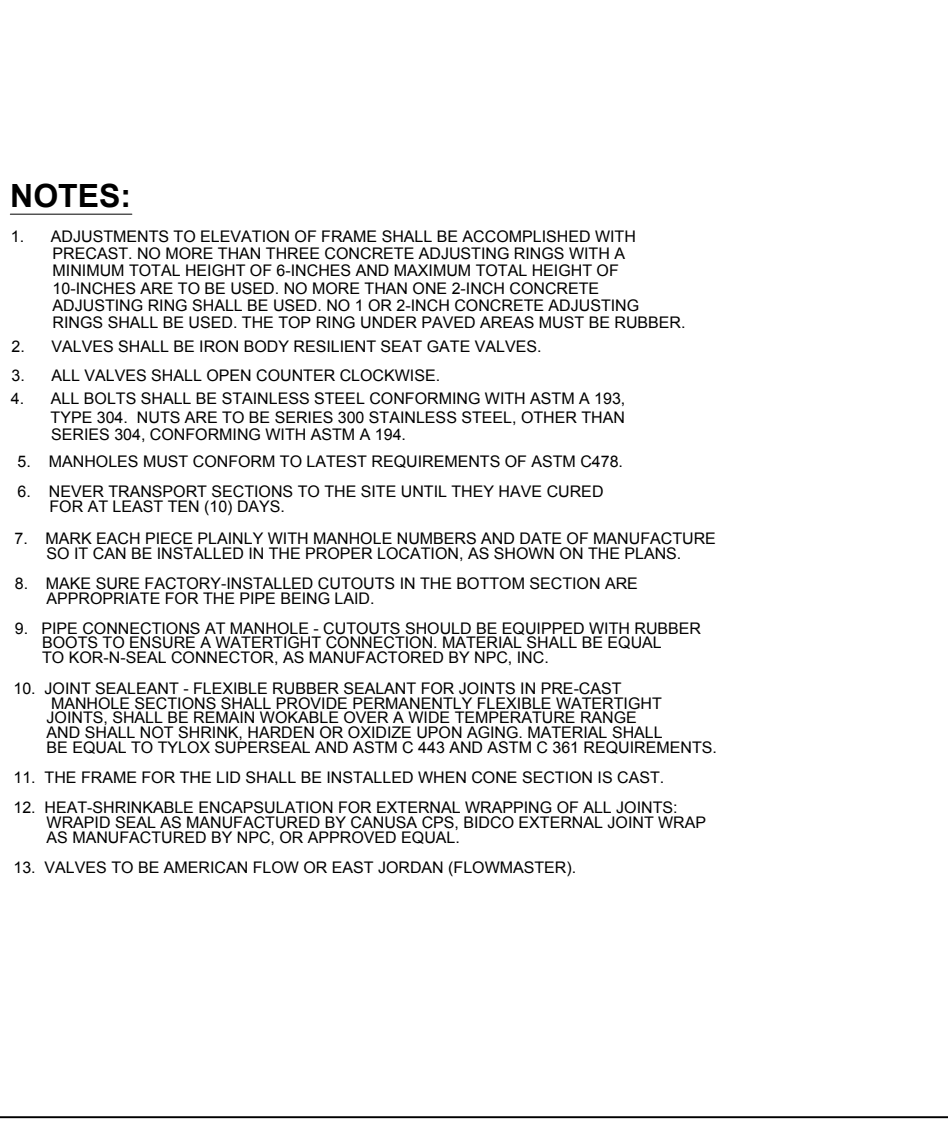
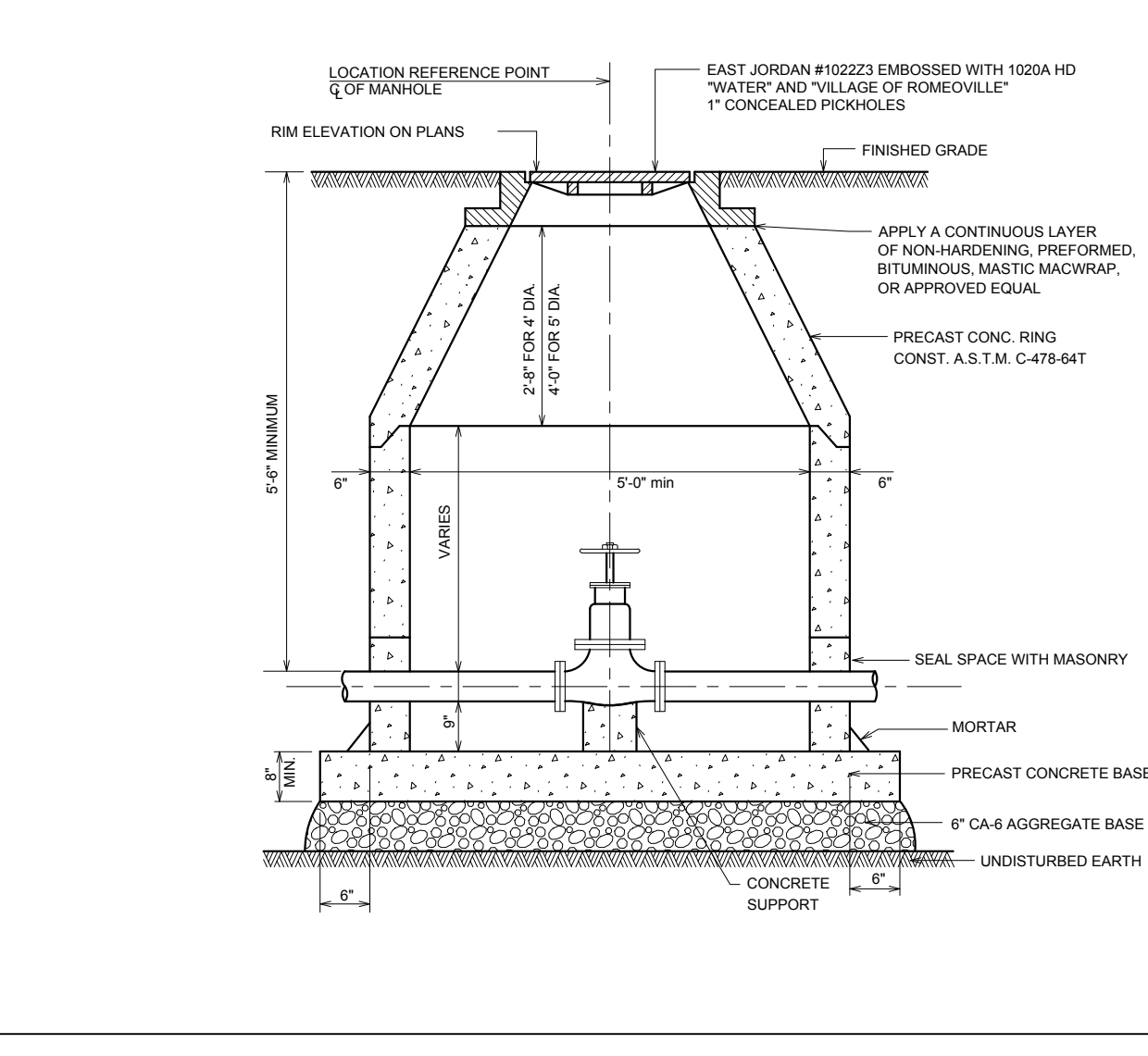
