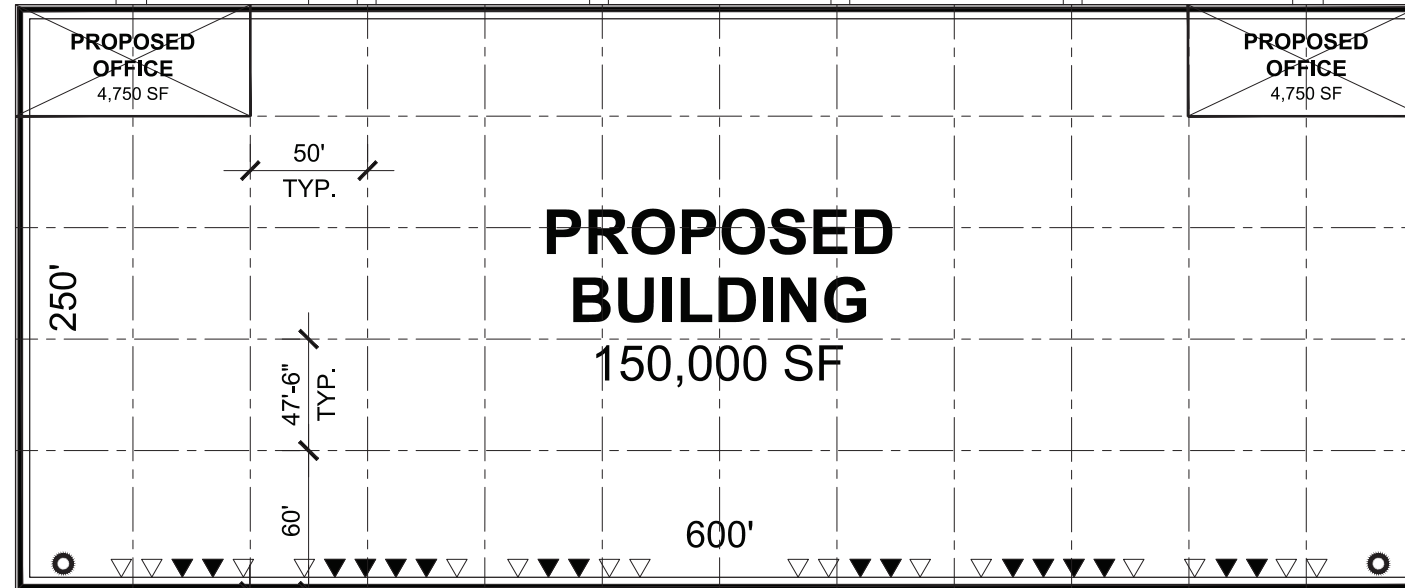


BELMONT DRIVE

PARAGON DRIVE

PARAGON DRIVE



PROPOSED  
BUILDING  
150,000 SF

PROPOSED  
OFFICE  
4,750 SF

PROPOSED  
OFFICE  
4,750 SF

- SITE LEGEND:**
- ◀ DOCK HIGH TRUCK DOOR
  - ◁ FUTURE TRUCK DOOR
  - DRIVE-IN TRUCK DOOR

**PROJECT DATA:**

SITE AREA:		AUTOMOBILE PARKING:	
GROSS:	9.16 AC (399,151 SF)	117 STALLS	
BUILDING AREA:		TRAILER PARKING:	32 STALLS
F.A.R.		37.58%	
		TRUCK DOORS:	
		PROPOSED:	16 TOTAL
		FUTURE:	16 TOTAL
		FUTURE TOTAL:	32 TOTAL
		DRIVE-IN-DOORS:	2 TOTAL

SITE PLAN

1"=30'



1301 West 22nd Street, Suite 800  
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**Architect**

State of Illinois Design Firm Registration  
No. 184-008069

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**PARAGON 150 FINAL PDD DRAWINGS**

PARAGON DRIVE & BELMONT AVENUE  
ROMEIOVILLE, IL

**ISSUANCES**

1	Permit and bid	08/01/16
#	Description	Date

**DRAWING INFORMATION**

Scale:  
Date: 08-01-2016  
Checked By: BW  
Drawn By: SF  
Duke Realty Job #: DUKEAH-891  
A/E Job #: CH116-0121-00

**DRAWING / SHEET TITLE**

SITE PLAN

**SHEET NUMBER**

A100

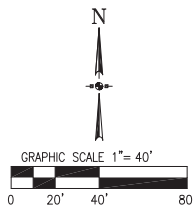
## CIVIL ENGINEER



## PARAGON 150

PARAGON DRIVE AND BELMONT AVENUE  
ROMEIOVILLE, IL

## DIMENSIONAL CONTROL AND PAVING PLAN



## SITE DATA TABLE:

PROPERTY AREA:	9.19 ACRES
IMPERVIOUS AREA: (84%)	7.73 ACRES
PERVIOUS AREA: (16%)	1.46 ACRES
CAR PARKING PROVIDED:	117 STALLS
STANDARD PARKING:	112 STALLS
HANDICAP ACCESSIBLE PARKING:	5 STALLS
TRAILER PARKING PROVIDED:	32 STALLS

## PAVEMENT HATCH LEGEND:

- ASPHALT PAVEMENT  
1-1/2" HMA SURFACE COURSE, MIX D, N50  
1-1/2" HMA BINDER COURSE, IL 19.0, N50  
8" CA-6 CRUSHED STONE  
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
- HEAVY DUTY ASPHALT PAVEMENT  
2" HMA SURFACE COURSE, MIX D, N50  
3" HMA BINDER COURSE, IL 19.0, N50  
10" CA-6 CRUSHED STONE  
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
- HEAVY DUTY CONCRETE PAVEMENT  
8" PORTLAND CEMENT CONCRETE  
4,000 PSI, A/E  
6" CA-6 CRUSHED STONE  
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
- HEAVY DUTY CONCRETE DRIVEWAY PAVEMENT  
8" PORTLAND CEMENT CONCRETE  
4,000 PSI, A/E, CLASS SI  
6X6 WELDED WIRE MESH  
6" CA-6 CRUSHED STONE  
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
- CONCRETE SIDEWALK  
6" PORTLAND CEMENT CONCRETE  
4,000 PSI, A/E  
4" CA-6 CRUSHED STONE  
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR

## NOTE:

REFER TO THE PROJECT GEOTECHNICAL ENGINEERING SERVICES REPORT FOR INFORMATION REGARDING THE EXISTING SOIL CONDITIONS, PROPOSED SUBGRADE PREPARATION REQUIREMENTS AND PROPOSED PAVEMENT SECTION RECOMMENDATIONS.

