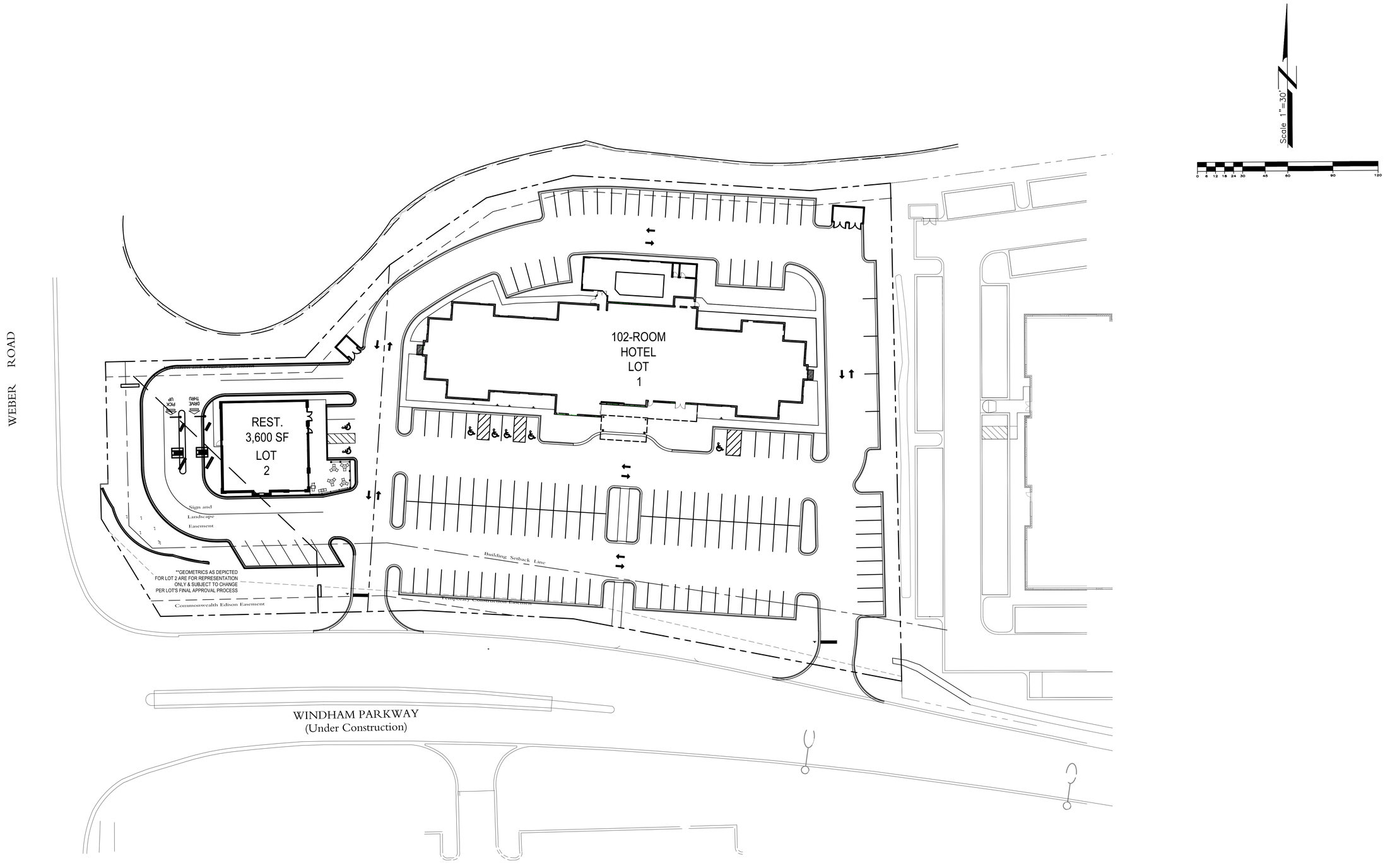


REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

DEVELOPMENT OVERVIEW

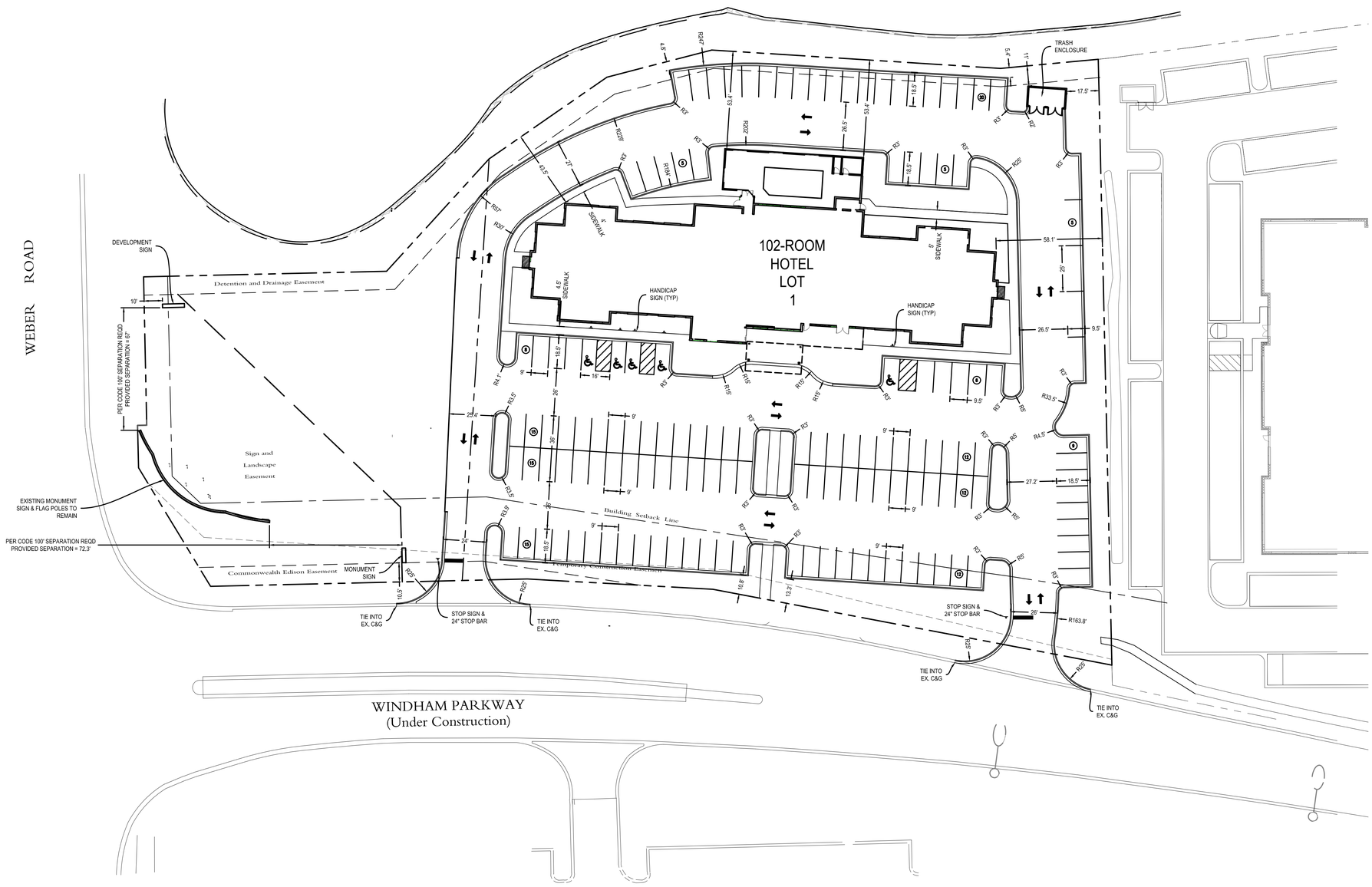
TOWNPLACE SUITES
NEC WEBER ROAD & WINDHAM PKWY
ROMEOVILLE, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
• Civil Engineers • Surveyors • Land Planners
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE: 3/23/2022
FILE: 22-006 C10
JOB NO: 22-006

C1.0
SHEET NO.

TOWNPLACE SUITES ROMEOVILLE, ILLINOIS



Scale 1"=30'

0 6 12 18 24 30 45 60 90 120

SITE ANALYSIS

NEC Weber Road & Windham Parkway
Romeoville, Illinois

Proposed Use:	Hotel, Restaurant and Office
Existing Zoning	P-B Planned Business
Required Zoning	P-B Planned Business PUD

Parcel Area	131,768 sf ±3.025 Acres
Lot 1	100,803 sf ±2.314 Acres
Lot 2	30,965 sf ±0.711 Acres
Building Area	Lot 1 - 17,200 sf Lot 2 - 3,600 sf
Floor Area Ratio (Max) Provided - Lot 1 Provided - Lot 2	0.60 0.17 0.12
Bldg Height (Max) Pr Hotel Height	3.5 Stories & 50 ft 4 Stories & 49.5 ft

SETBACKS

	Front Yard (South) (Windham Pkwy)	Rear Yard (P-B)	Front Yard (West) (Weber Rd)	Side Yard (East) (B-P)
Building Setback	31.2'	30'	13.2'	20'
Provided	79'	28.1'	79'	57.4'
Landscape Setback	35'	10'	35'	10'
Provided	8.6'	3.5'	22.4'	9.5'

PARKING

Quantity Reqd	102 = 1 x 102 Rooms	Hotel (1 space per each room)
	3 = 1 x 650/250	Business Office/ Conference (1 space per 250 sf of floor area)
