FOR

HIGHPOINT TOWN SQUARE APARTMENTS

ROMEOVILLE, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

TAT Global, LLC 175 S. Highpoint Drive Romeoville, İllinois 60446 630 210 6227 Contact: Bruno Bottarelli

ENGINEER

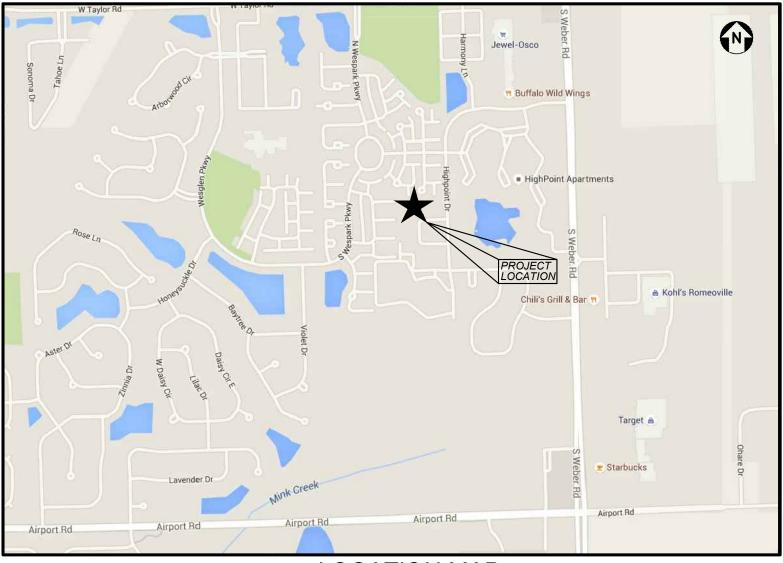
V3 Companies of Illinois, Ltd. 7325 Janes Avenue Woodridge, Illinois 60517 630 724 9200 Project Manager: Theodore E. Feenstra, P.E., LEED AP BD+C Project Engineer: Steven A. Kranenborg, P.E.

ARCHITECT

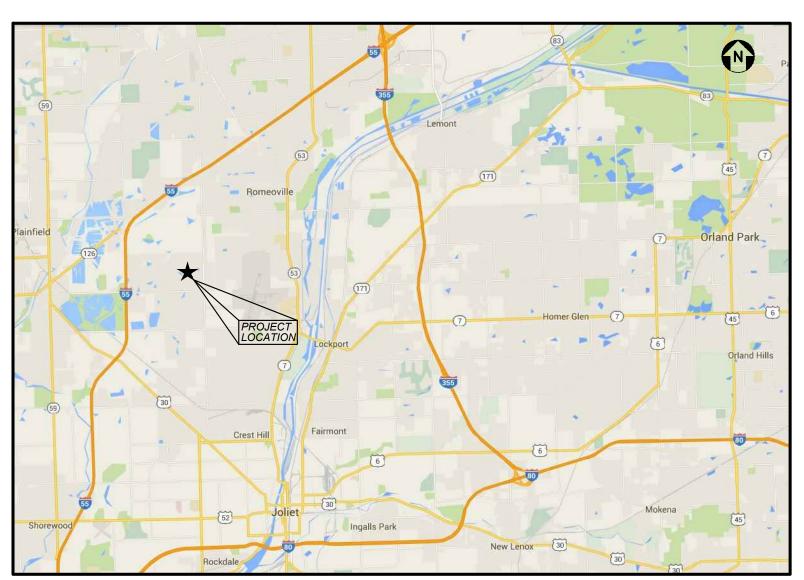
Bloom Architecture P.O Box 579 La Grange, Illinois 60525 312 480 5847 Contact: Albert Bloom

VILLAGE CONTACT

Village of Romeoville 615 Anderson Drive Romeoville, Illinois 60446 815 886 1870 Contact: Jonathon Zabrocki, P.E.



LOCATION MAP NO SCALE



VICINITY MAP NO SCALE

INDEX OF DRAWINGS

C0.0	TITLE SHEET
C1.0	GENERAL NOTES , LEGEND, AND ABBREVIATIONS
C2.0	EXISTING CONDITIONS PLAN
C2.1	DEMOLITION PLAN
C3.0	LAYOUT PLAN
C4.0	GRADING PLAN
C4.1	EROSION CONTROL PLAN
C4.2	EROSION CONTROL NOTES AND DETAILS
C5.0	UTILITY PLAN - STORM SEWER
C5.1	UTILITY PLAN - WATER MAIN AND SANITARY SEWER
C5.2	SANITARY PROFILES
C5.3	SANITARY PROFILES
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS

DRAINAGE CERTIFICATION

"I, STEVEN A. KRANENBORG, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THE DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES."



Visio, Vertere, Virtute... "The Vision to Transform with Excellenc

V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com



Locating Information Excavators

REVISIONS DESCRIPTION SHEETS REVISED REV. BY 1 |11-23-16 | ISSUED FOR HUD REVIEW SAK 2 | 01-18-17 | REVISED PER VILLAGE COMMENTS SAK 3 02-17-17 REVISED PER VILLAGE COMMENTS SAK ALLORIGINAL ISSUE DATE: SEPTEMBER 19, 2016

BENCHMARKS

STATION DESIGNATION: RM 54 ELEVATION: 601.01 (PUBLISHED AND HELD) DATUM: NGVD29 DESCRIPTION: CUT SQUARE IN THE SOUTHWEST WING WALL OF RENWICK ROAD BRIDGE OVER LILY CACHE CREEK.

STATION DESIGNATION: RM 56
ELEVATION: 591.24 (PUBLISHED AND MEASURED) DATUM: NGVD29
DESCRIPTION: CHISÈLED SQUARE ON RIGHT DOWNSTREAM WING WALL OF CATON FARM ROAD BRIDGE, OVER SUNNYLAND DRAIN.

STATION DESIGNATION: SBM #1
STATION DESIGNATION: SBM #1
ESTABLISHED BY: V3 COMPANIES DATE: 02-24-16 ELEVATION: 633.60 (MEASURED) DATUM: NGVD29
DESCRIPTION: NORTHWEST BOLT ON FIRE HYDRANT WEST SIDE OF HIGHPONT DRIVE, SOUTH OF BITUMINOUS DRIVE TO SITE. STATION DESIGNATION: SBM #2
ESTABLISHED BY: V3 COMPANIES DATE: 02-24-16 ELEVATION: 632.58 (MEASURED) DATUM: NGVD29
DESCRIPTION: WESTERLY FLANGE BOLT ON FIRE HYDRANT NEAR THE NORTHEAST CORNER OF THE HIGH 1 STORY BUILDING TO THE SOUTH.

STEVEN A. KRANENBORG, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTI THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF TAT GLOBAL, LLC BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. DATED THIS DAY OF

PROFESSIONAL ENGINEER'S CERTIFICATION

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-068598 MY LICENSE EXPIRES ON NOVEMBER 30. 2017

LLINOIS LICENSED DESIGN FIRM NO. 184-000902

DRAWING NO.

V3 COMPANIES OF ILLINOIS LTD. 7325 JANES AVENUE WOODRIDGE, IL 60517

- COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT
- ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN
- AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK AGREE TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR **OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION** ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION REGINS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
- b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST
- c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA. LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF ROMEOVILLE.
- e. THE NATIONAL ELECTRIC CODE.
- THE ILLINOIS ACCESSIBILITY CODE. g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS
- TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL
- THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
- 10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHEARES AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- 12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE VILLAGE OF ROMEOVILLE MUNICIPAL CODE AND IDOT REQUIREMENTS

14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED

- 3. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
- SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- 5. REMOVED PAVEMENT. SIDEWALK. CURB AND GUTTER. ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT
- 16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.

- 17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS. 'J.U.L.I.E." AT 1-800-892-0123 . LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
- 18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF
- 19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF 'APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- 21. ALL CURB RADII REFER TO BACK OF CURB.
- 22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
- 23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHAL BF REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- 24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS NDICATED ON DRAWINGS.
- 25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
- 26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM
- 27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISITNG PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- 28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BI REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- 29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- 30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST
- 31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED NCIDENTAL TO THE CONTRACT.
- 32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF
- 33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE
- 34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 35. PRIOR TO DEMOBILIZATION. ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- 36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV. PHONE. ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
- 38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS
- 39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6' POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
- 40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT

SUPPLEMENTAL SOILS INVESTIGATION.

41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A

- 42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER, IF THIS CANNOT BE ACCOMPLISHED. THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE PERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- 43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES. SEQUENCES OR PROCEDURES. TIME OF PERFORMANCE PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

- THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION. BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION. 8. PLEASE BE CONSCIOUS OF DAMAGING THE PAINT ON THE
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
- 3. THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR
- EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
- ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER SOILS ENGINEER, AND THE AUTHORITY HAVING
- COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1' TOLERANCE OF DESIGN SUBGRADE.
- THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
- BORROW PIT LOCATION(S) SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.

- 1. SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
- a. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D2241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.
- b. DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). FRAME AND COVER SHALL BE EAST JORDAN 1022Z3 EMBOSSED WITH "SANITARY" AND "VILLAGE OF ROMEOVILLE."
- 3. ALL SANITARY SEWER SHALL BE TESTED FOR ACCEPTANCE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS CONTRACTOR SHALL VERIES THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. IF THE LOCAL JURISDICTION HAS MORE STRINGENT TESTING REQUIREMENTS THE CONTRACTOR SHALL ADHERE TO THE MORE STRINGENT REQUIREMENTS. THE COST SHALL BE INCIDENTAL TO THE CONTRACT
- ALL SANITARY MANHOLE CASTINGS, ADJUSTING RINGS AND MANHOLE SECTION SHALL BE SET IN BUTYL ROPE OR APPROVED EQUAL. EACH MANHOLE CONE AND BARREL SECTION JOINT SHALL ALSO BE EXTERNALLY SEALED WITH A 6" WIDE SEALING BAND OF RUBBER AND MASTIC. THE BAND SHALL HAVE AN OUTER LAYER OF RUBBER OR POLYETHYLENE WITH AN UNDER LAYER OF RUBBERIZED MASTIC MEETING THE REQUIREMENTS OF ASTM C-877-02 (STANDARD SPECIFICATION FOR EXTERNAL SEALING BANDS FOR CONCRETE PIPE, MANHOLES, AND PRECAST BOX SECTIONS). PIPE CONNECTION TO NEW AND EXISTING MANHOLES THROUGH OPENINGS (CAST OR CORE-DRILLED) SHALL BE PROVIDED WITH A FLEXIBLE RUBBER WATERTIGH CONNECTOR CONFORMING TO ASTM C-923 (STANDARD SPECIFICATIONS FOR RESILIENT CONNECTIÒNS BETWEEN

WATERMAIN DISTRIBUTION SYSTEM

WATER MAIN SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIAL AS SPECIFIED ON THE PLANS:

REINFORCED CONCRETE MANHOLE STRUCTURES AND PIPES).

a. DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.51, AWWA C-151 WITH CEMENT LINING CONFORMING TO ANSI A21.4, (AWWA C-104). MECHANICAL JOINTS RESTRAINED WITH MEGALUGS (EBAA IRON) ONLY, CONFORMING TO ANSI A21.11 (AWWA C111).