## CURB LEGEND:

- B6.12 CURB AND GUTTER
- REVERSE PITCH B6.12 CURB AND GUTTER
- DEPRESSED CURB AND GUTTER

## GEOMETRIC NOTES:

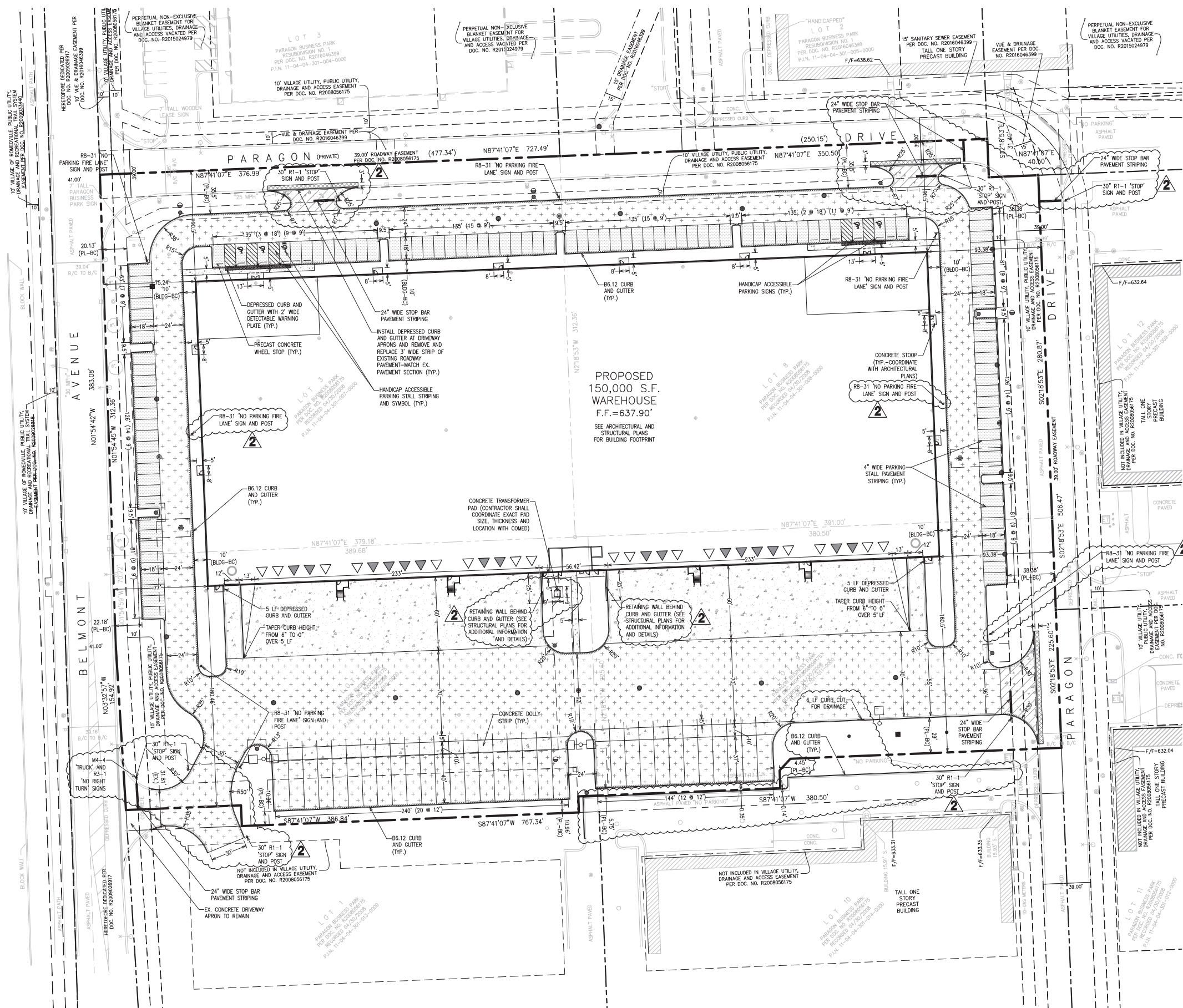
- ALL DIMENSIONS ARE MEASURED FROM EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS.
- ALL PROPOSED PAVEMENT MARKINGS SHALL BE 4" UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS SHALL CONFORM TO ARTICLE 1095.02 OF THE I.D.O.T. STANDARD SPECIFICATIONS.
- THREE (3) DRILLED AND GROUTED NO. 5 REINFORCING BARS SHALL BE INSTALLED TO TIE THE NEW DEPRESSED CURB AND GUTTER TO THE EXISTING CURB AND GUTTER AT ALL PARAGON DRIVE ENTRANCE LOCATIONS.
- CONCRETE JOINT SPACING SHALL CONFORM TO IDOT STANDARDS AND AMERICAN CONCRETE INSTITUTE GUIDELINES.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- BUILDING DIMENSIONS AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLANS FOR PROPOSED TREE AND PLANTING REQUIREMENTS.
- SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