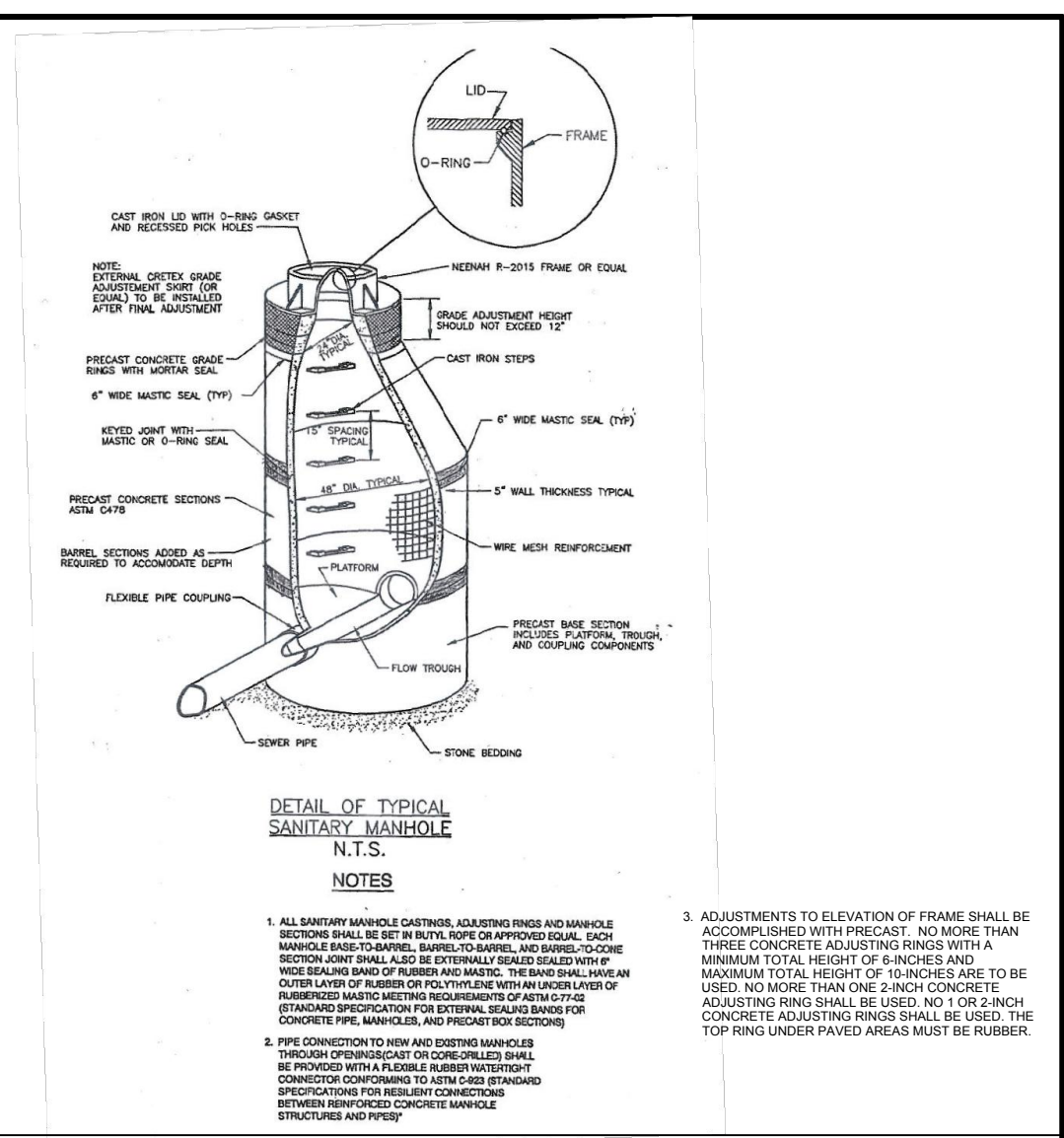
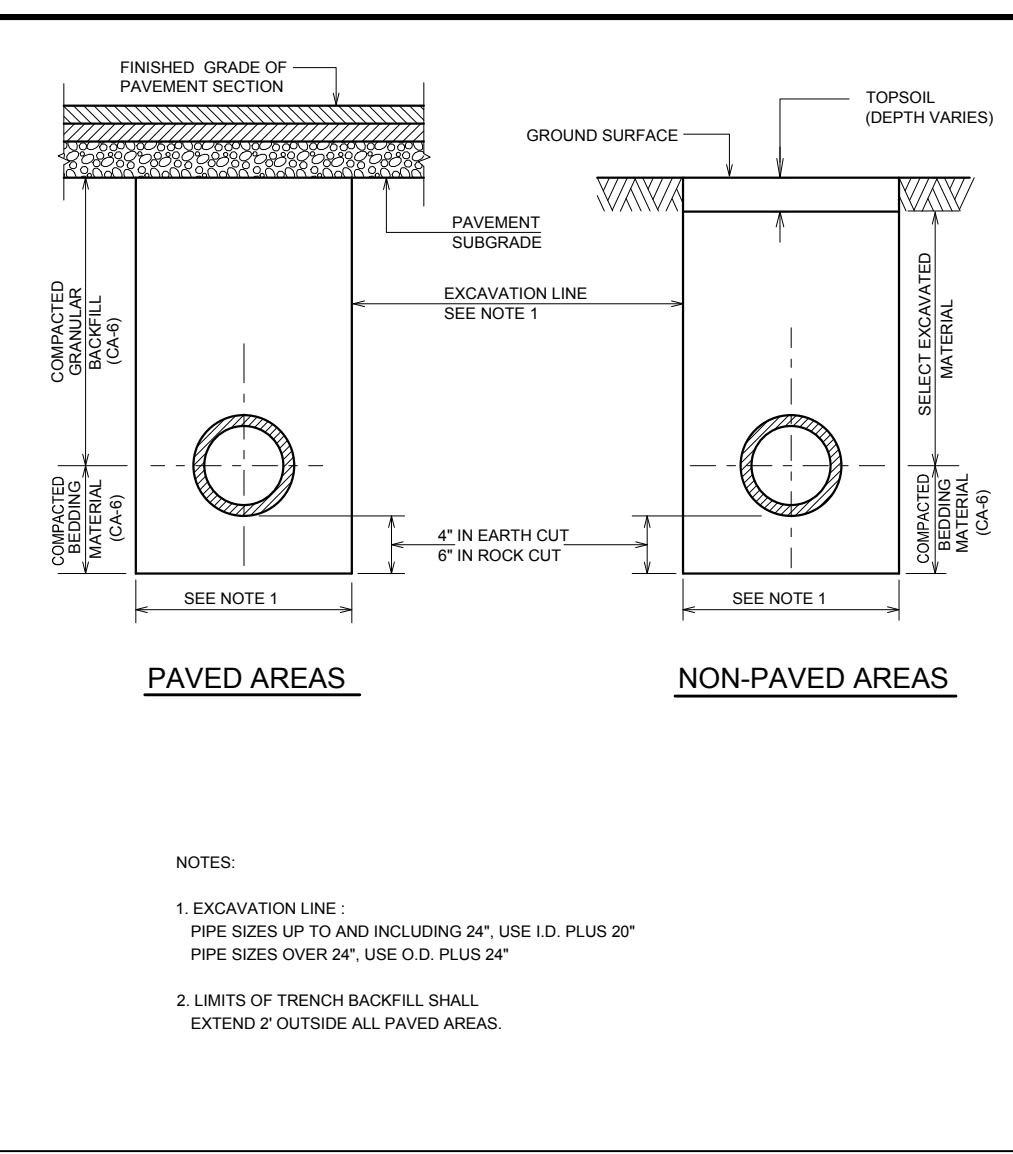