	43 = 1 x 2150/50	Restaurant (1 space per 50 sf of customer floor area)
	148 Required	
Parking Provided	148 = 141 Standard + 7 ADA	
Stall Size Required	9.5' x 18' (Standard)	
Provided	9' x 18' (Standard), 16' x 18' (ADA)	
Driveway Width Minimum	26', 18' (One-way Adjacent to 60° Parking)	
Provided	24, 26' (Fire Lanes), 18' (One-way Adjacent to 60° Parking)	

LEGEND

PROPOSED CURB & GUTTER
EXISTING CURB & GUTTER
PROPERTY LINE
SETBACK LINE
CONCRETE
LIGHT POLE
TRUNCATED DOMES

SITE NOTES

1. ALL DIMENSIONS ARE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE BACK OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
4. SIDEWALK AROUND PERIMETER OF BUILDING SHALL BE WALK/PAVEMENT UNLESS OTHERWISE SPECIFIED ON PLANS.
5. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
6. SEE DETAILS FOR BITUMINOUS AND CONCRETE PAVEMENT SECTIONS.
7. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCE OF R.O.W. IN ACCORDANCE W/ ILLINOIS D.O.T. REQUIREMENTS.
8. ADA HANDICAP RAMPS SHALL BE INSTALLED AT ALL LOCATIONS DELINEATED ON PLANS AS WELL AS AT ALL LOCATIONS WHERE SIDEWALK ABUTS DRIVES OR ROADWAYS.
9. CONTRACTOR SHALL COMPARE ARCHITECTURAL AND ENGINEERING PLANS FOR INTERFACE COMPATIBILITY.
10. ALL CURB AND GUTTER SHALL BE B6:12 UNLESS OTHERWISE NOTED ON PLANS
11. PAVEMENT STRIPING TO BE TRAFFIC YELLOW TWO COATS UNLESS OTHERWISE SPECIFIED ON PLANS.