## DRAWING / SHEET TITLE

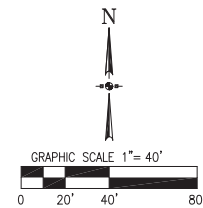
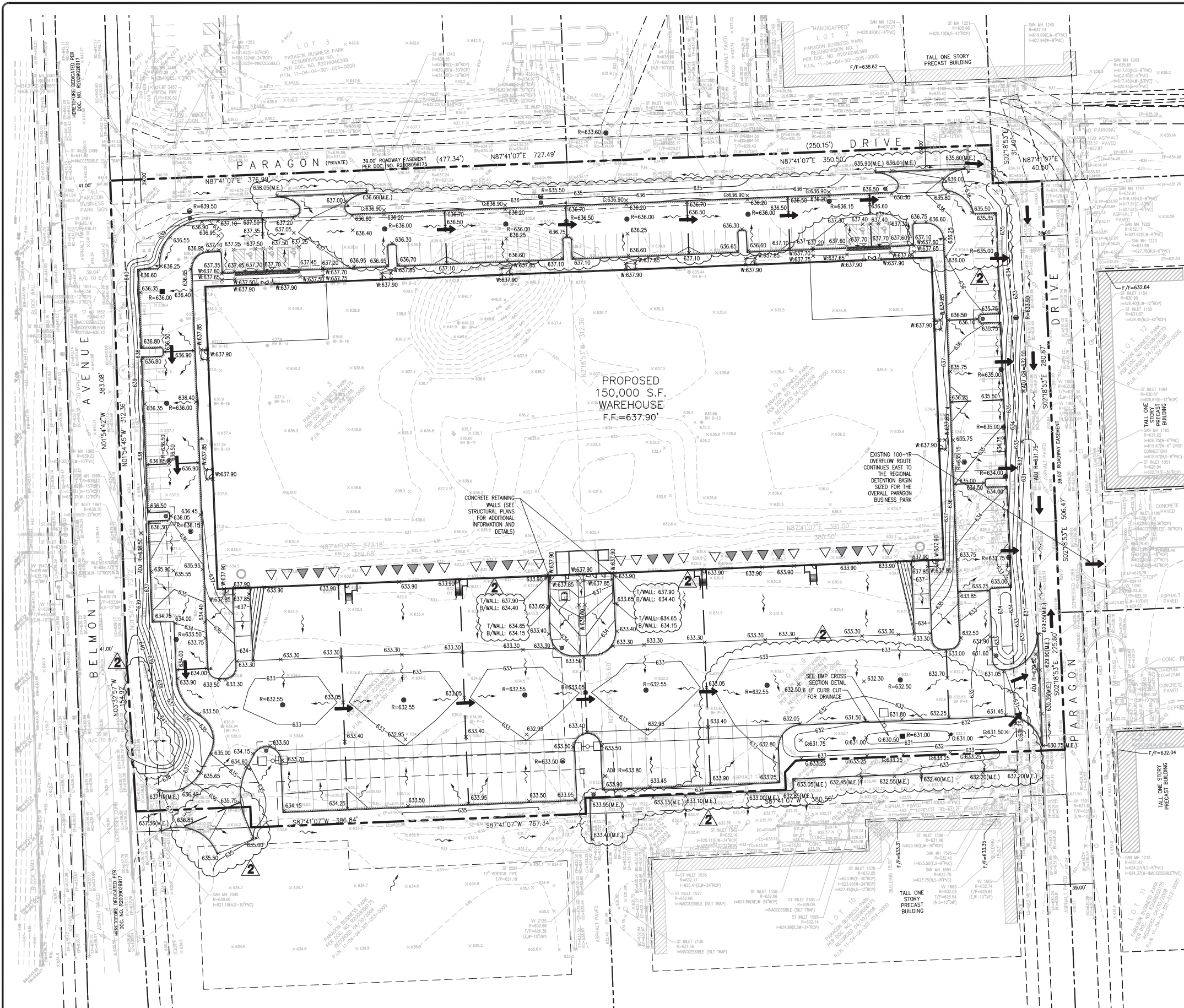
## DIMENSIONAL CONTROL AND PAVING PLAN

## SHEET NUMBER

# C202







GRADING LEGEND:

EXISTING CONTOUR	---
EXISTING SPOT ELEVATION	x xxx.xx
PROPOSED CONTOUR	---
PROPOSED SPOT ELEVATION	x xxx.xx
PROPOSED GROUND/FINISHED GRADE ELEVATION	x xxx.xx
PROPOSED TOP OF SIDEWALK ELEVATION	x xxx.xx
PROPOSED RIM ELEVATION	x xxx.xx
MATCH EXISTING ELEVATION	x xxx.xx(ME)
PROPOSED DRAINAGE DIVIDE	---
DRAINAGE DIRECTION	---
OVERFLOW ROUTE	---

GRADING NOTES:

- ALL PROPOSED SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- REFER TO THE PROJECT GEOTECHNICAL ENGINEERING SERVICES REPORT FOR INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND PROPOSED SUBGRADE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, SIDEWALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
- MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS AND ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 2% IN ANY DIRECTION. HANDICAP ACCESSIBLE ROUTE DENOTED BY: ---
- MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE HANDICAP ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
- CONTRACTOR SHALL COORDINATE EXTERIOR DOORWAY AND FINISHED GRADE ELEVATIONS WITH ARCHITECTURAL AND STRUCTURAL PLANS. ALL HANDICAP ACCESSIBLE DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING STORM SEWERS WITHIN THE PROJECT AREA DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
- SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



1301 West 22nd Street, Suite 800  
Oak Brook, IL 60523  
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CIVIL ENGINEER



PARAGON 150

PARAGON DRIVE AND BELMONT AVENUE  
ROMEIOVILLE, IL

GRADING PLAN

ISSUANCES

1	ISSUE FOR BID & PERMIT	08.01.16
2	REVISED PUD SUBMITTAL	08.26.16

DRAWING INFORMATION

Scale: 1"=40'  
Date: 08.01.16  
Checked By: RJB  
Drawn By: RJB  
Duke Realty Job #: DUKEAH-99C  
A/E Job #: C085AP.05