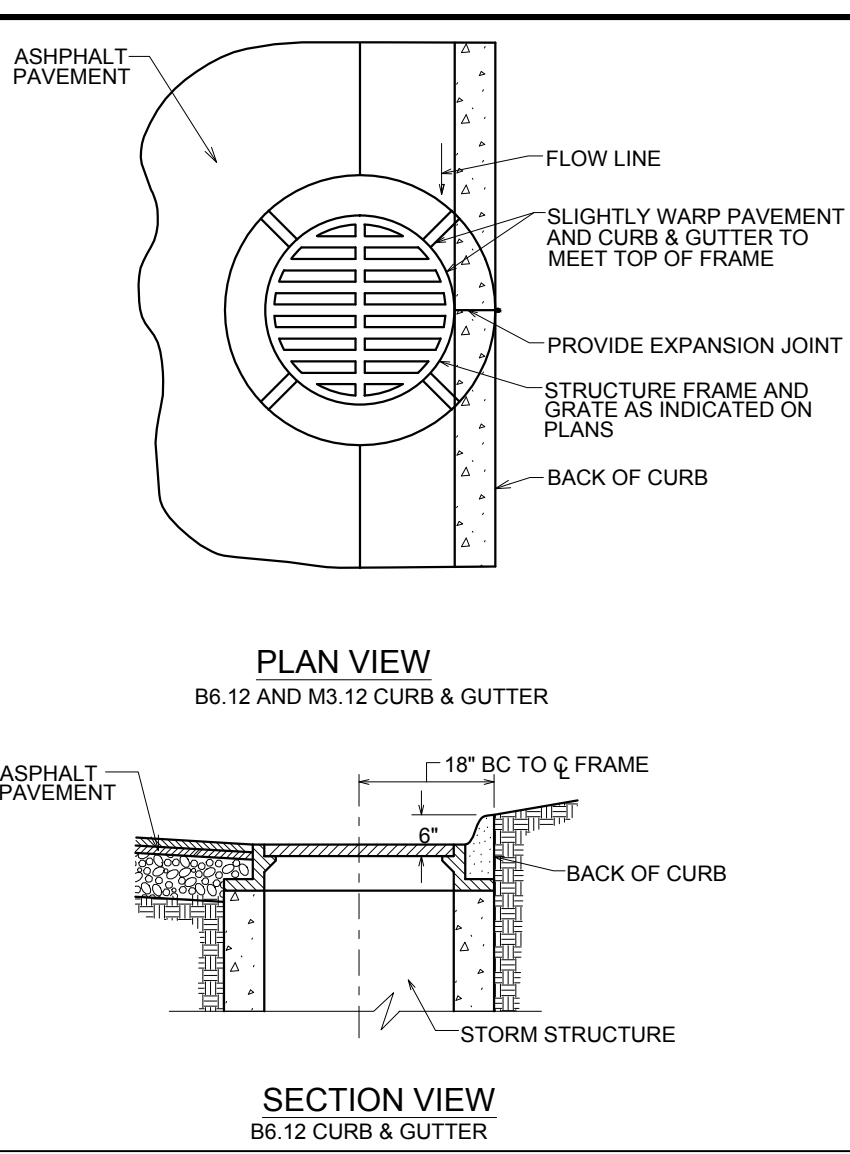
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FILE NAME: C6.0-C6.2 DETS16036.DWG	DRAWN BY: DB
ORIGINAL ISSUE DATE: 09-19-16	CHECKED BY: SK
SCALE: NONE	PROJECT MANAGER: TF