SITE IMPERVIOUS

EXISTING IMPERVIOUS AREA = 134 SF OR 0.003 ACRES
PROPOSED IMPERVIOUS AREA = 101,007 SF OR 2.32 ACRES
NET NEW PARCEL IMPERIOUS AREA = 100,873 SF OR 2.32 ACRES

TOWNPLACE SUITES ROMEOVILLE, ILLINOIS

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

P.U.D. PLAN

TOWNPLACE SUITES
NEC WEBER ROAD & WINDHAM PKWY
ROMEOVILLE, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
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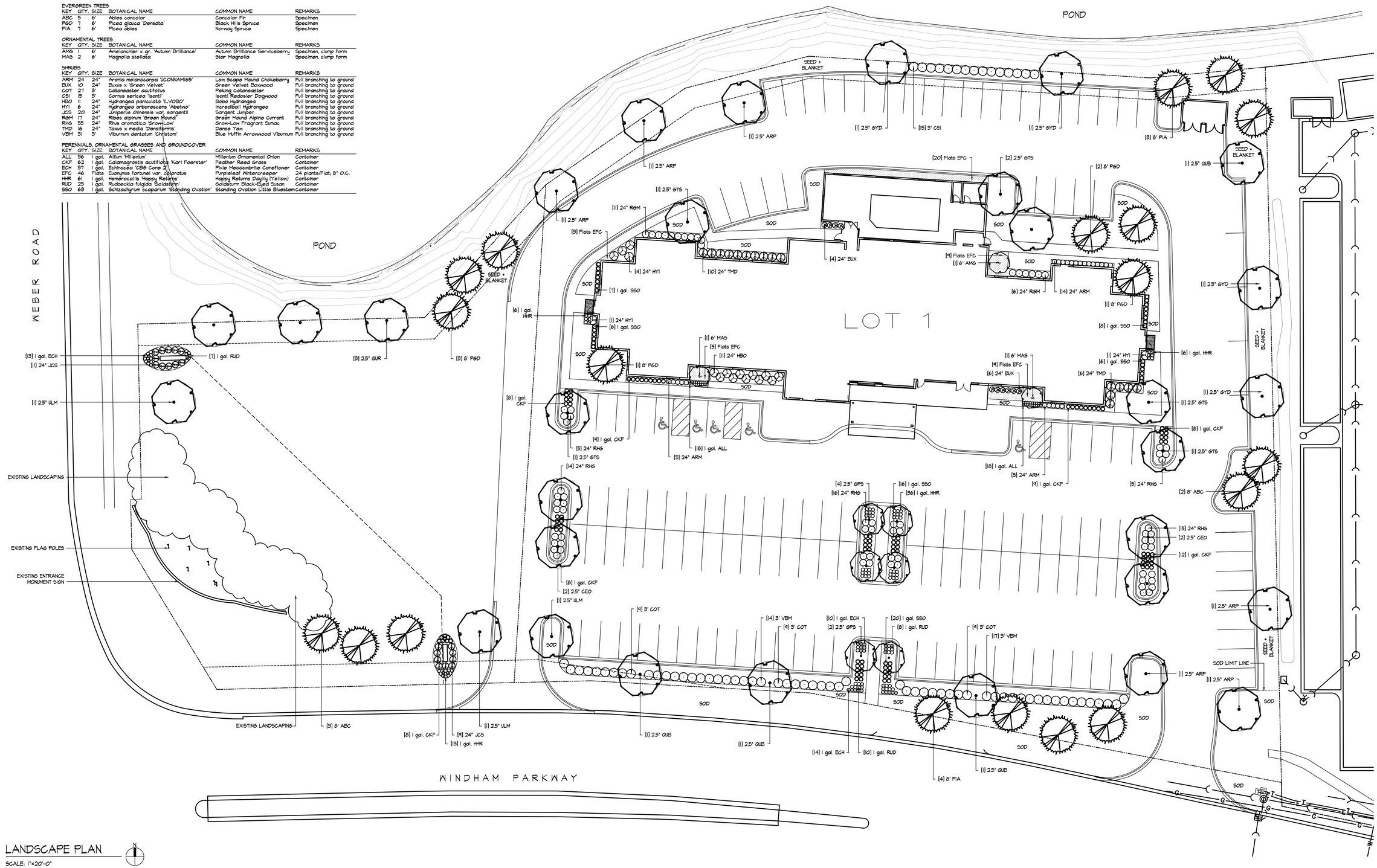
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE: 3/23/2022
FILE: 22-006 C10
JOB NO: 22-006

C1.1
SHEET NO.