DRAWING / SHEET TITLE

GRADING PLAN

SHEET NUMBER

C203



## CIVIL ENGINEER

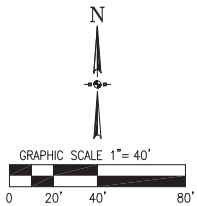


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## PARAGON 150

PARAGON DRIVE AND BELMONT AVENUE  
ROMEIOVILLE, IL

## UTILITY PLAN



### UTILITY CROSSINGS

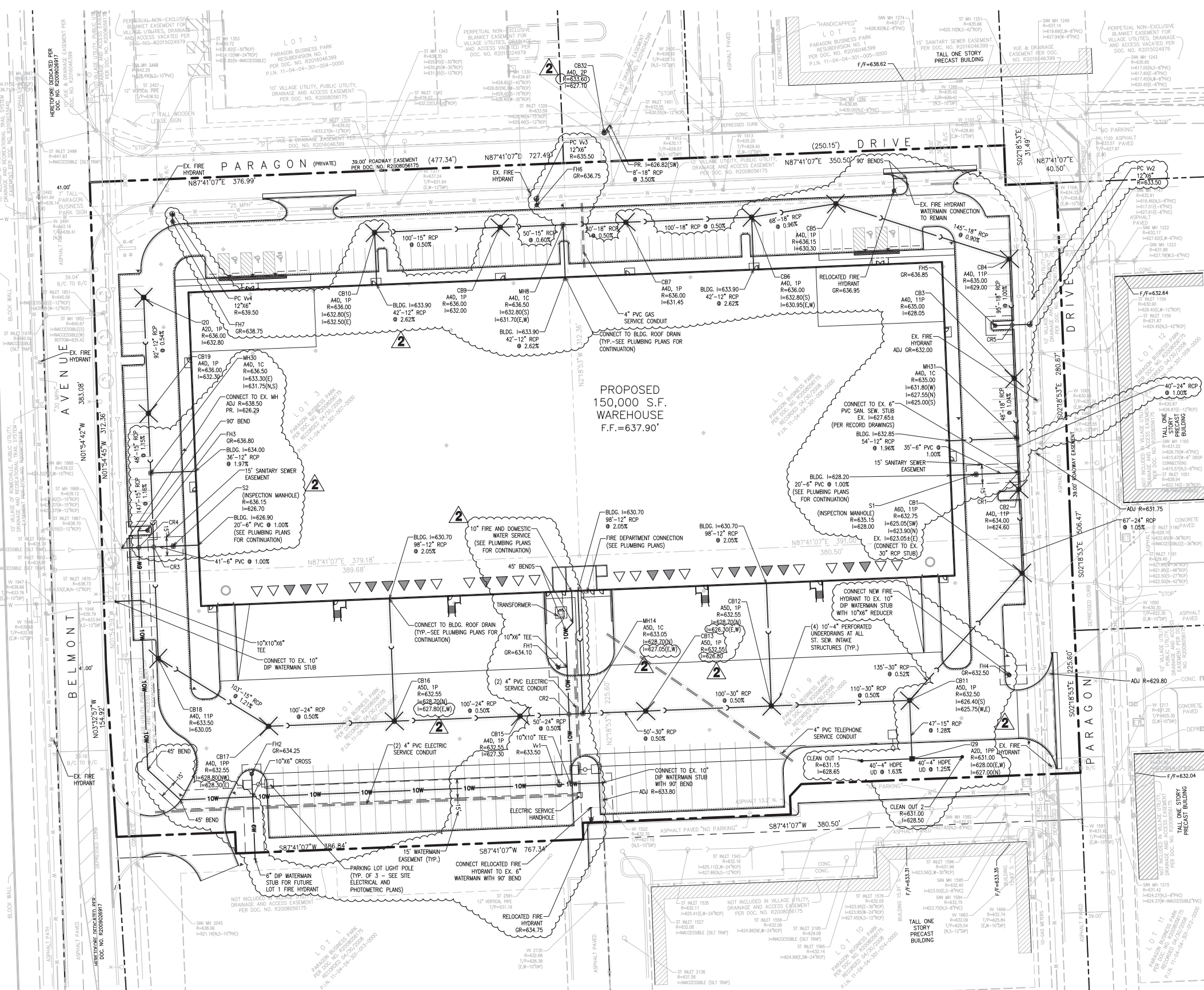
- BOTTOM OF 6" SANITARY = 627.5' ±  
TOP OF PROPOSED 24" STORM = 627.0' ±  
VERTICAL SEPARATION = 0.5'
- BOTTOM OF 24" STORM = 626.8' ±  
LOWER TOP OF 10" WATER = 625.3' ±  
VERTICAL SEPARATION = 1.5'
- BOTTOM OF 15" STORM = 630.9' ±  
TOP OF 6" SANITARY = 627.0' ±  
VERTICAL SEPARATION = 4.0'
- BOTTOM OF 6" WATER = 630.0' ±  
TOP OF 6" SANITARY = 626.8' ±  
VERTICAL SEPARATION = 3.2'
- BOTTOM OF 18" STORM = 628.2' ±  
LOWER TOP OF 6" WATER = 626.7' ±  
VERTICAL SEPARATION = 1.5'

### UTILITY NOTES:

- ALL UTILITY LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURES IN LINEAR FEET.
- ALL EXISTING UTILITY RIMS, GRADE RINGS, PEDESTALS, ETC. SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED FINISHED GRADE.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
- GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D1557, OVER ALL UTILITIES WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS, SIDEWALKS, ETC. GRANULAR TRENCH BACKFILL NOTED ON THE PLANS BY: .....
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL EXCAVATE AND FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
- SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS INCLUDING ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.