- 2. MINIMUM COVER OVER WATER MAIN SHALL BE 5' 6" FROM FINISHED GRADE TO TOP OF PIPE.
- VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VAULTS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). FRAME AND COVER SHALL BE EAST JORDAN 1022Z3 EMBOSSED WITH "WATER" AND "VILLAGE
- 4. MECHANICAL JOINTS RESTRAINED WITH MEGALUGS SHALL BE USED IN LIEU OF THRUST BLOCKING.
- WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY ÒR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
- 6. ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE ILLINOIS ENVIRONMENTAL
- 7. ALL WATER MAIN TO BE INSULATED WITH A 4-MILL C1055 LAMINATED POLYETHYLENE ENCASEMENT USING B. THE POLYETHYLENE ENCASEMENT MUST CONFORM TO AWWA C105 STANDARDS.
- HYDRANTS DURING INSTALLATION. THE VILLAGE OF ROMEOVILLE HAS FOUND THAT THE PAINT ON THE HYDRANTS CAN BEEN DAMAGED DURING BACKFILLING. IF REQUESTED BY THE VILLAGE OF ROMEOVILLE WATER SUPERINTENDENT, ANY HYDRANTS EXHIBITING EXCESSIVE ROCK DAMAGE WILL BE SAND BLASTED AND REPAINTED BY AN APPROVED CONTRACTOR PRIOR TO ACCEPTANCE.
- A MINIMUM OF 48 HOURS PRIOR TO ANY WATER USAGES (I.E. FLUSHES, FILLS, ETC.), THE CONTRACTOR MUST CALL THE VILLAGE OF ROMEOVILLE'S WATER DEPARTMENT AT 815-886-1870 O GET APPROVAL OF SAID USAGE. ANY UNAUTHORIZED USAGES WILL RESULT IN PENALTIES.
- ALL VALVES AND HYDRANTS SHALL BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE WATER DEPARTMENT FOR WRITTEN APPROVAL PRIOR TO ORDERING.

- 1. STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
 - REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH IDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-361, ASTM C-443 AND ASTM C-1619, UNLESS OTHERWISE NOTED.
 - POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.
 - HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3350 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
 - DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- 2. STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). CLOSED LID STRUCTURES FRAME AND COVER SHALL BE EAST JORDAN 1022Z3 EMBOSSED WITH "STORM" AND "VILLAGE OF ROMEOVILLE."

IEPA CROSSING REQUIREMENTS

- HORIZONTAL SEPARATION:
 - WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.
 - WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN: I OCAL CONDITIONS PREVENT A LATERAL
 - SEPARATION OF TEN FEET THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND THE WATERMAIN IS EITHER IN A SEPARATE

TRENCH OR IN THE SAME TRENCH ON AN

- UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE. PRESTRESSED CONCRETE PIPE. OR PVC PIPE
- MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

VERTICAL SEPARATION:

- A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS, THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
- BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111
- IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 9A) ABOVE: OR

ILE NAME:

SCALE:

C1.0 GAL16036.DWG

DRIGINAL ISSUE DATE:

THE WATERMAIN PASSES UNDER A SEWER DRAIN

16036

09-19-16

NONE

DRAWN BY:

CHECKED BY:

PROJECT MANAGER:

A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.

EXISTING

x 706.00

_____ T/F ____

Д ----- ---

<u>PROPOSED</u>

___×___×__

_____ 710 _____

 $\neg \lor \neg \lor \neg \lor \neg \lor$

× 706.0

_>-----

CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

- BASE COURSE SHALL BE AGGREGATE BASE COURSE CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- 2. SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- 3. CURB & GUTTER AND SIDEWALK SHALL BE CLASS SI PORTLAND CEMENT CONCRETE CONFORMING TO IDOT STANDARD SPECIFICATIONS.
- SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
- AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE IDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS, PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT
- PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT. THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL
- SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND 1/2 INCH. PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB A BUILDING, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IÁC) REQUIREMENTS, UNLESS OTHERWISE NOTED.
- TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE. SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
- ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

VILLAGE OF ROMEOVILLE - FINAL ACCEPTANCE AND TESTING OF SANITARY SEWER

BEFORE FINAL ACCEPTANCE, THE SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 31-1.11 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS". SPECIFICALLY, ALL PIPELINES CONSTRUCTED OF FLEXIBLE MATERIALS SHALL BE SUBJECT TO AIR EXFILTRATION TESTS, TELEVISING TEST, AND DEFLECTION TEST. THE DEFLECTION TEST SHALL BE PERFORMED NO SOONER THAN THIRTY (30) DAYS OF THE BACKFILLING OPERATION AND SHALL CONSIST OF MEASURING THE PIPE FOR VERTICAL RING DEFLECTION. MAXIMUM RING DEFLECTION OF THE PIPELINE UNDER LOAD SHALL BE LIMITED TO FIVE (5) PERCENT OF THE INTERNAL PIPE DIAMETER. ALL PIPE EXCEEDING THIS DEFLECTION SHALL BE CONSIDERED TO HAVE REACHED THE LIMIT OF ITS SERVICEABILITY AND SHALL BE RE-LAID OR REPLACED BY THE DEVELOPER. DEFLECTION TESTING SHALL BE ACCOMPLISHED BY PULLING A MANDREL SPHERE, OR PIN-TYPE "GO / NO-GO" DEVICE, WITH A

DIAMETER EQUAL TO NINETY-FIVE (95) PERCENT OF THE UNDEFLECTED INSIDE DIAMETER OF THE FLEXIBLE PIPE THROUGH THE PIPELINE. IN ADDITION, ALL SANITARY SEWER HAVING A DIAMETER OF EIGHT (8) INCHES OR GREATER SHALL BE TELEVISED. COPIES OF ALL VÍDEO TAPES MUST BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE.

FINAL TESTING OF SANITARY SEWER MANHOLES

VACUUM TESTING SHALL BE CARRIED OUT IMMEDIATELY AFTER ASSEMBLY AND PRIOR TO BACKFILLING OF MANHOLES THAT ARE UP TO SEVENTY-TWO (72) INCHES IN DIAMETER. ALL LIFT HOLES SHALL BE PLUGGED WITH A NON-SHRINK GROUT, OR RUBBER PLUG. THE MANHOLE FRAME AND ADJUSTING RINGS AND CHIMNEY SEALS SHALL BE IN PLACE BEFORE TESTING. NO GROUT SHALL BE PLACED IN THE HORIZONTAL JOINTS. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE WITH THE VACUUM TESTING. VACUUM TESTING SHALL TEST ALL MANHOLES FOR LEAKAGE. A VACUUM OF TEN (10) INCHES OF MERCURY SHALL BE PLACED ON THE MANHOLE AND THE TIME MEASURED FOR THE VACUUM TO DROP TO NINE (9) INCHES OF MERCURY. THE VACUUM DROP SHALL NOT EXCÈÉD THE REQUIREMENTS SHOWN IN TABLE 1 OF ASTM C1244-02. IF TESTING FAILS, DEVELOPER SHALL SEAL ALL LEAKS AND RETEST UNTIL ACCEPTABLE. THE TESTING SHALL BE COMPLETED PRIOR TO BACKFILLING (WHENEVER POSSIBLE) SO THAT ANY LEAKS CAN BE FOUND AND FIXED EXTERNALLY, AND TO GIVE THE HORIZONTAL MANHOLE JOINTS AN OPPORTUNITY

TO TIGHTEN. FLOW MONITORING PRIOR TO ACCEPTANCE

ROMEOVILLE

THE DEVELOPER WILL BE REQUIRED TO MONITOR THE FLOWRATE FROM THE SITE FOR A PERIOD OF TWO MONTHS (ENCOMPASSING AT LEAST TWO MAJOR STORM EVENTS) TO IDENTIFY ANY EXCESSIVE INFLOW/INFILTRATION OCCURRING IN THE SYSTEM. THE DATA MUST BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS

PROPERTY LINE (EXTERIOR) BLDG LOT LINE (INTERIOR) EASEMENT LINE **FENCE LINE** CENTERLINE PROPERTY CORNER CONTOUR **CURB & GUTTER** DEPRESSED CURB & GUTTER REVERSE PITCHED CURB SPOT ELEVATION TOP OF CURB ELEVATION EDGE OF PAVEMENT ELEVATION E/P UTILITY STUB SANITARY SEWER SANITARY FORCE MAIN FES STORM SEWER F-F WATER MAIN **UNDERGROUND TELEPHONE** & ELECTRIC DUCT BANK BURIED CABLE-ELECTRIC BURIED CABLE-TELEPHONE UTILITY STRUCTURE WITH CLOSED LID CURB INLET DRAINAGE STRUCTURE WITH OPEN LID FIRE HYDRANT VALVE IN VALVE BOX GATE VALVE IN VALVE VAULT POST INDICATOR VALVE THRUST BLOCK TREE TREE LINE CONCRETE HEADWALL SUBMERGED HEADWALL FLARED END SECTION (F.E.S.) OC **GUY WIRES** FLOOD LIGHT UTILITY POLE LIGHT STANDARD TRAFFIC SIGNAL POLE HAND HOLE SOIL BORING IRRIGATION HEADS TELEPHONE MANHOLE MONITORING WELL TELEPHONE PEDESTAL TRANSFORMER PAD UTILITY TO BE ABANDONED FEATURE TO BE REMOVED STORMWATER FLOW DIRECTION STORMWATER OVERFLOW ROUTE DITCH CHECK INLET FILTER BASKET STA RIP RAP BOLLARD STMH SILT FENCE T/C WATER MAIN PROTECTION TRENCH BACKFILL UTILITY CROSSING LABEL

RIGHT-OF-WAY LINE

DESCRIPTION

(C01)