PLANT LIST

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
SHADE TREES					
ARP	6	2.5"	Acer rubrum 'Frank Jr.' PP16769	Redpointe Maple	Specimen, symmetrical
CEO	4	2.5"	Celtis occidentalis	Common Hackberry	Specimen, symmetrical
GPS	6	2.5"	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	Specimen, symmetrical
GTS	6	2.5"	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	Specimen, symmetrical
GYD	4	2.5"	Gymnocladus dioicus	Kentucky Coffeetree	Specimen, symmetrical
QUB	4	2.5"	Quercus bicolor	Swamp White Oak	Specimen, symmetrical
QUR	3	2.5"	Quercus rubra	Red Oak	Specimen, symmetrical
ULM	3	2.5"	Ulmus davidiana var. japonica 'Morton'	Accolade Elm	Specimen, symmetrical
EVERGREEN TREES					
ABC	5	6'	Abies concolor	Concolor Fir	Specimen
PGD	7	6'	Picea glauca 'Densata'	Black Hills Spruce	Specimen
PIA	7	6'	Picea abies	Norway Spruce	Specimen
ORNAMENTAL TREES					
AMG	1	6'	Amelanchier x gr. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	Specimen, clump form
MAS	2	6'	Magnolia stellata	Star Magnolia	Specimen, clump form
SHRUBS					
ARM	24	24"	Aronia melanocarpa 'UCONNAM165'	Low Scape Mound Chokeberry	Full branching to ground
BUX	10	24"	Buxus x 'Green Velvet'	Green Velvet Boxwood	Full branching to ground
COT	21	3'	Cotoneaster acutifolius	Peking Cotoneaster	Full branching to ground
CSI	15	3'	Cornus sericea 'Isanti'	Isanti Redosier Dogwood	Full branching to ground
HBO	11	24"	Hydrangea paniculata 'ILVOBO'	Bobo Hydrangea	Full branching to ground
HYI	6	24"	Hydrangea arborescens 'Abetna'	Incredball Hydrangea	Full branching to ground
JCS	20	24"	Juniperus chinensis var. sargentii	Sargent Juniper	Full branching to ground
RGM	17	24"	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	Full branching to ground
RHG	55	24"	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	Full branching to ground
TMD	16	24"	Taxus x media 'Densiformis'	Dense Yew	Full branching to ground
VBM	31	3'	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	Full branching to ground
PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVER					
ALL	36	1 gal.	Allium 'Millenium'	Millenium Ornamental Onion	Container
CKF	62	1 gal.	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Container
ECH	37	1 gal.	Echinacea 'CBG Gone 2'	Pixie Meadowbrite Conefloner	Container
EFG	46	Flats	Euonymus fortunei var. coloratus	Purpleleaf Wintercreeper	24 plants/Flat; 8" O.C.
HHR	61	1 gal.	Hemerocallis 'Happy Returns'	Happy Returns Daylily (Yellow)	Container
RUD	25	1 gal.	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	Container
SSO	63	1 gal.	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	Container



LANDSCAPE PLAN

SCALE: 1"=20'-0"

0 10' 20' 30' 40' 60'

NOT FOR CONSTRUCTION

CLIENT NAME:

Knoche Engineering, P.C.
24 North Bennett Street
Geneva, Illinois

LANDSCAPE ARCHITECTURE

pamelaself

202 South Cook Street Ste #214
Barrington, Illinois 60010
847.438.4922
www.pamelaself.com

LICENSE # 157.000683
STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

TOWNEPLACE SUITES
NEC Weber Road and Windham Parkway
Romeoville, Illinois

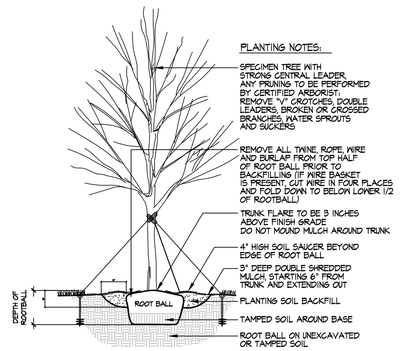
REVISIONS

No.	Description	Date
1	SITE PLAN REVISION	04.29.22

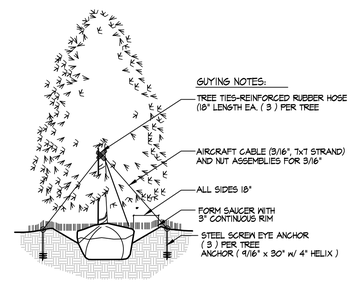
Design by: KWS/PKS
Drawn by: KWS
Checked by: PKS
Start date: 04.14.2022
Project no.