### VILLAGE OF ROMEOVILLE UTILITY NOTES:

- ALL WATER MAINS SHALL BE WRAPPED WITH A POLYWRAP WITH A MINIMUM THICKNESS OF 8MM TO PREVENT CORROSION FROM ACIDIC SOILS THAT MAY EXIST AND TO REDUCE THE POTENTIAL FOR STRAY ELECTRICAL CURRENTS.
- WATERMAIN DISINFECTION AND TESTING SHOULD BE PERFORMED WITH A WATER REPRESENTATIVE PRESENT.
- ALL FIRE HYDRANT VALVE BOXES MUST BE PROPERLY INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- A MINIMUM OF 48 HOURS PRIOR TO ANY WATER USAGES (I.E. FLUSHES, FILLS, ETC.), THE CONTRACTOR MUST CALL THE VILLAGE OF ROMEOVILLE WATER DEPARTMENT AT 815-886-1870 TO GET APPROVAL OF SAID USAGE. ANY UNAUTHORIZED USAGES WILL RESULT IN PENALTIES.
- ALL WATER APPURTENANCES SHALL BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE AS ONE SUBMITTAL PACKAGE FOR WRITTEN APPROVAL PRIOR TO ORDERING.
- ALL SANITARY SEWER APPURTENANCES SHALL BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE AS ONE SUBMITTAL PACKAGE FOR WRITTEN APPROVAL PRIOR TO ORDERING.
- CONTRACTOR SHALL AVOID DAMAGING THE FIRE HYDRANT PAINT DURING INSTALLATION AND BACKFILLING. IF REQUESTED BY THE VILLAGE OF ROMEOVILLE WATER SUPERINTENDENT, ANY HYDRANTS EXHIBITING EXCESSIVE ROCK DAMAGE WILL BE REQUIRED TO BE SAND BLASTED AND REPAINTED BY AN APPROVED CONTRACTOR PRIOR TO FINAL ACCEPTANCE.
- ALL WATERMAIN VALVES SHALL BE RESILIENT SEATED GATE TYPE ANWW C509, CAST IRON BODY, BRONZE-FITTED, MODIFIED WEDGE DISC WITH NON-RISING STEM AND O-RING PACKING DESIGNED FOR 200 POUND WORKING PRESSURE WITH NON-RISING STEM. 1" TAPS WITH 1" SHUTOFF VALVES SHALL BE INSTALLED UPSTREAM AND DOWNSTREAM OF THE VALVE WITHIN THE VAULT.



### STORM SEWER NOTES:

STORM SEWER STRUCTURE SYMBOL LEGEND:  
I = INLET  
CB = CATCH BASIN  
MH = MANHOLE

STORM SEWER FRAME AND GRATE/LID SYMBOL LEGEND:  
IC = IDOT TYPE 1 (CLOSED), NEENAH R-1713, EIJW 102223  
IO = IDOT TYPE 1 (OPEN), NEENAH R-2504-D, EIJW 105021 (M3 GRATE)  
1PP = IDOT TYPE 1 (OPEN), NEENAH R-2504-C  
11P = IDOT TYPE 11 (OPEN), NEENAH R-3281-A WITH TYPE C GRATE, EIJW 7210

### 2P = NEENAH R-2557-G

EXAMPLE:  
MH3  
A40, 1P  
MANHOLE #3, TYPE A, 4' DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)

- ALL 12" AND 15" STORM SEWER SHALL BE RCP CLASS V, ALL OTHER STORM SEWER SHALL BE RCP CLASS IV, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL STORM SEWER CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE - DRAINS TO WATERWAYS"

### SANITARY SEWER NOTES

SANITARY STRUCTURE SYMBOL LEGEND:  
S = SANITARY MANHOLE

ALL SANITARY SEWER INSPECTION MANHOLES SHALL BE 3' DIAMETER AND SHALL HAVE THE FOLLOWING FRAME AND LID:  
IC: IDOT TYPE 1 (CLOSED), EIJW 102223

- ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS OTHERWISE NOTED ON THE PLANS.

### WATER MAIN NOTES

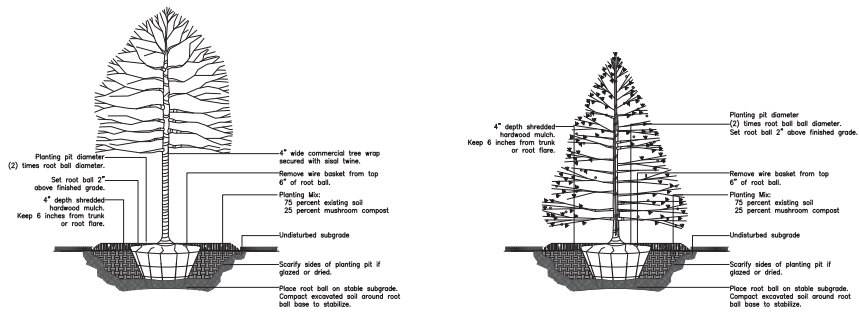
WATER MAIN STRUCTURE SYMBOL LEGEND:  
Vv = VALVE VAULT  
Vb = VALVE BOX  
PC = PRESSURE CONNECTION  
FH = FIRE HYDRANT ASSEMBLY  
GR = FIRE HYDRANT GRADE RING

- ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS OTHERWISE NOTED ON THE PLANS.

- BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
- MAINTAIN A MINIMUM OF 5.5'-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.
- ALL PROPOSED WATER MAIN INSTALLED WITHIN FILL MATERIAL SHALL BE RESTRAINED USING MEGALUGS (EBAA IRON) TO A POINT 50'-FT PAST EACH SIDE OF THE AREA WHERE THE WATER MAIN IS INSTALLED WITHIN FILL.

- ALL WATERMAINS SHALL BE WRAPPED IN POLYETHYLENE USING METHOD B.
- ALL WATERMAIN JOINTS SHALL BE RESTRAINED WITH MEGALUGS (EBAA IRON ONLY).





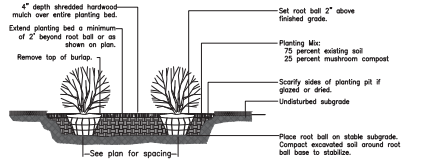
Detail  
Deciduous Tree Planting

Detail  
Evergreen Tree Planting

#### Landscape Calculations

Category	Required	Proposed
Parade Trees		
Belmont Avenue (521')	10	10 existing trees
Total	10	10
Perimeter		
North (800')	11	*2 shade trees
East (470')	7	*2 shade trees
South (892')	11	11 + 4 shade trees + 7 evergreen trees
West (521')	7	*4 + 1 shade tree + 3 evergreen trees
Total	36	19

\* Required Perimeter trees adjacent to Belmont Drive and Paragon Drive are not provided due to conflicts with existing and proposed utilities in conformance with Section 159.30 (D)(4)(5)(i) of the Zoning Code.



Detail  
Shrub Planting

#### Notes

The owner of the premises shall be responsible for the maintenance, repair and replacement of all landscape materials.

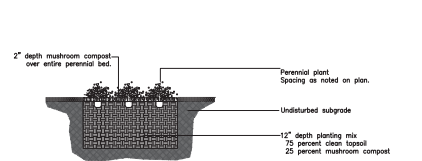
All planting beds shall be mulched as shown.

Village code requires lawn areas to be maintained so that the grass does not exceed six inches in height.