_____ CLL ____

GUARDRAIL RAILROAD TRACKS

RETAINING WALL

REVISION DELINEATION CONSTRUCTION LIMIT LINE TREE PROTECTION FENCE

BENCHMARK **BOTTOM OF PIPE** BUTTERFLY VALVE IN VALVE VAULT **CURB AND GUTTEI** CATCH BASIN CENTERLINE CLOSED LID CLEAN OUT DUCTILE IRON PIPE DIAMETER **DUCTILE IRON WATER MAIN** EAST OR ELECTRIC OR EDGE **EXPANSION JOINT ELEVATION** EDGE OF PAVEMENT EXISTING F & CL FRAME & CLOSED LID F&G FRAME & GRATE F & OL FRAME & OPEN LID FLARED END SECTION FACE TO FACE OF CURB FINISHED FLOOR FINISHED GRADE FIRE HYDRANT FLOW LINE GAS LINE GATE VALVE IN VALVE BOX GATE VALVE IN VALVE VAULT **HDCP** HANDICAF HIGH DENSITY POLYETHYLENE PIPE HEADWAL HORIZONTAL HIGH POINT HIGH WATER LEVEL INVERT ELEVATION INLET LINEAL FEET LOW POINT OR LIGHT POLE

ARC LENGTH

BACK OF CURE

BUILDING

BACK TO BACK OF CURB

MATCH EXISTING MANHOLE MONITORING WELL NOT IN CONTRACT / NOT INCLUDED NORMAL WATER LEVEL ON CENTER OPEN LID

POINT OF CURVATURE PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE PROFILE GRADE LINE POINT OF INTERSECTION PROPERTY LINE POWER POLE

POINT OF REVERSE CURVATURE POINT OF TANGENCY PUBLIC UTILITY EASEMENT POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE POINT OF VERTICAL INTERSECTION POINT OF VERTICAL TANGENCY

RADIUS OR RIGHT REINFORCED CONCRETE PIPE RIGHT OF WAY SLOPE OR SOUTH SANITARY SII TATION FENCE

SANITARY FORCE MAIN SHEET SUBMERGED HEADWALL SANITARY MANHOLE STATION

STORM STRUCTURE OR STORM SEWER STORM MANHOLE TANGENT LENGTH OR TELEPHONE TOP OF CURB TOP OF PIPE TOP OF WALL TYPE **TYPICAL**

> VERTICAL CURVE VERTICAL VITRIFIED CLAY PIPE WEST WATER MAIN

UTILITY POLE

VERT

VCP

DRAWING NO.

HIGHPOINT TOWN SQUARE

GENERAL NOTES, LEGEND AND **ABBREVIATIONS**

C1.0

630.724.9200 phone 630.724.9202 fax www.v3co.com

V3 Companies

7325 Janes Avenue Woodridge, IL 60517

Visio, Vertere, Virtute... "The Vision to Transform with Excellence

VO. DATE 1 11-23-16 ISSUED FOR HUD REVIEW 2 |01-18-17 | REVISED PER VILLAGE COMMENTS 3 |02-17-17 | REVISED PER VILLAGE COMMENTS