LANDSCAPE PLAN

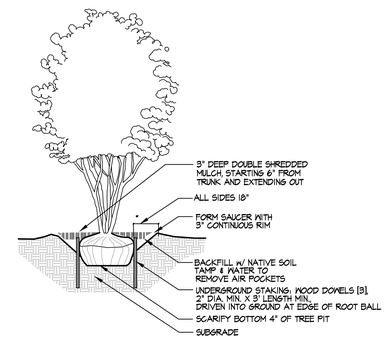
L-1.0



SHADE TREE



EVERGREEN TREE



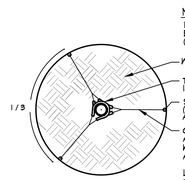
ORNAMENTAL TREE

EVERGREEN & DECIDUOUS TREE NOTES:

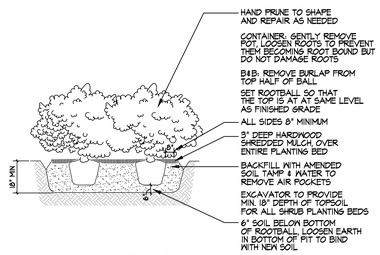
1. PRUNE TREE TO OFFSET ROOT LOSS
2. TREE TRUNK FLARE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.
3. REMOVE BURLAP & ALL WIRES FROM TOP 1/2 OF BALL MINIMUM
4. SOIL CONNECTION: DURING INSTALLATION, TAKE A SMALL AMOUNT OF SOIL FROM TOP AND SIDES OF ROOTBALL AND DISTRIBUTE INTO PLANTING SOIL BACKFILL, AND VICE VERSA
5. APPLY MYCORRHIZAE (DIEHARD ROOT REVIVER OR APPROVED EQUAL) TO PLANTING BACKFILL, FOLLOWING MANUFACTURER'S INSTRUCTIONS.
6. ALL TREES 3" CAL & LARGER TO BE GUYED.
7. DO NOT MULCH AROUND TRUNK.

ORNAMENTAL TREE NOTES:

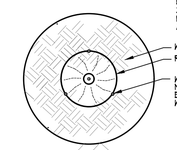
1. PRUNE TREE TO OFFSET ROOT LOSS
2. TREE TRUNK FLARE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.
3. REMOVE BURLAP & ALL WIRES FROM TOP 1/2 OF BALL MINIMUM
4. SOIL CONNECTION. DURING INSTALLATION, TAKE A SMALL AMOUNT OF SOIL FROM TOP AND SIDES OF ROOTBALL AND DISTRIBUTE INTO PLANTING SOIL BACKFILL, AND VICE VERSA
5. APPLY MYCORRHIZAE (DIEHARD ROOT REVIVER OR APPROVED EQUAL) TO PLANTING BACKFILL, FOLLOWING MANUFACTURER'S INSTRUCTIONS.
6. ALL ORNAMENTAL TREES 5' HT & LARGER TO HAVE ROOTBALL STAKED UNDERGROUND OR GUYED.



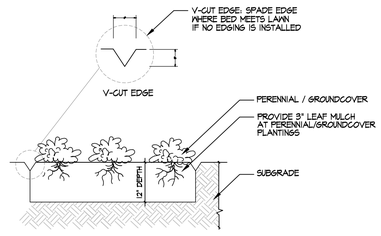
GUYING DECIDUOUS & EVERGREEN TREES



SHRUB PLANTING DETAIL



STAKING ORNAMENTAL TREES



PERENNIAL PLANTING DETAIL

LANDSCAPE NOTES

1. In general, contractor should become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
2. Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
3. Contractor shall follow and conform to the Village of Romeoville, IL building codes.
4. Job site safety and means and methods of construction are the responsibility of the Contractor.
5. Contractor shall excavate and dispose of excavated materials off site.
6. Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
7. Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
8. Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
9. Determine and verify exact locations of all underground utilities in the field before work begins. Call JULIE 1-800-892-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
10. Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
11. Landscape Architect not responsible for installation permits unless otherwise noted.
12. Determine subsoil conditions and subsurface drainage requirements of all plant material.
13. Removals. Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed to fine grade planting areas.
14. Topsoil. Any new topsoil shall be fertile, pulverized, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5-7, not less than 3% humus as determined by loss on ignition of moisture fee samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weights of material.
15. Amend Existing Soil. Amend existing soil in all planting beds. Amended soil shall be 25% soil conditioner, 25% clean sand and 50% existing soil. Rototill amendments into planting beds.
16. Plant Material. The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition 'American Standard for Nursery Stock'. All plants are subject to inspection by the Landscape Architect at the job site or nursery.
17. Plant Installation. Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance or relationship to each other or adjacent structure. Do not fill around trunks or stems. Do not use frozen or muddy mixture for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot so pot does not heave in frost. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the ball from freezing.
18. Mulch. Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
19. Watering. LC to water installed plant materials for the entire first season.
20. Sod. Supply and install new bluegrass blend sod as shown on plan. Place sod on min. 4" depth rolled, fine graded, pulverized topsoil. Guarantee new sod for 30 days. Time delivery of sod so that sod will be placed within 24 hours after shipping. Protect sod against drying and breaking of rolled strips. If new sod is laid late in the Fall, the guarantee shall be extended into the Spring of the next growing season.
21. Seed. Supply and install new seed, Kentucky Bluegrass Blend on minimum 4" depth rolled, fine graded, pulverized, topsoil as needed. Straw mat to cover seed.
22. Repair Disturbed Areas. All disturbed areas shall be repaired and fine graded and topdressed with a minimum 4" depth, rolled, pulverized topsoil. All excess soil not used in repair of disturbed areas shall be removed from site. Seed and blanket all repaired areas.
23. Bed Edge. Spade edge where bed meets lawn if no edging is installed.
24. Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

PLANT LIST

SHADE TREES

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
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EVERGREEN TREES

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
ABC	5	6'	Abies concolor	Concolor Fir	Specimen
PGD	7	6'	Picea glauca 'Densata'	Black Hills Spruce	Specimen
PIA	7	6'	Picea abies	Norway Spruce	Specimen