ROMEOVILLE

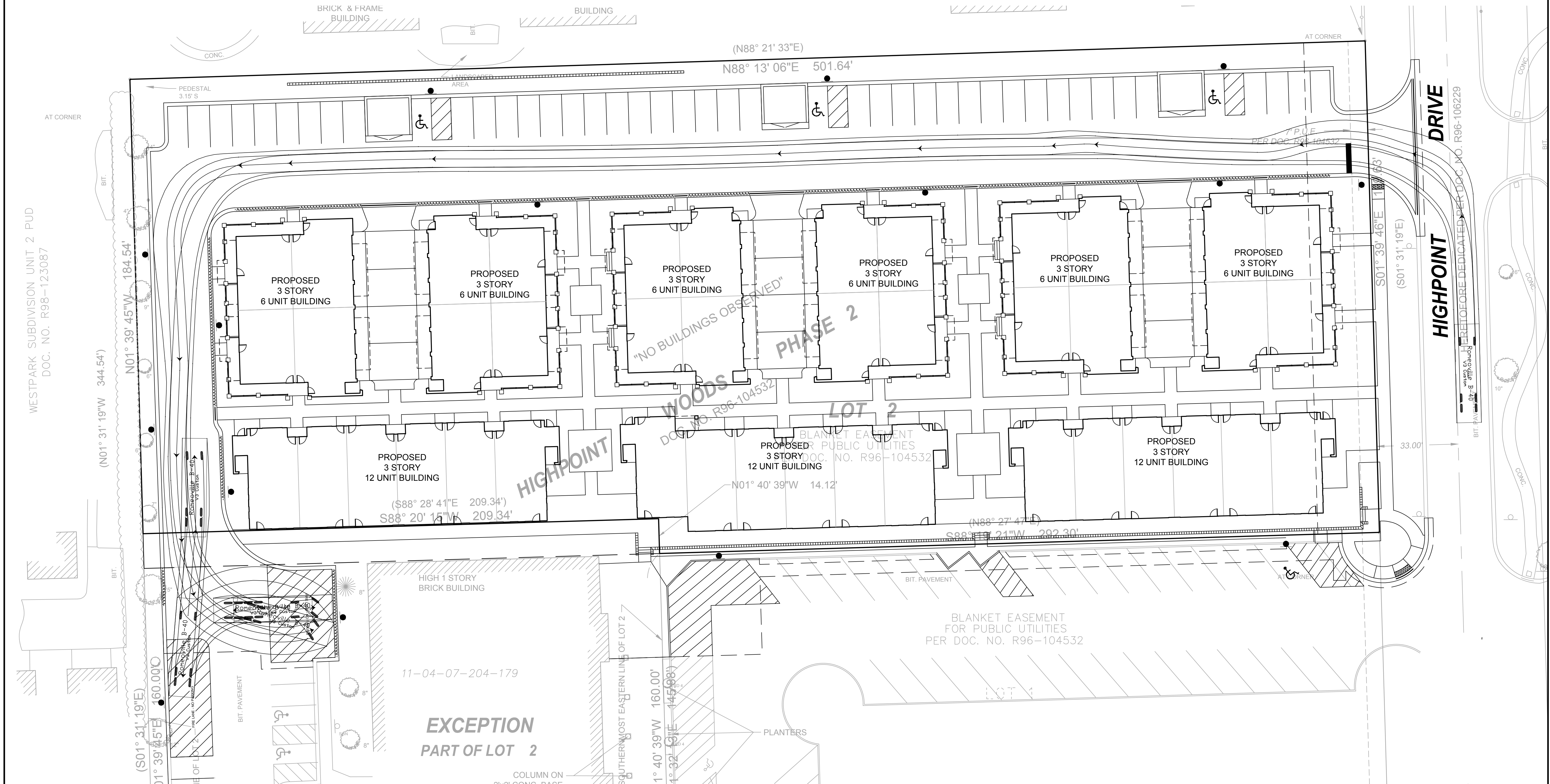
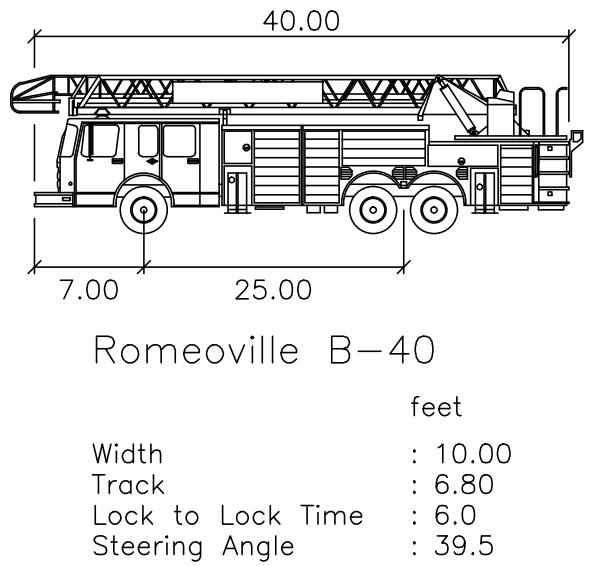
ILLINOIS


DRAWING NO.

C6.0



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	2	01-18-17	REVISED PER VILLAGE COMMENTS				PROJECT MANAGER: TF				
	3	02-17-17	REVISED PER VILLAGE COMMENTS								





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REVISIONS			
NO.	DATE	DESCRIPTION	

PROJECT NO.: 16036	DESIGNED BY: SK
FILE NAME: 16036 FIRE TRUCK EXH	DRAWN BY: MI
ORIGINAL ISSUE DATE: 01-18-17	CHECKED BY: SK
SCALE: 1"=20'	PROJECT MANAGER: TF