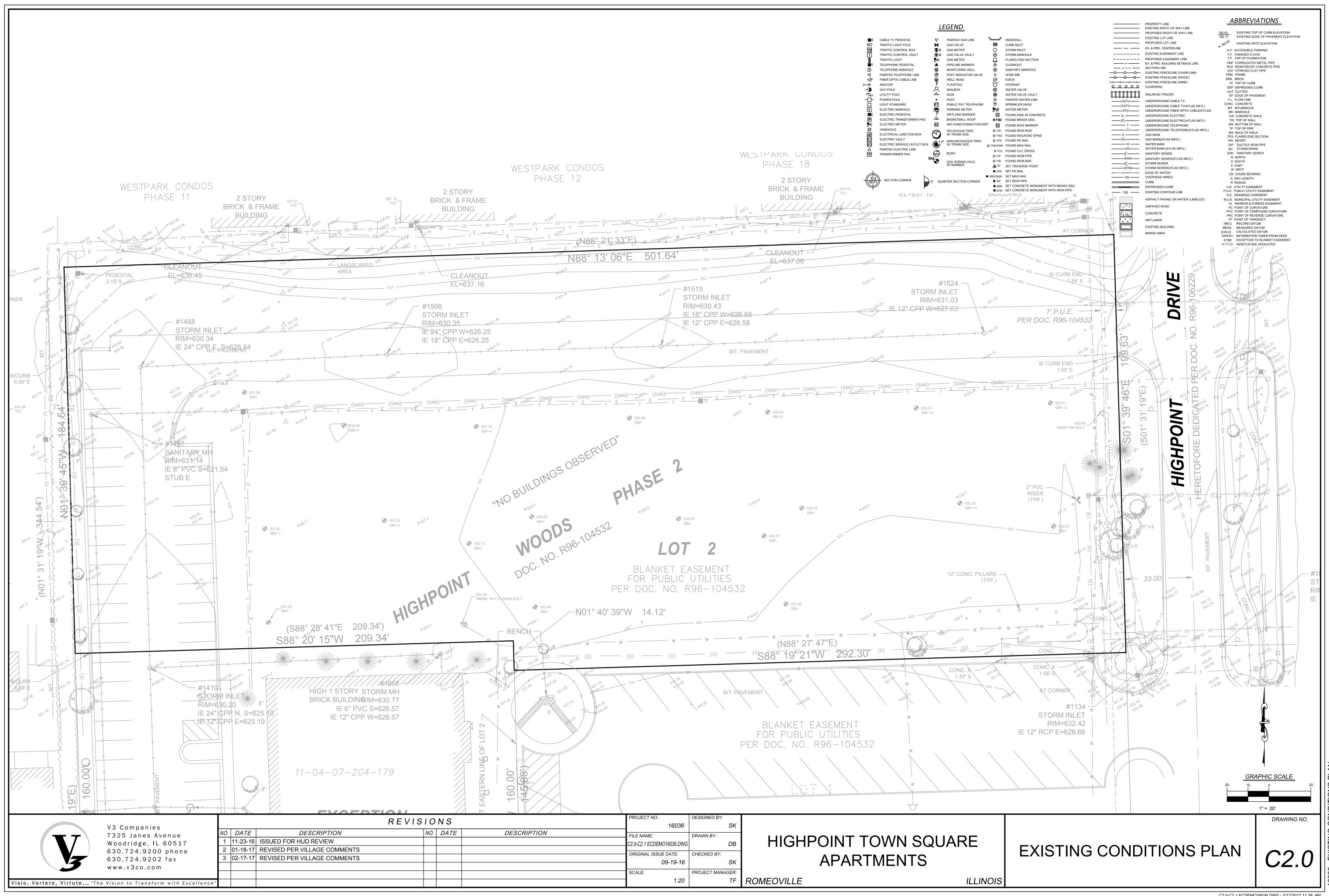
DESCRIPTION DESCRIPTION NO. DATE

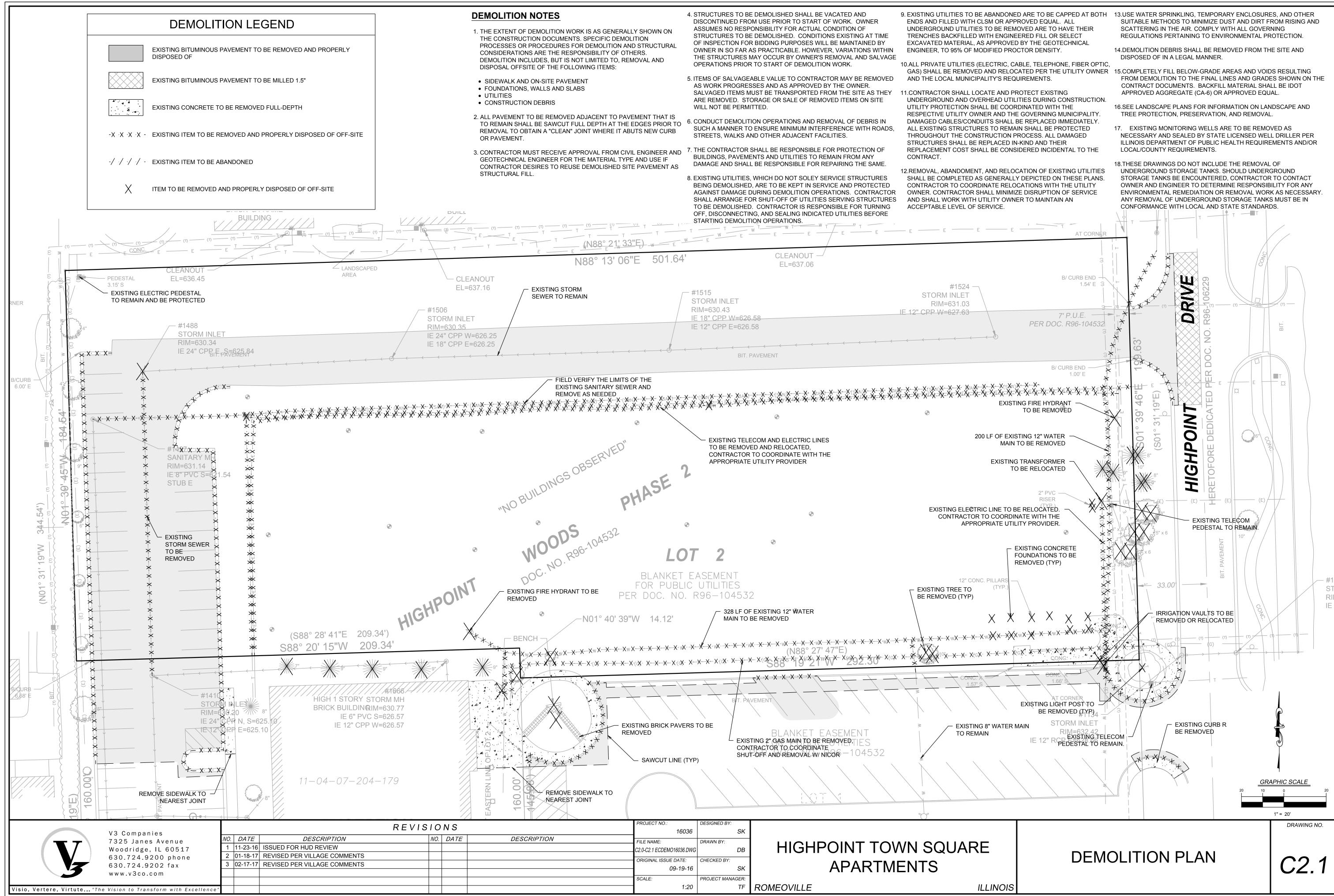
REVISIONS

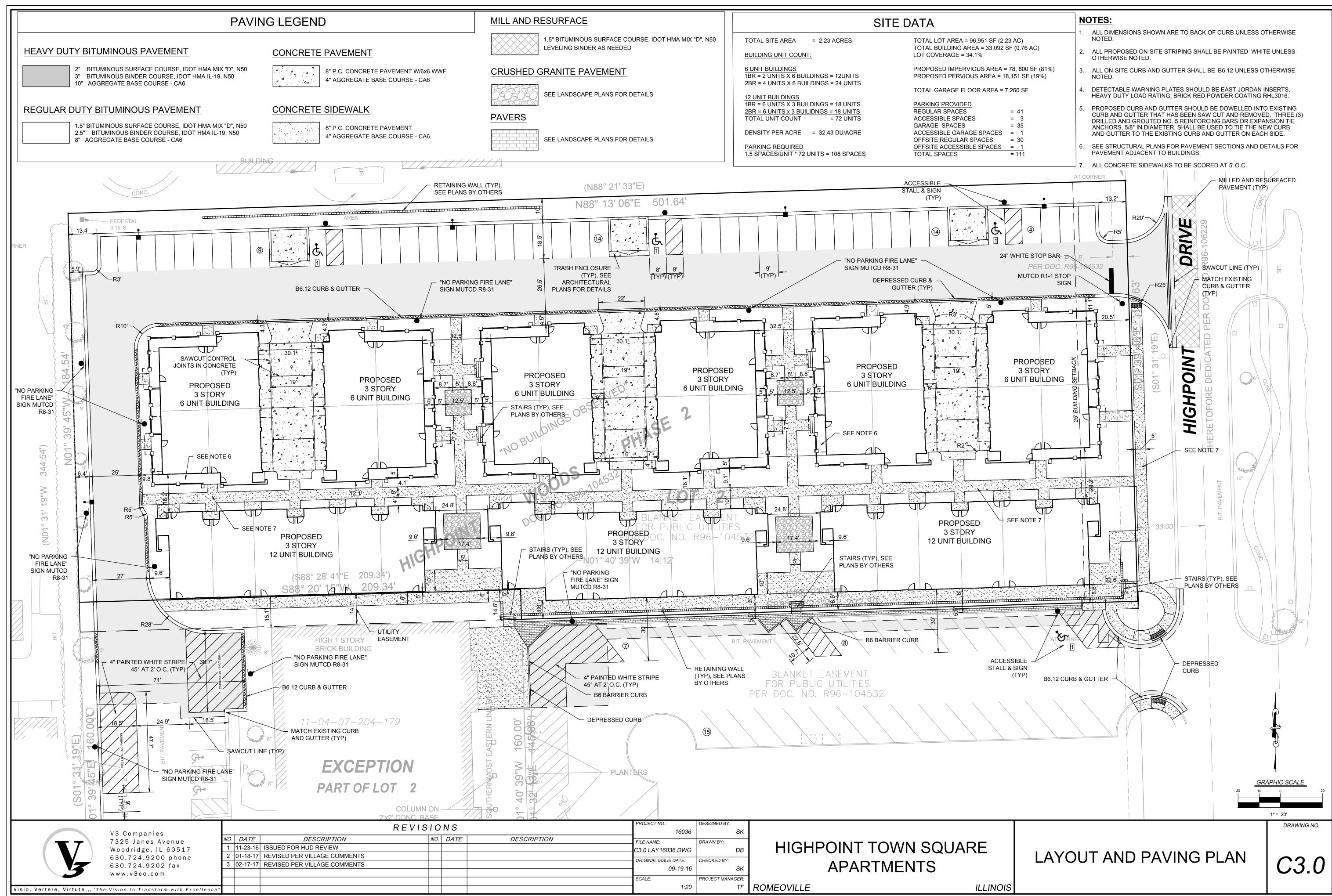
APARTMENTS

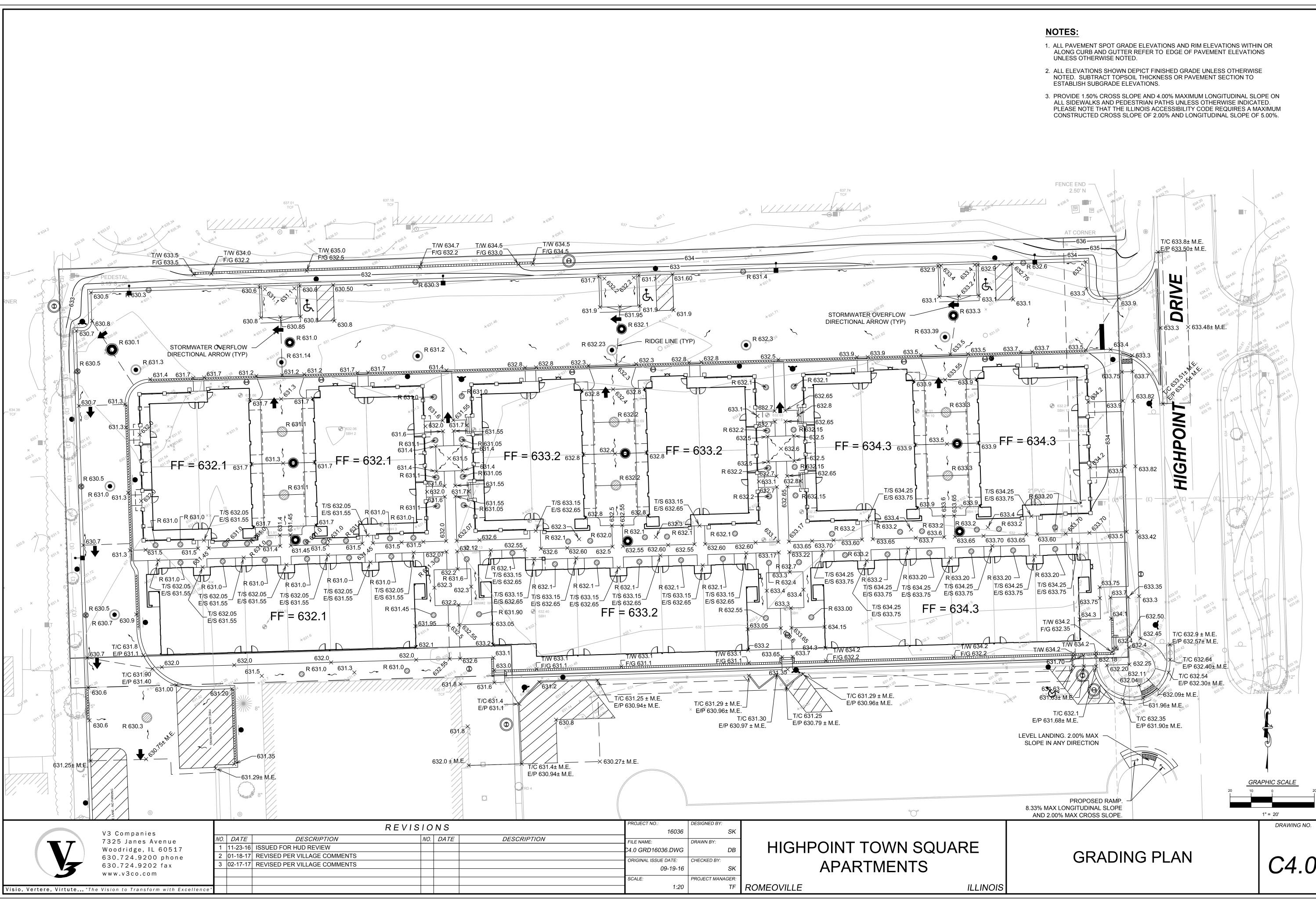
ILLINOIS

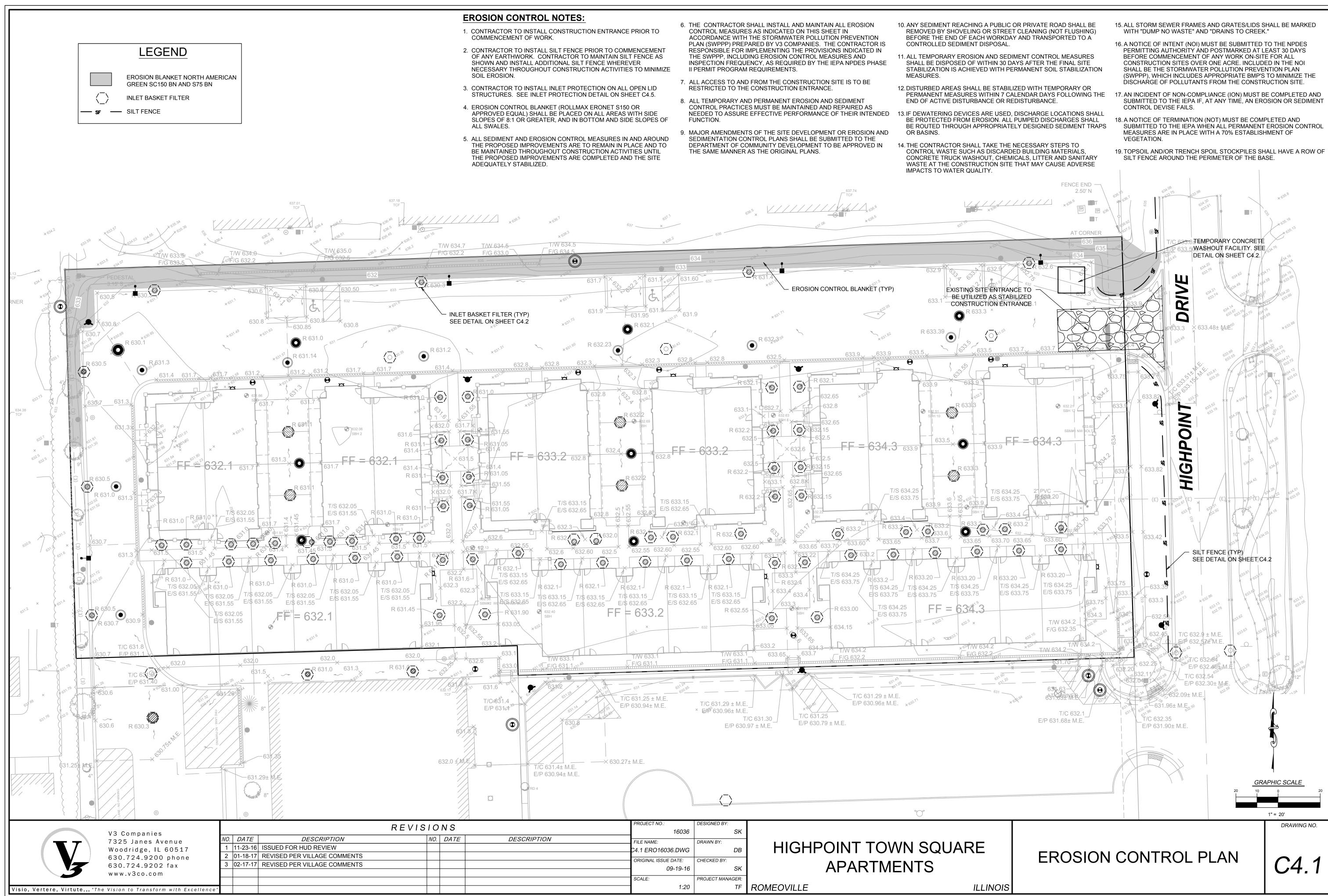
C1.0 GAL16036.DWG - 2/17/2017 11:38: AM











STORM WATER POLLUTION PREVENTION PLAN NOTES

- A. THE CONSTRUCTION ACTIVITY CONSISTS OF CONSTRUCTION OF SITE GRADING, INFRASTRUCTURE FOR A RESIDENTIAL DEVELOPMENT.
- B. THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR MAJOR PORTIONS OF THIS SITE IS: INSTALLATION OF SOIL EROSION CONTROL MEASURES, DEMOLITION OF EXISTING CONDITIONS, CLEARING AND GRUBBING, MASS GRADING, UTILITY CONSTRUCTION, FINE GRADING, PAVEMENT CONSTRUCTION AND LANDSCAPING.
- C. THE TOTAL AREA OF THE SITE IS 2.23 ACRES. 2.23 ACRES ARE EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES.
- D. THE RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED IS ESTIMATED TO BE 0.95 FOR THE PAVEMENT AND 0.35 FOR LANDSCAPE. THE SOIL TYPES THAT ARE PREVALENT ON THE SITE ARE ELLIOT AND ASHKUM, WHICH BOTH HAVE A HYDROLOGIC GROUP C
- E. THIS PLAN INDICATES DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED BEFORE AND AFTER MAJOR GRADING ACTIVITIES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AND CONTROLS TO PREVENT OFFSITE SEDIMENT TRACKING, AREAS OF SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN. THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

F. THE RECEIVING WATER IS A TRIBUTARY OF MINK CREEK.

CONTROLS.

A. EROSION AND SEDIMENT CONTROLS. (I) STABILIZATION PRACTICES

PRIOR TO MASS EARTHWORK OF EACH AREA OF THE SITE, SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCES BE INSTALLED AS INDICATED ON THE PLAN. UPON CONSTRUCTION OF THE STORM SEWER SYSTEM, INLET FILTERS SHALL BE INSTALLED. ALL DISTURBED AREAS OF THE SITE SHALL BE BROUGHT TO FINAL GRADE, RESPREAD WITH TOPSOIL AND ESTABLISHED WITH PERMANENT VEGETATION AS SOON AS PRACTICABLE. THESE CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL FINAL STABILIZATION OF THOSE PORTIONS OF THE SITE UPWARD OF THE

DUST CONTROL MEASURES MUST BE IMPLEMENTED AT ALL TIMES DURING THE DURATION OF THE PROJECT, INCLUDING NON-WORKING HOURS, WEEKENDS, AND HOLIDAYS AND ARE REQUIRED UNTIL GROUND COVER HAS BEEN ESTABLISHED. COMMON DUST CONTROL MEASURES INCLUDE IRRIGATION OF THE SOILS ON DRY WINDY DAYS, THE USE OF MULCH, VEGETATIVE COVERS, SPRAY-ON ADHESIVES, BARRIERS, OR STONE.

EXCEPT AS PROVIDED IN PARAGRAPHS (A) AND (B) BELOW. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY

- (A) WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
- (B) WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY

(II) STRUCTURAL PRACTICES

STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED EARLY IN THE MASS GRADING PROCESS. DISTURBED AREAS OF THE SITE SHALL BE GRADED TO DRAIN TO THE STORMWATER FACILITY. SILT FENCE SHALL BE INSTALLED DOWNSTREAM OF ANY AREAS THAT DO NOT DRAIN THROUGH THE STORMWATER FACILITY. SILT FENCE SHALL BE ACTIVELY MAINTAINED UNTIL FINAL STABILIZATION OF THOSE PORTIONS OF THE SITE UPWARD OF THE PERIMETER CONTROL.

(III) BEST MANAGEMENT PRACTICES FOR IMPAIRED WATERS

FOR ANY SITE WHICH DISCHARGES DIRECTLY TO AN IMPAIRED WATER IDENTIFIED IN THE AGENCY'S 303(D) LISTING FOR SUSPENDED SOLIDS, TURBIDITY, OR SILTATION THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE DESIGNED FOR A STORM EVENT EQUAL TO OR GREATER THAN A 25-YEAR 24-HOUR RAINFALL EVENT. IF REQUIRED BY FEDERAL REGULATIONS OR THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY5/32S ILLINOIS URBAN MANUAL, THE STORM WATER POLLUTION PREVENTION PLAN SHALL ADHERE TO A MORE RESTRICTIVE DESIGN CRITERIA.

B STORMWATER MANAGEMENT

(I) STORMWATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED.

(II) RIP RAP IS TO BE PLACED AT DISCHARGE LOCATIONS TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO THE WATERCOURSE.

(I) WASTE DISPOSAL. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

(II) EACH SUBCONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL AND SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS.

D. APPROVED STATE OR LOCAL PLANS.