ORNAMENTAL TREES

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
AMG	1	6'	Amelanchier x gr. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	Specimen, clump form
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SHRUBS

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
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BUX	10	24"	Buxus x 'Green Velvet'	Green Velvet Boxwood	Full branching to ground
COT	27	3'	Cotoneaster acutifolius	Peking Cotoneaster	Full branching to ground
CSI	15	3'	Cornus sericea 'Isanti'	Isanti Redosier Dogwood	Full branching to ground
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HYI	6	24"	Hydrangea arborescens 'Abetno'	Incrediball Hydrangea	Full branching to ground
JCS	20	24"	Juniperus chinensis var. sargentii	Sargent Juniper	Full branching to ground
RGM	17	24"	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	Full branching to ground
RHG	55	24"	Rhus aromatica 'Gro-Lon'	Gro-Lon Fragrant Sumac	Full branching to ground
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PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVER

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
ALL	36	1 gal.	Allium 'Millenium'	Millenium Ornamental Onion	Container
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EFC	46	Flats	Euonymus fortunei var. coloratus	Purpleleaf Wintercreeper	24 plants/Flat; 8" O.C.
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SSO	63	1 gal.	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	Container

NOT FOR CONSTRUCTION

CLIENT NAME:

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Geneva, Illinois

LANDSCAPE ARCHITECTURE
pamelaself
202 South Cook Street Ste #214
Barrington, Illinois 60010
847.438.4922
www.pamelaself.com

LICENSE # 157.000683
STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

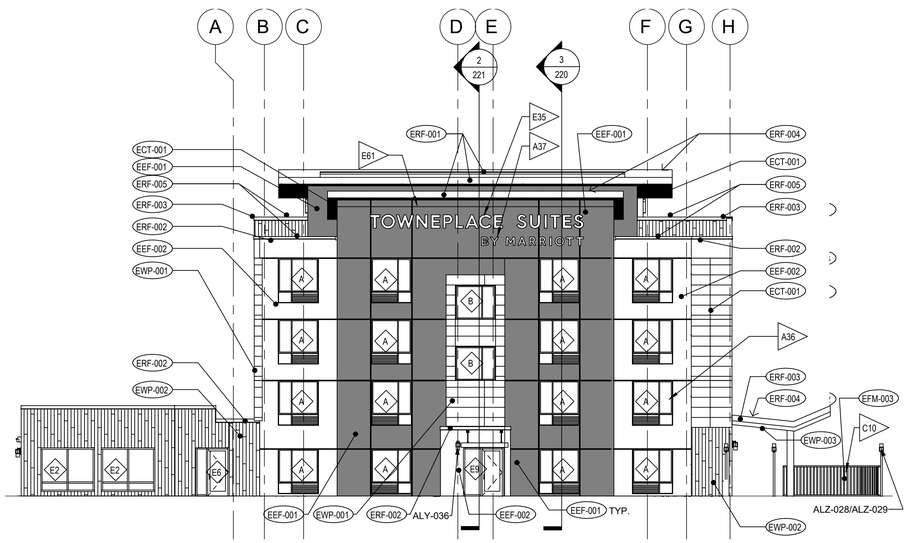
TOWNEPLACE SUITES
NEC Weber Road and Windham Parkway
Romeoville, Illinois

REVISIONS		
No.	Description	Date
1	SITE PLAN REVISION	04.29.22

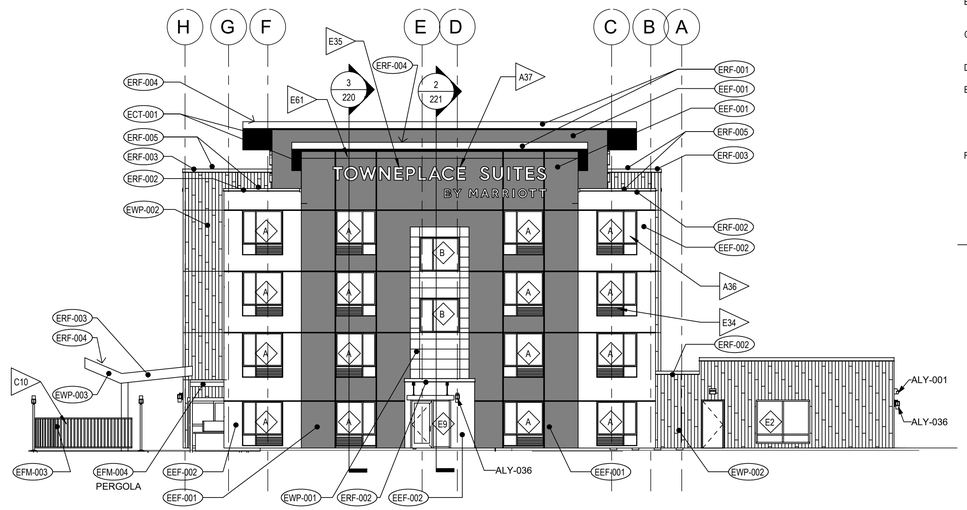
Design by: KWS/PKS
Drawn by: KWS
Checked by: PKS
Start date: 04.14.2022
Project no.