HIGHPOINT TOWN SQUARE APARTMENTS

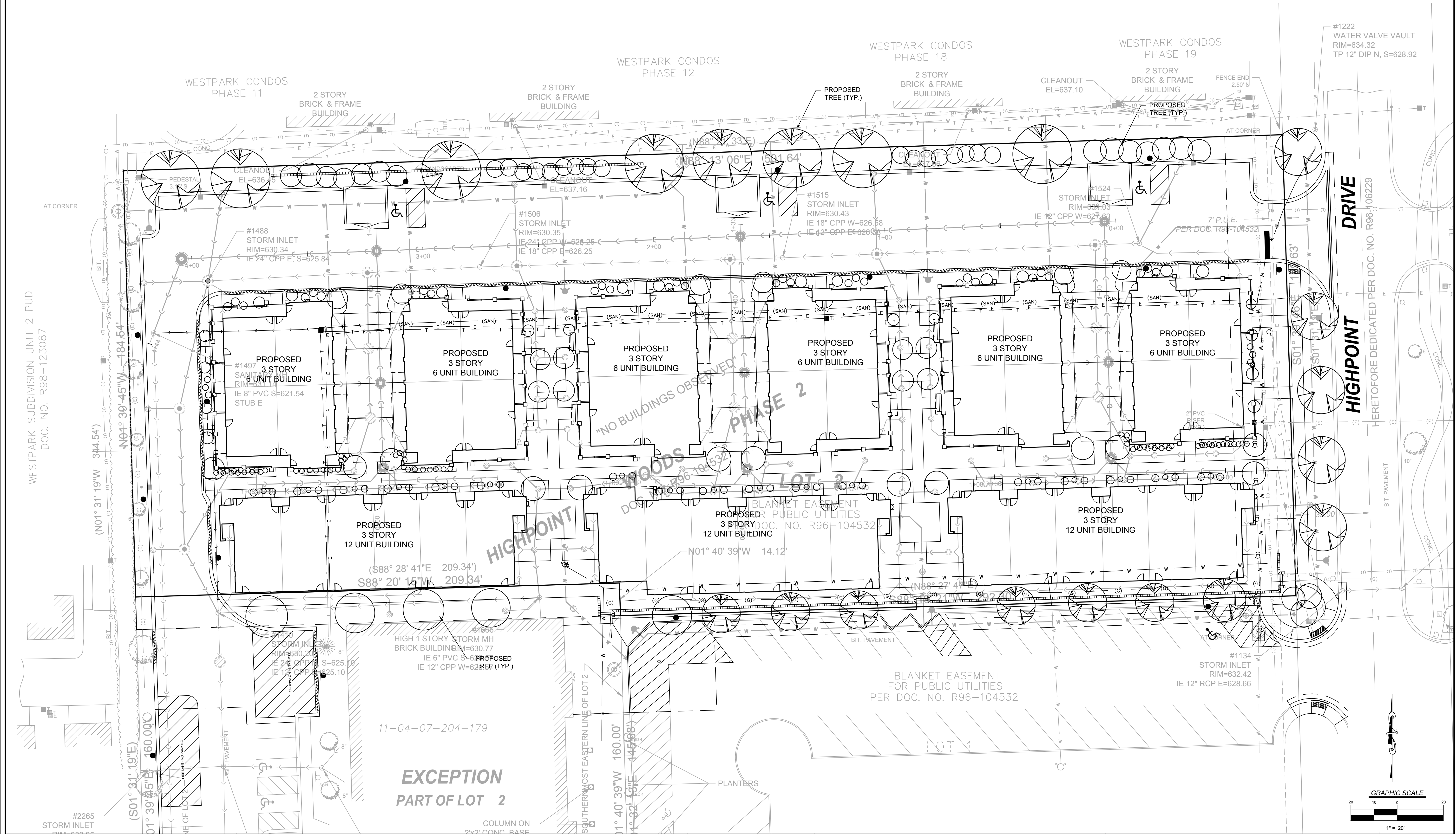
ROMEOVILLE ILLINOIS


FIRE TRUCK EXHIBIT

EX 1

DRAWING NO.

NOTE:
1. OVERLAY PLAN BASED ON LATEST LANDSCAPE PLAN
BY MELINDA QUIGLEY.