EXCEPT WHERE MODIFIED ON THIS PLAN. ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE SUBDIVISION AND DEVELOPMENT CODES AND STANDARDS OF THE VILLAGE OF ROMEOVILLE AS PUBLISHED BY THE MUNICIPALITY AND THE REQUIREMENTS CONTAINED IN ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S ILLINOIS URBAN MANUAL, 2002. IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

MAINTENANCE.

EACH SUBCONTRACTOR SHALL MAINTAIN THE SEDIMENT AND EROSION CONTROL MEASURES IDENTIFIED ON THIS PLAN UNTIL THE SITE IS STABILIZED. ITEMS IN NEED OF REPAIR SHALL BE ADDRESSED AS SOON AS PRACTICABLE. MAINTENANCE ITEMS INCLUDE STRAW BALES, INLET FILTERS, SILT FENCE, CONSTRUCTION ENTRANCES, SHORELINES AND VEGETATION THROUGHOUT THE SITE. FURTHERMORE, ANY SOIL THAT IS TRANSPORTED OFFSITE SHALL BE CLEANED DAILY, OR AS REQUESTED BY THE LOCAL AGENCY.

4. INSPECTIONS.

QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL. QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICE OF EROSION AND SEDIMENT CONTROLS. SUCH AS A LICENSED PROFESSIONAL ENGINEER OR OTHER KNOWLEDGEABLE PERSON WHO POSSESSES THE SKILLS TO ASSESS CONDITIONS AT THE CONSTRUCTION SITE THAT COULD IMPACT STORM WATER QUALITY AND TO ASSESS THE EFFECTIVENESS OF ANY SEDIMENT AND EROSION CONTROL MEASURES SELECTED TO CONTROL THE QUALITY OF STORM WATER DISCHARGES FROM THE CONSTRUCTION ACTIVITIES.

- A. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- B. BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN THE PLAN IN ACCORDANCE WITH PARAGRAPH 1 (SITE DESCRIPTION) OF THESE NOTES AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THE PLAN IN ACCORDANCE WITH PARAGRAPH 2 (CONTROLS) OF THESE NOTES SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE PLAN WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

V*O.* | *DATE* |

C. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS

V3 Companies

www.v3co.com

Visio. Vertere. Virtute... "The Vision to Transform with Excellence

7325 Janes Avenue

630.724.9202 fax

Woodridge, IL 60517

630.724.9200 phone

- RELATING TO THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PARAGRAPH B ABOVE SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THE REPORT SHALL BE SIGNED BY THE
- D. THE PERMITTEE SHALL COMPLETE AND SUBMIT WITHIN 5 DAYS AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR ANY VIOLATION OF THE STORM WATER POLLUTION PREVENTION PLAN OBSERVED DURING AN INSPECTION CONDUCTED, INCLUDING THOSE NOT REQUIRED BY THE PLAN. SUBMISSION SHALL BE ON FORMS PROVIDED BY THE AGENCY AND INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE.
- E. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY THE PERMITTEE.
- F. ALL REPORTS OF NONCOMPLIANCE SHALL BE MAILED TO THE AGENCY AT THE FOLLOWING ADDRESS:

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY DIVISION OF WATER POLITITION CONTROL COMPLIANCE ASSURANCE SECTION 1021 NORTH GRAND AVENUE EAST POST OFFICE BOX 19276 SPRINGFIELD, ILLINOIS 62794-9276

5. NON-STORM WATER DISCHARGES.

THE FOLLOWING SOURCES OF NON-STORMWATER MAY BE COMBINED WITH STORMWATER DISCHARGES ASSOCIATED WITH THE INDUSTRIAL ACTIVITY ADDRESSED IN THIS PLAN.

FIRE FIGHTING ACTIVITIES WATER MAIN/ HYDRANT FLUSHING WATERING FOR DUST CONTROL IRRIGATION DRAINAGE FOR VEGETATIVE GROWTH WASH WATER WHERE DETERGENTS ARE NOT USED. UNCONTAMINATED GROUND WATER

NON-FIRE FIGHTING DISCHARGES FROM WATER MAINS AND PUMPS SHALL NOT BE PERMITTED TO FLOW DIRECTLY ONTO THE SOIL WITHOUT ENERGY DISSIPATERS SUFFICIENT TO REDUCE VELOCITIES TO A NON-EROSIVE RATE. ALL SITE DE-WATERING, INCLUDING PUMP DISCHARGE SHALL PASS THROUGH SEDIMENT CONTROL DEVICES PRIOR TO LEAVING THE SITE.

- RETENTION OF RECORDS
- A. THE PERMITTEE SHALL RETAIN COPIES OF STORM WATER POLLUTION PREVENTION PLANS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT. FOR A PERIODS OF AT LEAST THREE YEARS FROM THE DATE THAT THE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE AGENCY AT ANY TIME.
- B. THE PERMITTEE SHALL RETAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

7. NOTICE OF TERMINATION.

UPON FINAL STABILIZATION OF THE SITE THE PERMITTEE SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION IN ACCORDANCE WITH NPDES PERMIT NO. ILR10.