LANDSCAPE DETAILS

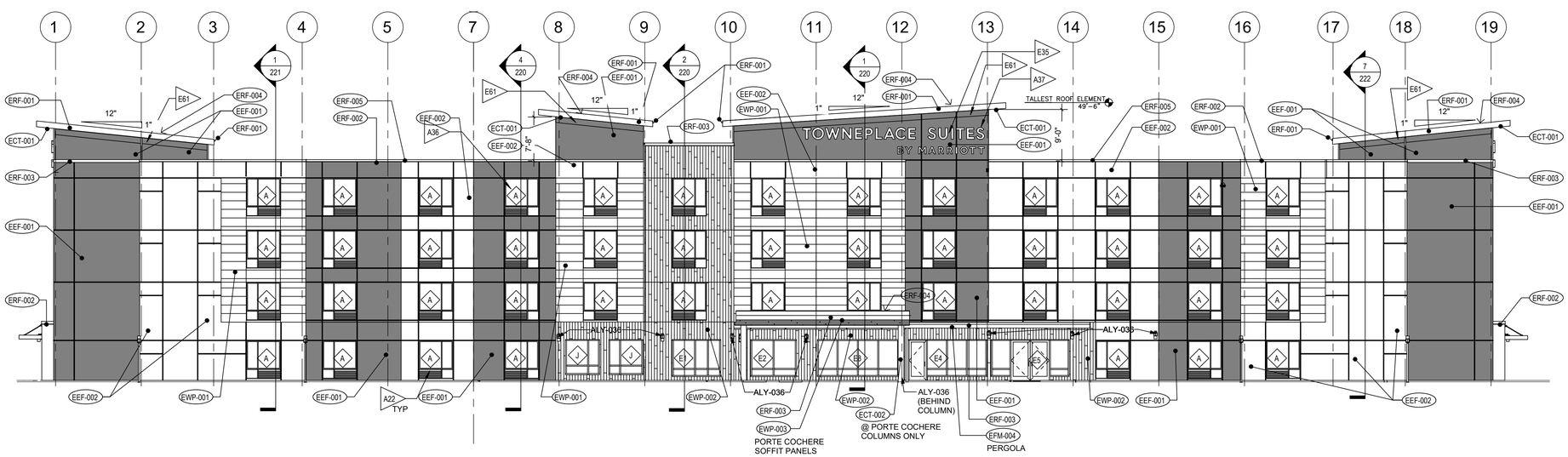
L-2.0



3 **LEFT SIDE ELEVATION**
SCALE: 3/32" = 1'-0"



2 **RIGHT SIDE ELEVATION**
SCALE: 3/32" = 1'-0"



1 **FRONT ELEVATION**
SCALE: 3/32" = 1'-0"

REFERENCE NOTES

A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

B. REFER TO BUILDING SITE + EXTERIOR BUILDING PRODUCT MANUAL FOR MATERIALS AND COLORS; AND ALSO FOR TYPICAL FINISHES FOR EXTERIOR ELEMENTS SUCH AS TYPICAL LOUVER COLOR, DOOR FRAMES, PORTE COCHERE AND CANOPY STRUCTURE FINISHES, ETC.

C. REFER TO THE EXTERIOR SIGNAGE SPECIFICATIONS - EXTERIOR GRAPHICS PACKAGE FOR REQUIREMENTS RELATED TO SIGNAGE SHOWN ON THIS SHEET.

GENERAL NOTES

A. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED ON STRUCTURAL SYSTEM.

B. PROVIDE CONTRACTOR WITH COLOR PRINTS OF ELEVATIONS FOR ADDITIONAL CLARITY.

C. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.

D. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.

E. REVIEW FIBER CEMENT BOARD PANELS WHICH ARE MANUFACTURED IN METRIC SIZES TO COORDINATE WITH IMPERIAL (FEET AND INCHES) DIMENSIONS OF STRUCTURE. PAY PARTICULAR ATTENTION TO WINDOW SIZES.

F. PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

A **ARCHITECTURAL**

A22 REFER TO GUESTROOM PLANS FOR HOLD-TO DIMENSIONS BETWEEN PTAC UNIT AND INTERIOR WALL NOTED

A36 TYPICAL GUESTROOM WINDOW

A37 CHANNEL LETTER SIGNAGE AT FACE OF BUILDING, SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS. PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE

E **ENGINEERING**

E34 PTAC LOUVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME

E35 AT EXTERIOR SIGNAGE PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL

E61 FOR STANDARD LINEAR LIGHT FIXTURE, SEE DWGS FOR MARK NUMBER. PROVIDE CONTINUOUS BAND OF LIGHT TO ILLUMINATE BOTTOM OF SOFFIT.

C **CIVIL**

C10 DECORATIVE METAL SLAT FENCE AT FIRE PIT OPTIONAL; REFER TO BUILDING SITE + EXTERIOR BPM. SEE DWGS. FOR FINISH NO.