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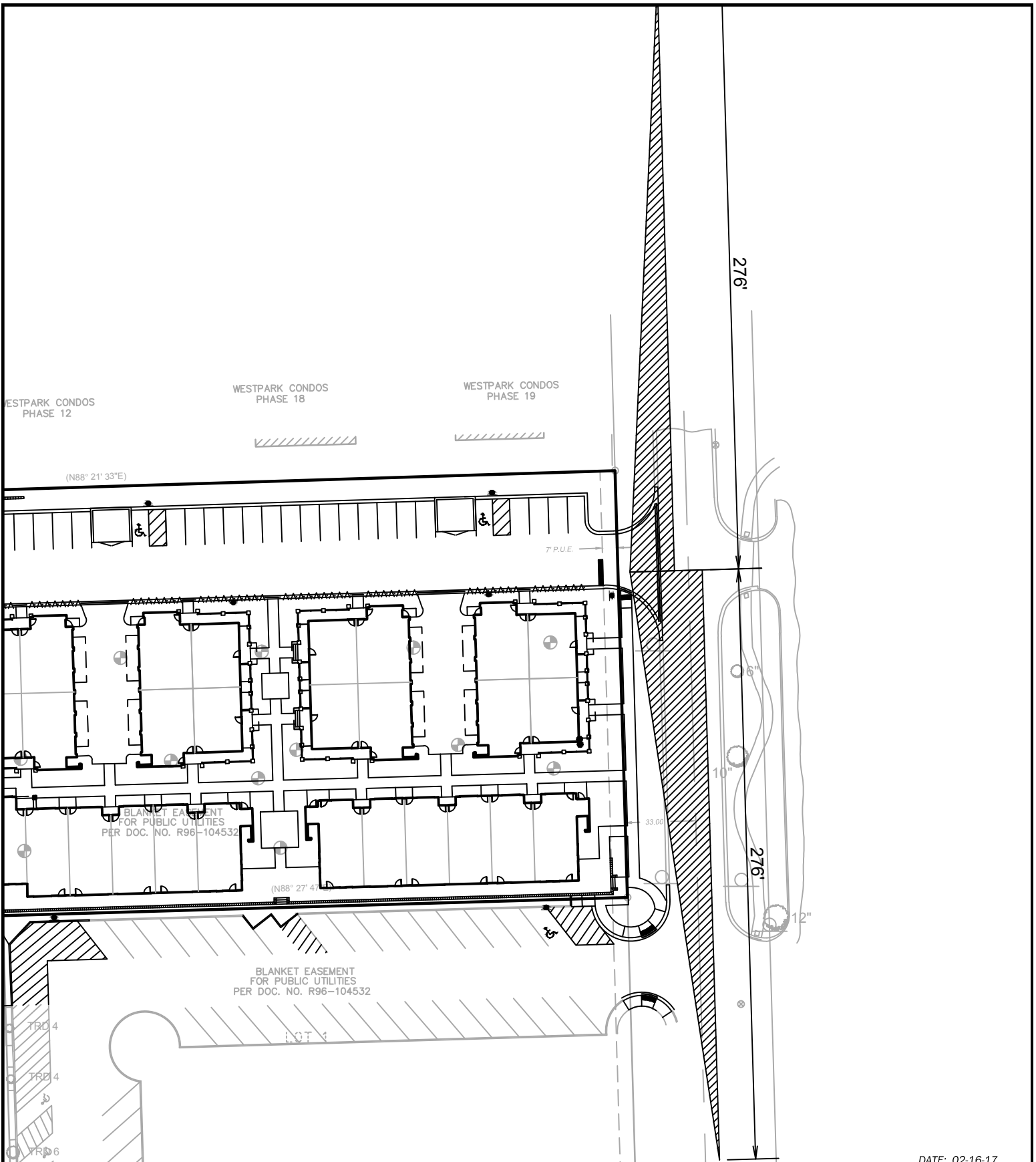
REVISIONS			
NO.	DATE	DESCRIPTION	

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FILE NAME: 16036 TREE OVERLAY	DRAWN BY: MI
ORIGINAL ISSUE DATE: 02-15-17	CHECKED BY: SK
SCALE: 1"=20'	PROJECT MANAGER: TF

HIGHPOINT TOWN SQUARE APARTMENTS

ROMEIOVILLE ILLINOIS

LANDSCAPE OVERLAY EXHIBIT



DATE: 02-16-17



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HIGHPOINT APARTMENTS SITE TRIANGLE EXHIBIT - NORTH

ROMEOVILLE

ILLINOIS



SCALE: 1" = 60'

WESTPARK CONDOS
PHASE 12

WESTPARK CONDOS
PHASE 18

WESTPARK CONDOS
PHASE 19

(N88° 21' 33"E)

7 P.U.E.

BLANKET EASEMENT
FOR PUBLIC UTILITIES
PER DOC. NO. R96-104532

(N88° 27' 41"E)

BLANKET EASEMENT
FOR PUBLIC UTILITIES
PER DOC. NO. R96-104532

LOT 4

TRD 4

TRD 4

TRD 6

276'

10"

12"

DATE: 02-16-17



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

HIGHPOINT APARTMENTS SITE TRIANGLE EXHIBIT - SOUTH

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ILLINOIS



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