8. CERTIFICATION STATEMENT.

THE FOLLOWING STATEMENT SHALL BE SIGNED PRIOR TO ANY WORK AUTHORIZED BY NPDES PERMIT NO. ILR10 IS PERFORMED AT THE SITE. THE UNDERSIGNED IS RESPONSIBLE FOR IMPLEMENTATION OF ALL MEASURES IDENTIFIED ON THIS PLAN. I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

DATED THIS	DAY OF	, 20
BY	TITLE	
COMPANY		
ADDRESS		
TELEPHONE		

EROSION CONTROL CERTIFICATION

THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND COMPLIES WITH THE URBAN SOIL CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-068598 MY LICENSE EXPIRES ON NOVEMBER 30, 2017

* EXPECTED DATE THAT CLEARING WILL BEGIN - APRIL 2017 * ESTIMATED DURATION OF EXPOSURE OF CLEARED AREAS 1 YEAR

THE SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS

- CLEARING AND GRUBBING AND STRIPPING OF TOPSOIL CONSTRUCT SEDIMENT AREA
- CONSTRUCT TEMPORARY DITCHES AND SWALES TO INTERCEPT ALL ONSITE OVERLAND FLOWS AND DIRECT TO THE PROPOSED DETENTION BASIN
- AT-GRADE PARKING FACILITIES INSTALLATION OF UTILITIES
- INSTALLATION OF UNDERGROUND STORMWATER MANAGEMENT SYSTEM PLACEMENT OF PAVEMENT
- FINAL GRADING
- PLACEMENT OF TOPSOIL 10. SEEDING
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY DISTURBANCES OF THE SITE.

EROSION CONTROL SCHEDULE

- CLEARING OF THE SITE . INSTALLATION OF TEMPORARY EROSION CONTROL MEASURES INCLUDING
- SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE. 3. SITE GRADING, INCLUDING INSTALLATION OF TEMPORARY SOIL STABILIZATION.
 4. CONSTRUCTION OF STORM SEWER SYSTEM AND INSTALLATION OF INLET FILTER
- BASKETS AND RIP-RAP
- 5. CONSTRUCTION OF REMAINDER OF UNDERGROUND UTILITY SYSTEMS. 7. PARKING LOT PAVING
- 8. ESTABLISHMENT OF PERMANENT VEGITATION. 9. REMOVAL OF TEMPORARY EROSION CONTROL MEASURES.

STABILIZED CONSTRUCTION ENTRANCE LOCATIONS

MAINTENANCE PLAN

I. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE. 2. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED 3. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 3 DAYS, THEN

SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSTALLED DURING CONSTRUCTION 4. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.

5. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED. 6. ANY SOIL, MUD OR DEBRIS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED PRIOR TO THE END OF EACH WORK DAY. 7. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO DESIGNATED

REVISIONS

INSPECTION TASK	FREQUENCY OF INSPECTION	RESPONSIBLE PARTIES
REMOVE SEDIMENT DEBRIS TRANSPORTED OFF-SITE WHERE VEHICLES ARE ENTERING AND EXISTING THE SITE	DAILY	OWNER
INSPECT SITE TO ENSURE ALL EROSION CONTROL MEASURES ARE WORKING PROPERLY	ONCE A WEEK AND WITHIN 24 HOURS OF END OF A 0.5 IN OR GREATER STORM	OWNER
INSPECT, CLEAN OR REPLACE INLET FILTER BASKETS	ONCE A WEEK	OWNER
INSPECT, REPAIR, OR REPLACE SILT FENCE	ONCE A WEEK	OWNER
INSPECT, CLEAN OR REPLACE CONSTRUCTION ENTRANCE	ONCE A WEEK	OWNER
CHECK FOR DEBRIS IN ADJOINING DETENTION FACILITY, ESPECIALLY THE OUTLET PIPE AND SURROUNDING AREA	ONCE A WEEK	OWNER

THE CONTRACTOR SHALL MAINTAIN THE SEDIMENT AND EROSION CONTROL MEASURES IDENTIFIED ON THE PLAN AND ANY OTHER MEASURES INSTALLED DURING THE CONSTRUCTION PHASES OF THE PROJECT UNTIL THE SITE IS STABILIZED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.

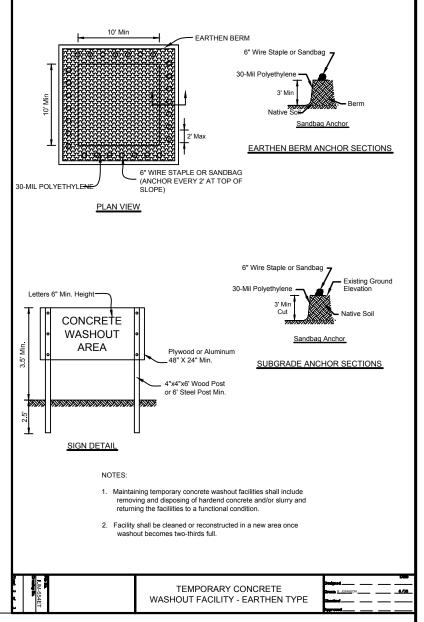
> AND THE RESPONSIBILITY OF: TAT GLOBAL, LLC 175 S. HIGHPOINT DRIVE ROMEOVILLE, IL 60446 ATT: BRUNO BOTTARELLI 630 210 6227

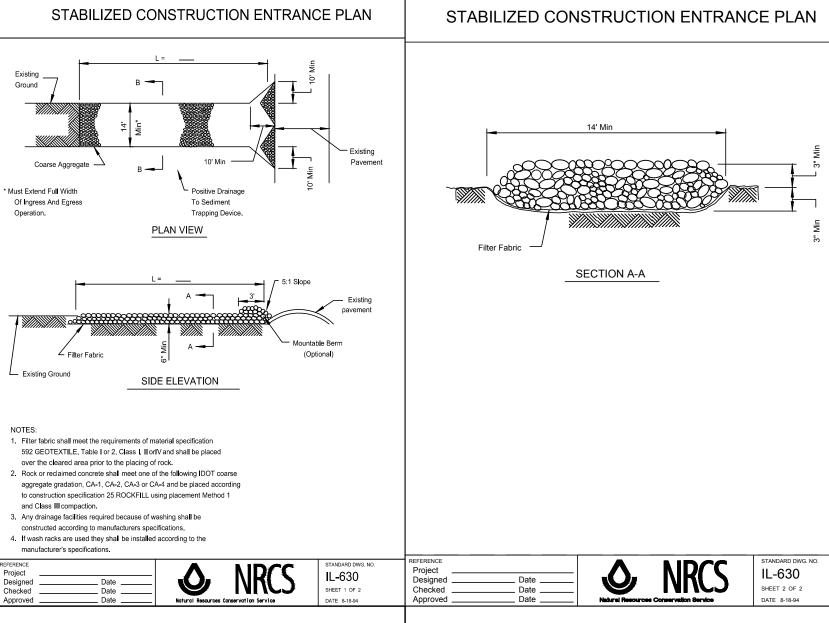
MAINTENANCE OF EROSION CONTROL MEASURES

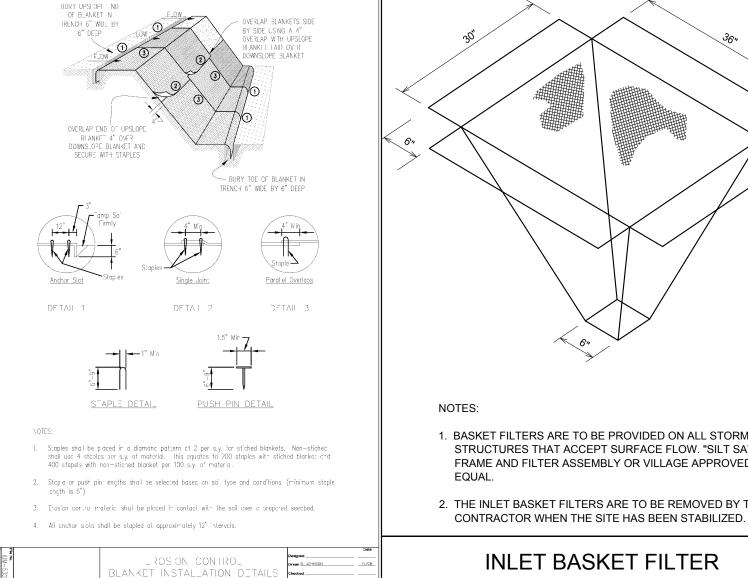
SUB-CONTRACTOR CERTIFICATION STATEMENT

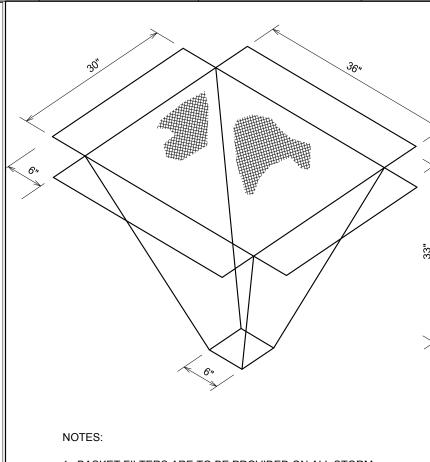
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT (ILR 100000) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION

DATED THIS. COMPANY ADDRESS: TELEPHONE:



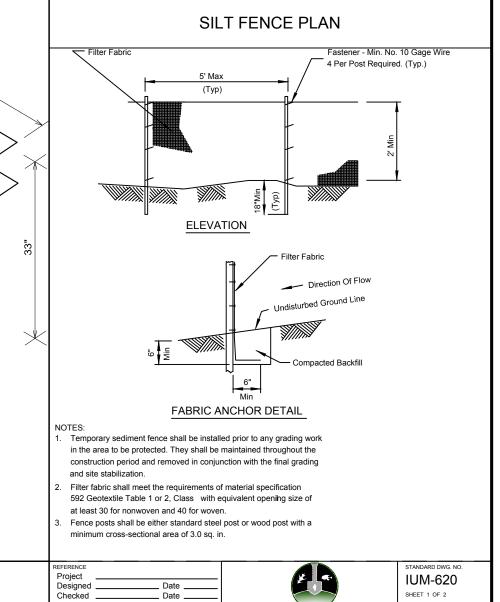






1. BASKET FILTERS ARE TO BE PROVIDED ON ALL STORM STRUCTURES THAT ACCEPT SURFACE FLOW. "SILT SAVER" FRAME AND FILTER ASSEMBLY OR VILLAGE APPROVED 2. THE INLET BASKET FILTERS ARE TO BE REMOVED BY THE

INLET BASKET FILTER



DESCRIPTION NO. DATE DESCRIPTION ILE NAME: HIGHPOINT TOWN SQUARE 1 |11-23-16 | ISSUED FOR HUD REVIEW 4.1 ERO16036.DWG 2 | 01-18-17 | REVISED PER VILLAGE COMMENTS ORIGINAL ISSUE DATE: CHECKED BY: **APARTMENTS** 3 |02-17-17 | REVISED PER VILLAGE COMMENTS 09-19-16 PROJECT MANAGER: ROMEOVILLE