Trees shall not be planted within ten (10) feet of any fire hydrant, manhole, catch basin, or utility structure. Trees shall not be planted within five (5) feet of any underground utility line.

Required loading dock screening (Section 159.30 (D)(4)(i) of the Zoning Code) adjacent to trailer storage area is not provided due to conflicts with trailer overhang.

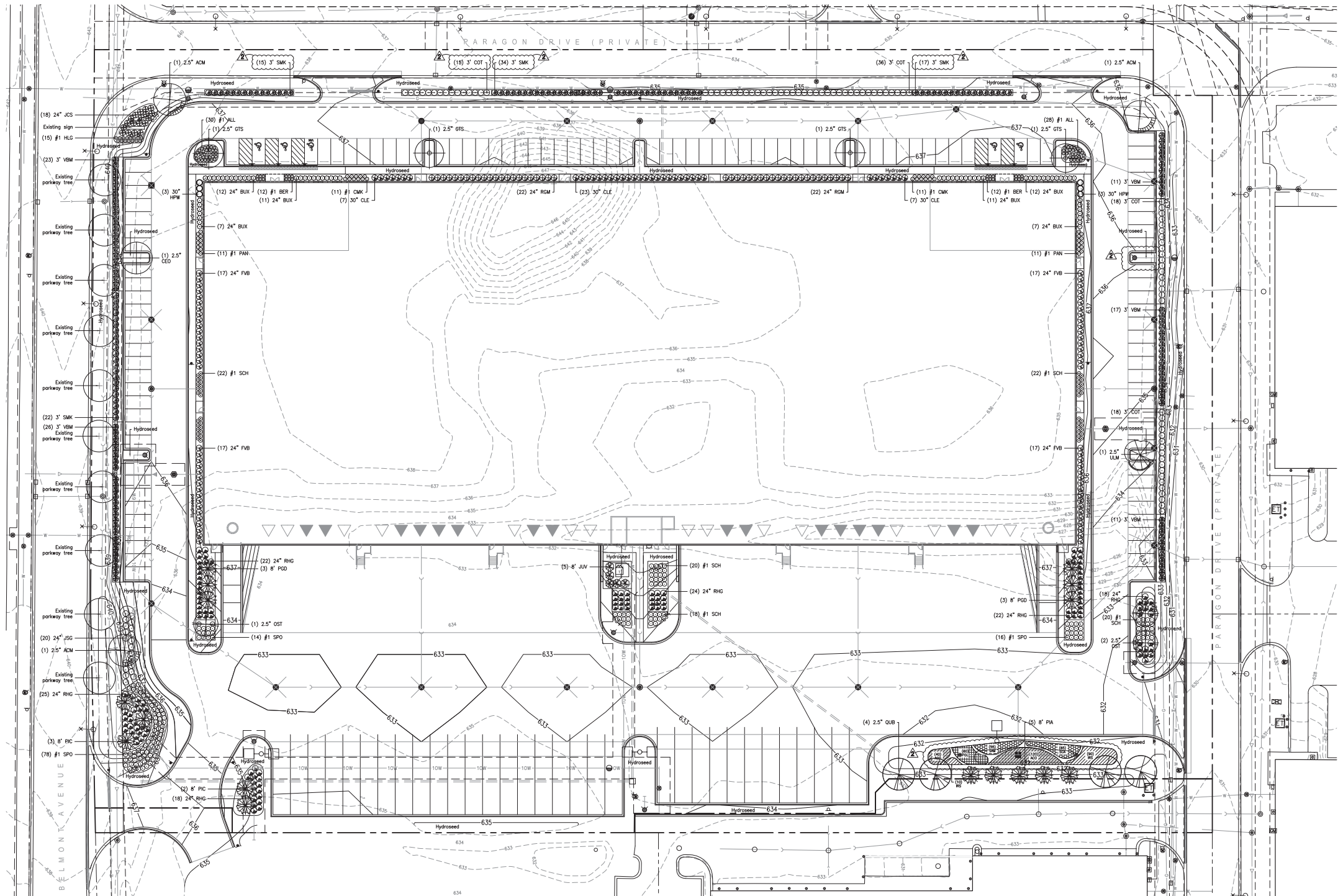
All hydroseeded areas shall receive 6" depth clean topsoil.



Detail  
Perennial Planting

#### Plant List

Shade Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACM	3	2.5"		Acer miquelii 'Miquelii'	State Street Maple	BB
CSO	1	2.5"		Celtis occidentalis 'Prairie Pride'	Profile Pride Common Hackberry	BB
GTS	4	2.5"		Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	BB
OST	3	2.5"		Ostrya virginiana	Ironwood/American Hopbroombeam	BB
QUB	4	2.5"		Quercus bicolor	Swamp White Oak	BB
ULM	1	2.5"		Ulmus 'Morton Glossy'	Triumph Elm	BB
Total						16
Evergreen Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
JUV	5	8"		Juniperus virginiana	Eastern Redcedar	BB
POD	6	8"		Picea glauca 'Densata'	Black Hills Spruce	BB
PA	5	8"		Picea abies	Norway Spruce	BB
PC	5	8"		Picea pungens	Colorado Green Spruce	BB
Evergreen Trees - TOTAL						21
Shrubs	Key	Qty.	Size	Botanical Name	Common Name	Remarks
BUX	60	24"		Buxus x microphylla 'Glencoe'	Chicagoland Green Boxwood	BB
CLE	37	30"		Cedrus atlantica 'Hummelbräu'	Hummelbräu Summerweet	BB
COT	187	3"		Corethroscytus acutifolius	Peking Cotoneaster	BB
FVB	18	24"		Forbesia viridissima 'Bronzeola'	Bronze Dwarf Forsythia	BB
HPW	6	30"		Hydrangea paniculata 'Pinky Winky'	Pinky Winky Hydrangea	BB
JCS	18	24"		Juniperus chinensis var. sargentii	Sargent Juniper	BB
JSD	20	24"		Juniperus chinensis 'Sea Green'	Sea Green Juniper	BB
KSM	44	24"		Ribes cereum 'Green Mound'	Green Mound Alpine Currant	BB
RHG	128	24"		Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	BB
SKM	180	3"		Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	BB
VSM	61	3"		Viburnum dentatum 'Christina'	Blue Muffin Arrowwood Viburnum	BB
Total						618
Perennials and Ornamental Grasses	Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACO	160	2"		Achillea millefolium	Sweet Flag	Plant 1
ALL	58	1"		Allium Summer Beauty	Summer Beauty Allium	Container
BER	24	1"		Bergenia cordifolia 'Winter Glow'	Winter Glow Bergenia	Container
CMK	22	1"		Calamagrostis canadensis 'Karl Foerster'	Feather Reed Grass	Container
HG	15	1"		Hemerocallis 'Little Grapette'	Little Grapette Daylily	Container
PAN	22	1"		Panicum virgatum	Switch Grass	Container
POL	60	2"		Polygonum amphibium	Water Smartweed	Plant 1
RCS	100	2"		Rhus glabra 'Chippewa's Rush'	Chippewa's Rush	Plant 1
SAM	55	2"		Scirpus americanus	Hard Rush	Plant 1
SCA	100	1"		Schizanthus scaberrimus	Little Bluet	Container
SPO	100	1"		Sporobolus heterophyllus	Profile Droopseed	Container
Perennials and Ornamental Grasses - TOTAL						791
PLANT MATERIALS - TOTAL						1446