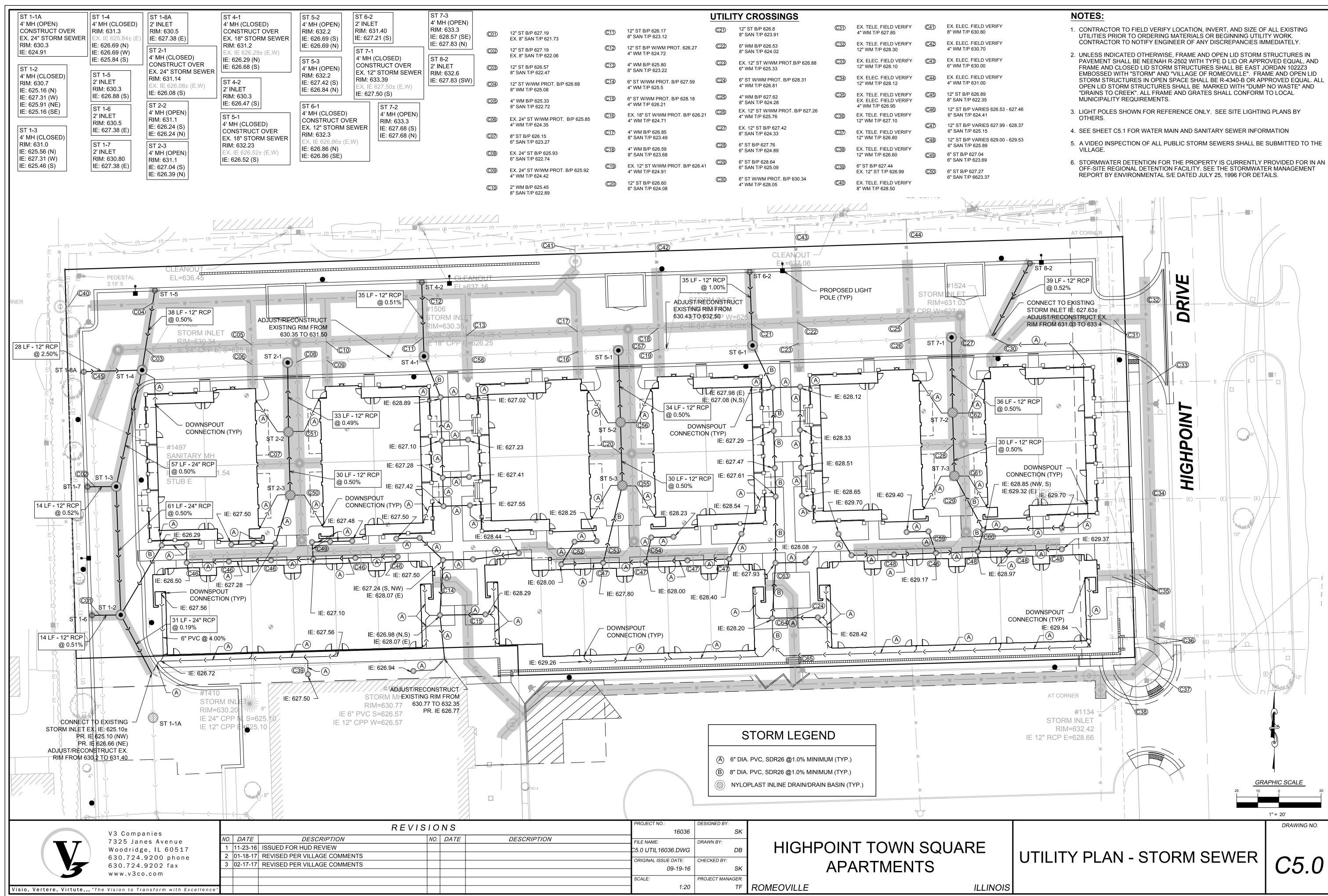
16036

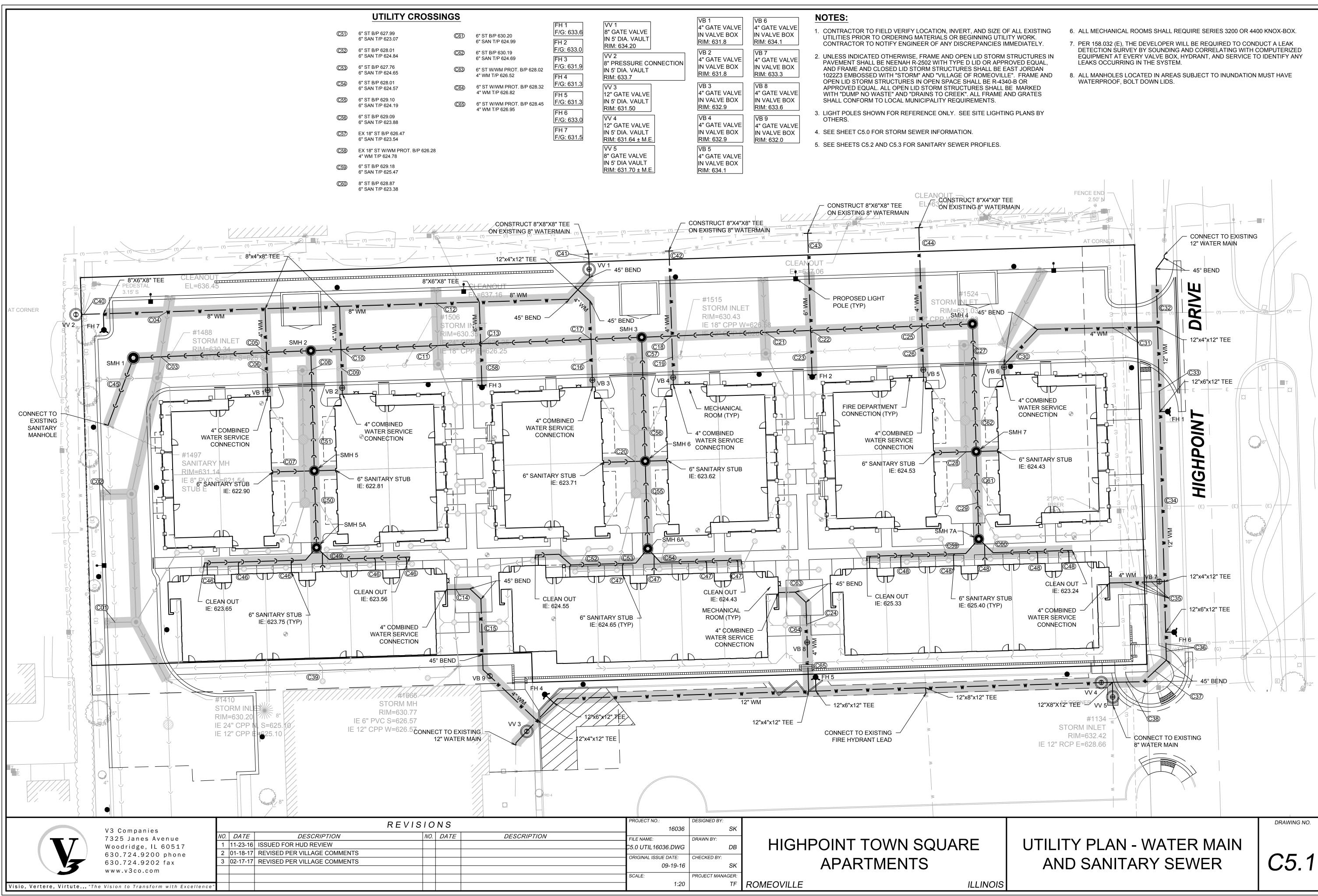
ILLINOIS

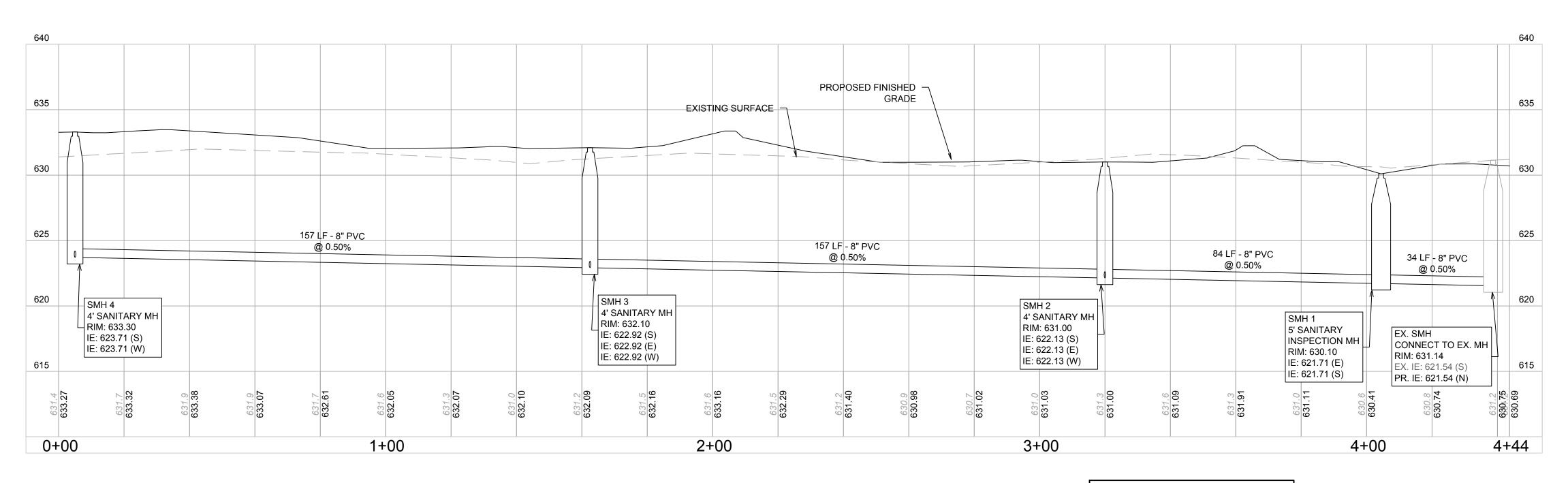
EROSION CONTROL NOTES AND DETAILS

DRAWING NO.

C4.1 ERO16036.DWG - 2/17/2017 11:44: AM

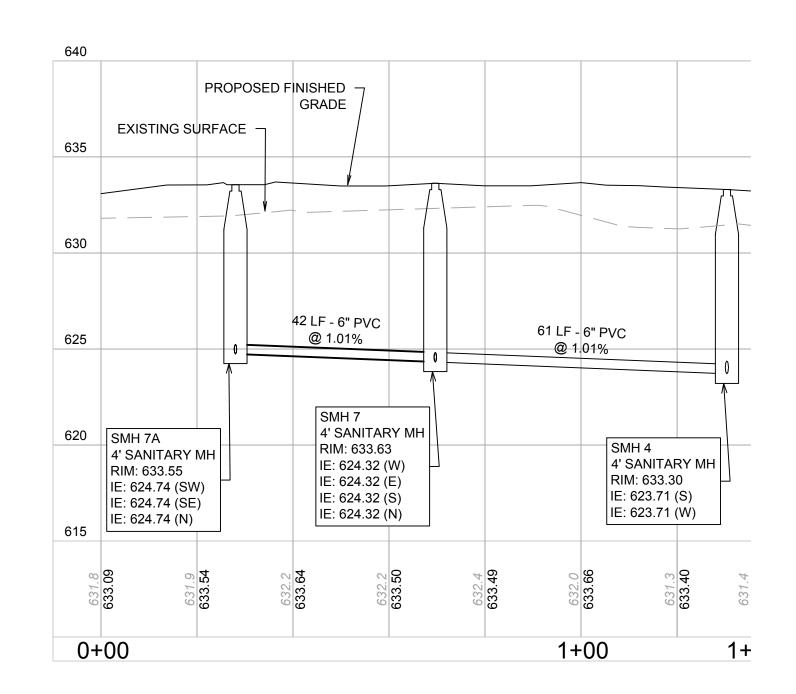




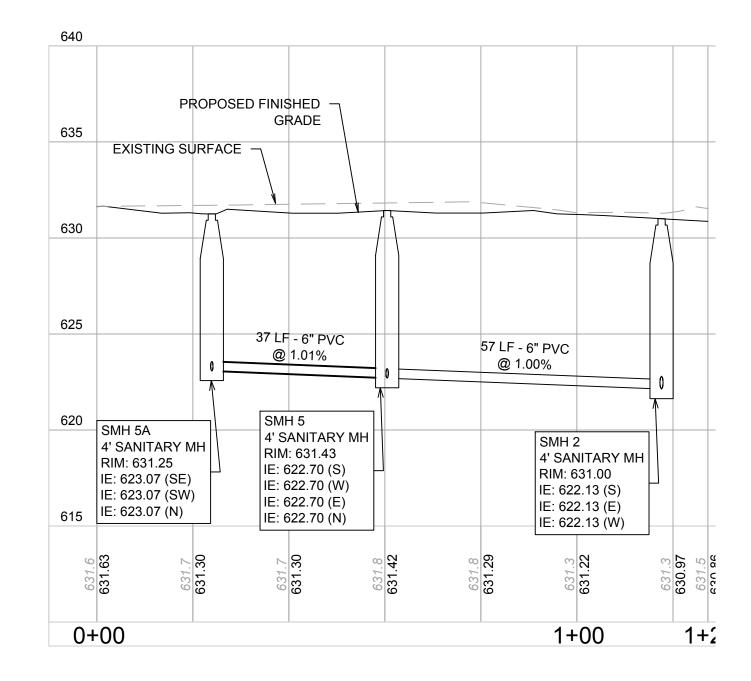


SANITARY SEWER PROFILE 1 SCALE: HORIZ.: 1" = 10' VERT.: 1" = 20'

1. PVC SDR 26 WHEN PIPE <15' DEEP. 2. PVC SDR 21 WHEN PIPE 15'-20' DEEP. 3. PVC SDR 18 WHEN PIPE > 20' DEEP.



PROPOSED FINISHED GRADE EXISTING SURFACE 635 630 42 LF - 6" PVC 625 59 LF - 6" PVC @ 1.01% @ 1.00% 4' SANITARY MH 620 4' SANITARY MH RIM: 632.53 4' SANITARY MH RIM: 632.10 IE: 623.51 (S) RIM: 632.45 IE: 622.92 (S) IE: 623.51 (W) IE: 623.93 (SW) IE: 622.92 (E) IE: 623.51 (E) IE: 623.93 (SE) IE: 622.92 (W) IE: 623.51 (N) IE: 623.93 (N) 0+00 1+00



SANITARY SEWER PROFILE 2 SCALE: HORIZ.: 1" = 20'

SANITARY SEWER PROFILE 3 SCALE: HORIZ.: 1" = 20' VERT.: 1" = 5'

SANITARY SEWER PROFILE 4 SCALE: HORIZ.: 1" = 20' VERT.: 1" = 5'

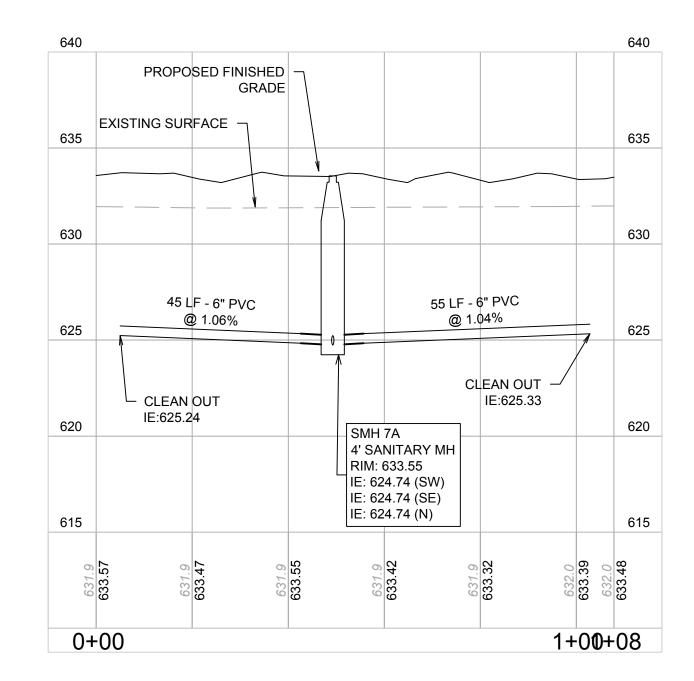
V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com

REVISIONS 16036 NO. DATE NO. DATE DESCRIPTION DESCRIPTION FILE NAME: 1 11-23-16 ISSUED FOR HUD REVIEW C5.0 UTIL16036.DWG 2 01-18-17 REVISED PER VILLAGE COMMENTS ORIGINAL ISSUE DATE: CHECKED BY: 3 | 02-17-17 | REVISED PER VILLAGE COMMENTS 09-19-16 SCALE: PROJECT MANAGER: Visio, Vertere, Virtute... "The Vision to Transform with Excellence

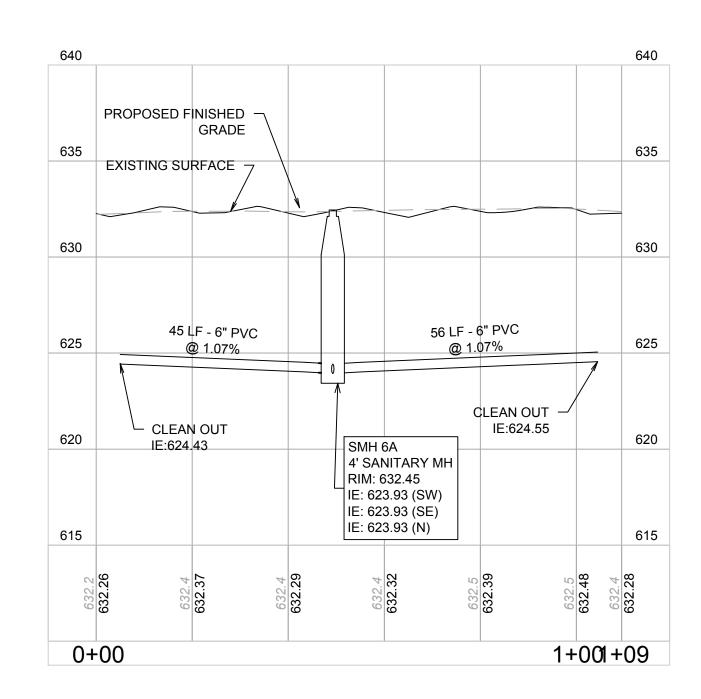
HIGHPOINT TOWN SQUARE **APARTMENTS** ILLINOIS TF ROMEOVILLE

SANITARY PROFILES

DRAWING NO.



SANITARY SEWER PROFILE 5 SCALE: HORIZ.: 1" = 20' VERT.: 1" = 5'



SANITARY SEWER PROFILE 6 SCALE: HORIZ.: 1" = 20' VERT.: 1" = 5'

NOTE:
1. PVC SDR 26 WHEN PIPE <15' DEEP. 2. PVC SDR 21 WHEN PIPE 15'-20' DEEP. 3. PVC SDR 18 WHEN PIPE > 20' DEEP.

16036

09-19-16

CHECKED BY:

PROJECT MANAGER:

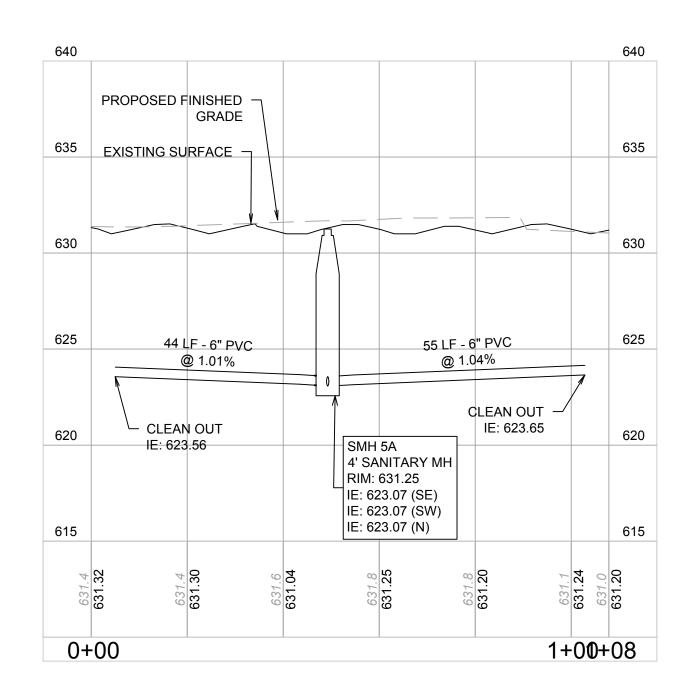
TF ROMEOVILLE

FILE NAME:

SCALE:

C5.0 UTIL16036.DWG

ORIGINAL ISSUE DATE:



SANITARY SEWER PROFILE 7 SCALE: HORIZ.: 1" = 20' VERT.: 1" = 5'

V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com

REVISIONS NO. DATE NO. DATE DESCRIPTION DESCRIPTION 1 11-23-16 ISSUED FOR HUD REVIEW 2 01-18-17 REVISED PER VILLAGE COMMENTS 3 02-17-17 REVISED PER VILLAGE COMMENTS Visio, Vertere, Virtute... "The Vision to Transform with Excellence

HIGHPOINT TOWN SQUARE **APARTMENTS**

ILLINOIS

SANITARY PROFILES

DRAWING NO.