Scale  
1" = 30'

North

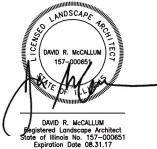
**Duke**  
**REALTY**

1301 West 22nd Street, Suite 800  
Oak Brook, IL 60063  
847.232.5400 • 847.232.5691 (fx)

#### LANDSCAPE ARCHITECT

DAVID R. McCALLUM ASSOCIATES, INC.  
350 N. MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048  
(847) 362-0209

**McCALLUM**  
ASSOCIATES



Professional Seal

**PARAGON 150**  
PARAGON DRIVE AND BELMONT AVENUE  
ROMEDEVILLE, IL

#### ISSUANCES

1	Issue for Bid & Permit	08.01.16
2	Revised PUD Submittal	08.26.16

# Description Date

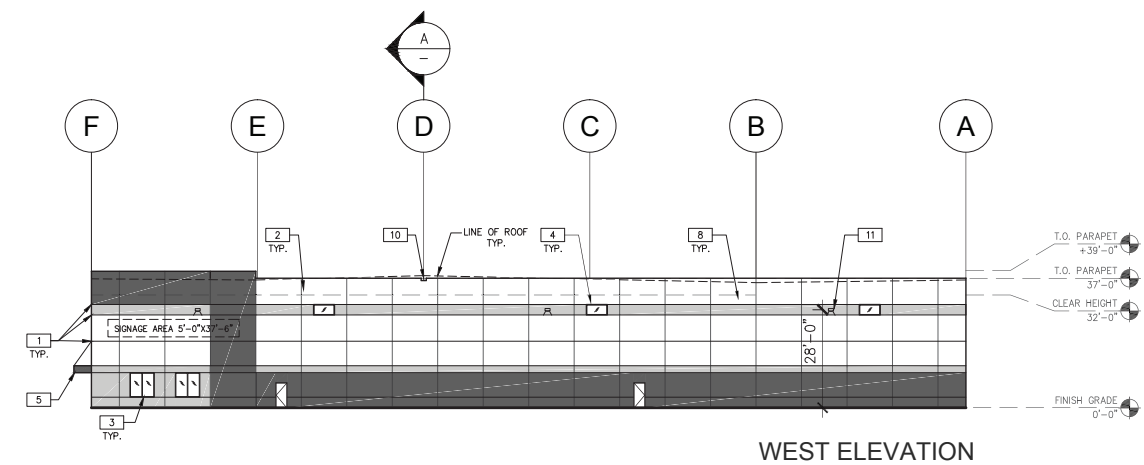
#### DRAWING INFORMATION

Scale: 1" = 30'  
Date: 08.01.16  
Checked By: DRM  
Drawn By: DRM  
Duke Realty Job #: DUKEAH-891  
A/E Job #: 432616

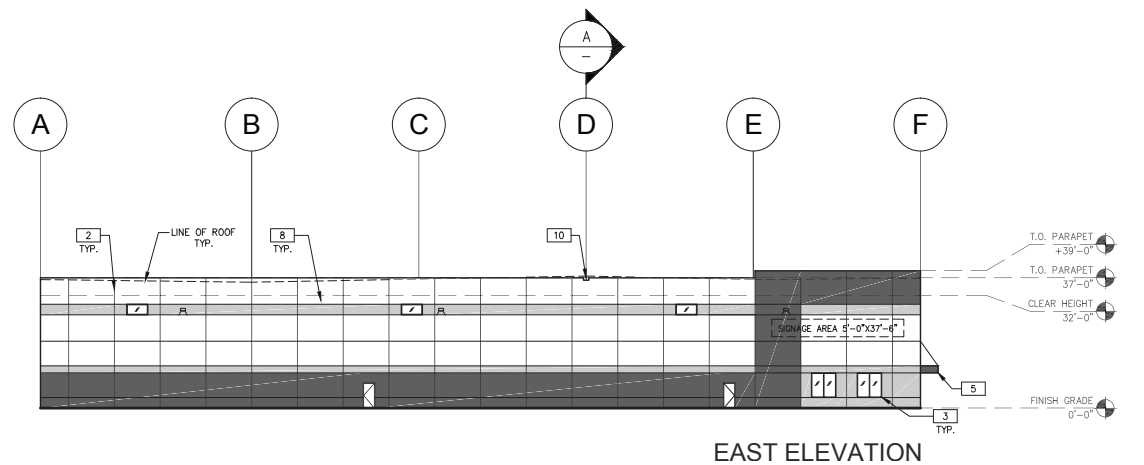
#### DRAWING / SHEET TITLE

LANDSCAPE PLAN  
SHEET NUMBER

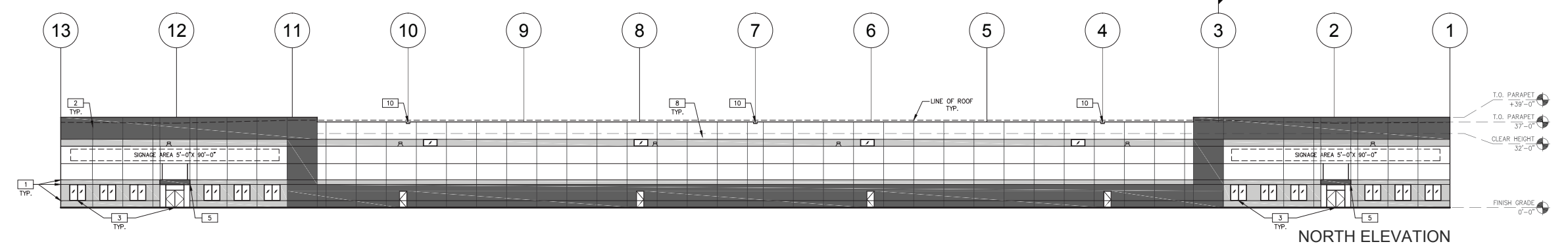
**L201**



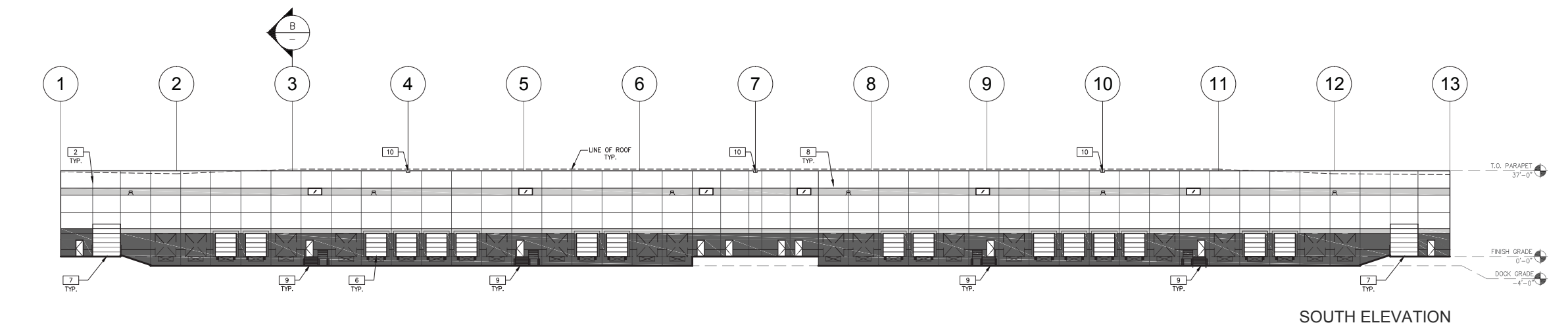
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

ELEVATIONS  
SCALE: 1"=20'

- ELEVATION NOTES**  
SEE SHEET A0.2 FOR GENERAL NOTES
- 1 PRECAST REVEALS, TYP.
  - 2 PANEL JOINT, TYP.
  - 3 1" THICK INSULATED GLAZING & DOORS AND CLEAR ANODIZED ALUMINUM STOREFRONT FRAMES - REFER TO SPECS.
  - 4 1" THICK INSULATED, TINTED CLERESTORY GLAZING WITH CLEAR ANODIZED ALUMINUM STOREFRONT FRAMES - REFER TO SPECS.
  - 5 PAINTED STEEL CANOPY
  - 6 9' WIDE x 10' HIGH INSULATED DOCK DOOR.
  - 7 12' WIDE x 14' HIGH INSULATED SECTIONAL DRIVE-IN DOOR.
  - 8 10" THICK NOMINAL (R-12) INSULATED PRECAST PANEL - REFER TO FLOOR PLAN FOR SIZES
  - 9 METAL DOCK STAIR - REFER TO DETAIL 11/A7.1
  - 10 OVERFLOW SCUPPER CAST IN TO PRECAST WALL PANEL
  - 11 WALL MOUNTED SITE LIGHTING. SEE PHOTOMETRIC PLAN

Duke  
REALTY

1301 West 22nd Street, Suite 800  
Oak Brook, IL 60523  
847.232.5400 • 847.232.5691 (fx)

Architect

State of Illinois Design Firm Registration  
No. 184-004069

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Professional Seal

PARAGON 150 FINAL PDD DRAWINGS  
PARAGON DRIVE & BELMONT AVENUE  
ROMEIOVILLE, IL

ISSUANCES		
1	Permit and bid	08/01/16
DRAWING INFORMATION		
Scale:	08-01-2016	
Date:	BW	
Checked By:	SF	
Drawn By:	DUKEAH-891	
Duke Realty Job #:	CH16-0121-00	
A/E Job #:		

DRAWING / SHEET TITLE  
ELEVATIONS  
SHEET NUMBER  
A400





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State of Illinois Design Firm Registration  
No. 184-008069  
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1900 spring rd. ste. 210  
oak brook, illinois 60523  
p 630.218.0063  
f 630.218.0064

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ISSUANCES		
1	Permit and bid	08/01/16
#	Description	Date
DRAWING INFORMATION		
Scale:		
Date:	08-01-2016	
Checked By:	BW	
Drawn By:	SF	
Duke Realty Job #:	DUKEAH-891	
A/E Job #:	CH116-0121-00	

DRAWING / SHEET TITLE
RENDERING
SHEET NUMBER
A500



SOUTHEAST PERSPECTIVE



SOUTHWEST PERSPECTIVE



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Oak Brook, IL 60523  
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Architect  
State of Illinois Design Firm Registration  
No. 184-004069  
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architecture | 1900 spring rd. ste. 210  
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interiors | p 630.218.0063  
graphics | f 630.218.0064  
civil engineering

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PARAGON DRIVE & BELMONT AVENUE  
ROMEIOVILLE, IL

ISSUANCES		
1	Permit and bid	08/01/16
#	Description	Date
DRAWING INFORMATION		
Scale:	06-01-2016	
Date:	BW	
Checked By:	SF	
Drawn By:	DUKEAH-891	
Duke Realty Job #:	CH16-0121-00	
A/E Job #:		

DRAWING / SHEET TITLE  
RENDERING  
SHEET NUMBER  
A510