EXTERIOR FINISH INDEX

EEF-001	EFIS 1
EEF-002	EFIS 2
EEF-003	EFIS 3
EWP-001	FIBER CEMENT SIDING PANEL
EWP-002	FIBER CEMENT SIDING PANEL
EWP-003	METAL SOFFIT PANEL @ PORTE COCHERE
ERF-001	ALUMINUM COPING
ERF-002	ALUMINUM COPING - COLOR TO MATCH ADJACENT SURFACE
ERF-003	ALUMINUM COPING
ERF-004	MEMBRANE ROOFING - SLOPED
ERF-005	MEMBRANE ROOFING
ECT-001	PAINTED SURFACE @ EXTERIOR HM DOORS & FRAMES
ECT-002	PAINTED SURFACE @ PORTE COCHERE COLUMNS
EFM-003	METAL FENCE @ FIREPIT
EFM-004	PERGOLA

ARCHITECT:
ECA ARCHITECTS PLANNERS
24 N. BENNETT ST.
GENEVA, IL 60134
PHONE 630 608 0500
FAX 630 786 3132
PROFESSIONAL DESIGN FIRM
NO. 184 005766

CONTRACTOR:

CLIENT:

New Construction:
TOWNEPLACE SUITES® BY MARRIOTT
NE Corner Windham & Weber
Romeoville, IL

REVISIONS:

#	DESCRIPTION	DATE
	INITIAL ZONING SUBMITTAL	4.22.2022
1	.	.
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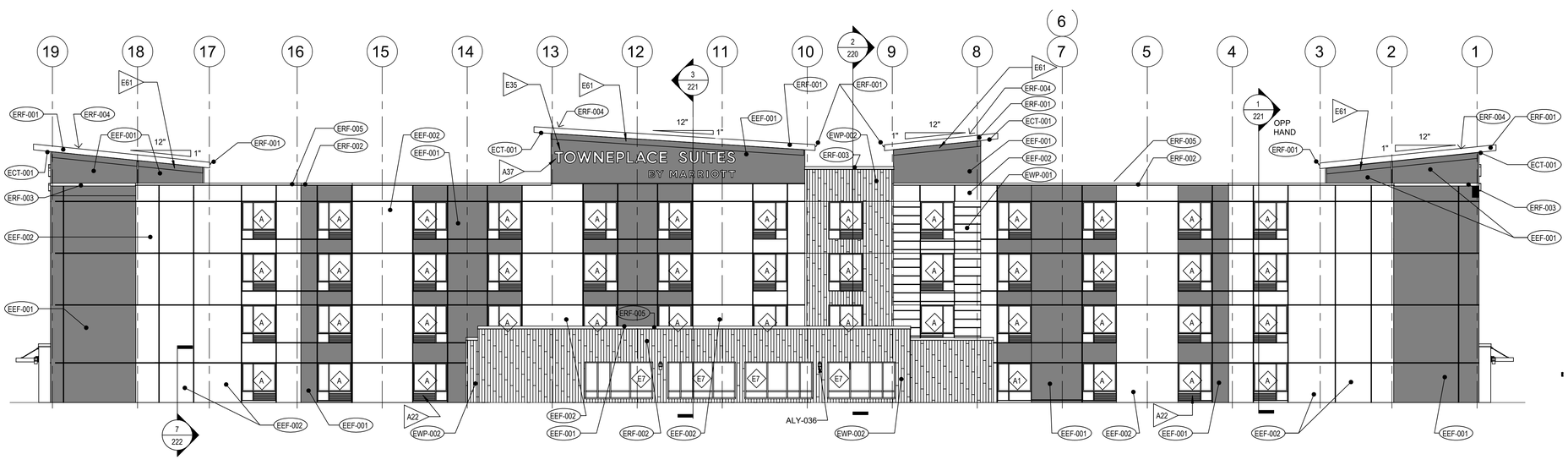
	.	.
	.	.
	.	.

FILE NAME: 22201 Townplace
DRAWN BY: SBD REVIEWED BY: ERC
SHEET TITLE:
EXTERIOR ELEVATIONS
SHEET NO.
A100

2 REAR ELEVATION RENDERING - SIM.

SCALE: 3/32" = 1'-0"



1 REAR ELEVATION

SCALE: 3/32" = 1'-0"

E ENGINEERING

E35 AT EXTERIOR SIGNAGE PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL

E61 FOR STANDARD LINEAR LIGHT FIXTURE, SEE DWGS FOR MARK NUMBER. PROVIDE CONTINUOUS BAND OF LIGHT TO ILLUMINATE BOTTOM OF SOFFIT.

A ARCHITECTURAL

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EXTERIOR FINISH INDEX

EEF-001	EFIS 1
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ERF-005	MEMBRANE ROOFING
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New Construction:
TOWNEPLACE SUITES® BY MARRIOTT
NE Corner Windham & Weber
Romeoville, IL

REVISIONS:

#	DESCRIPTION	DATE
	INITIAL ZONING SUBMITTAL	4.22.2022
1	.	.
	.	.
	.	.
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FILE NAME: 22201 Townplace
DRAWN BY: SBD REVIEWED BY: ERC
SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO.

A101

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"

1 **FRONT ELEVATION RENDERING - SIM.**
SCALE: 3/32" = 1'-0"

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"

ARCHITECT:

ECA ARCHITECTS PLANNERS
24 N. BENNETT ST.
GENEVA, IL 60134
PHONE 630 608 0500
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PROFESSIONAL DESIGN FIRM
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REVISIONS:

#	DESCRIPTION	DATE
1	INITIAL ZONING SUBMITTAL	4.22.2022
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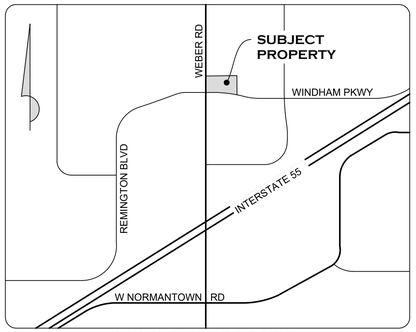
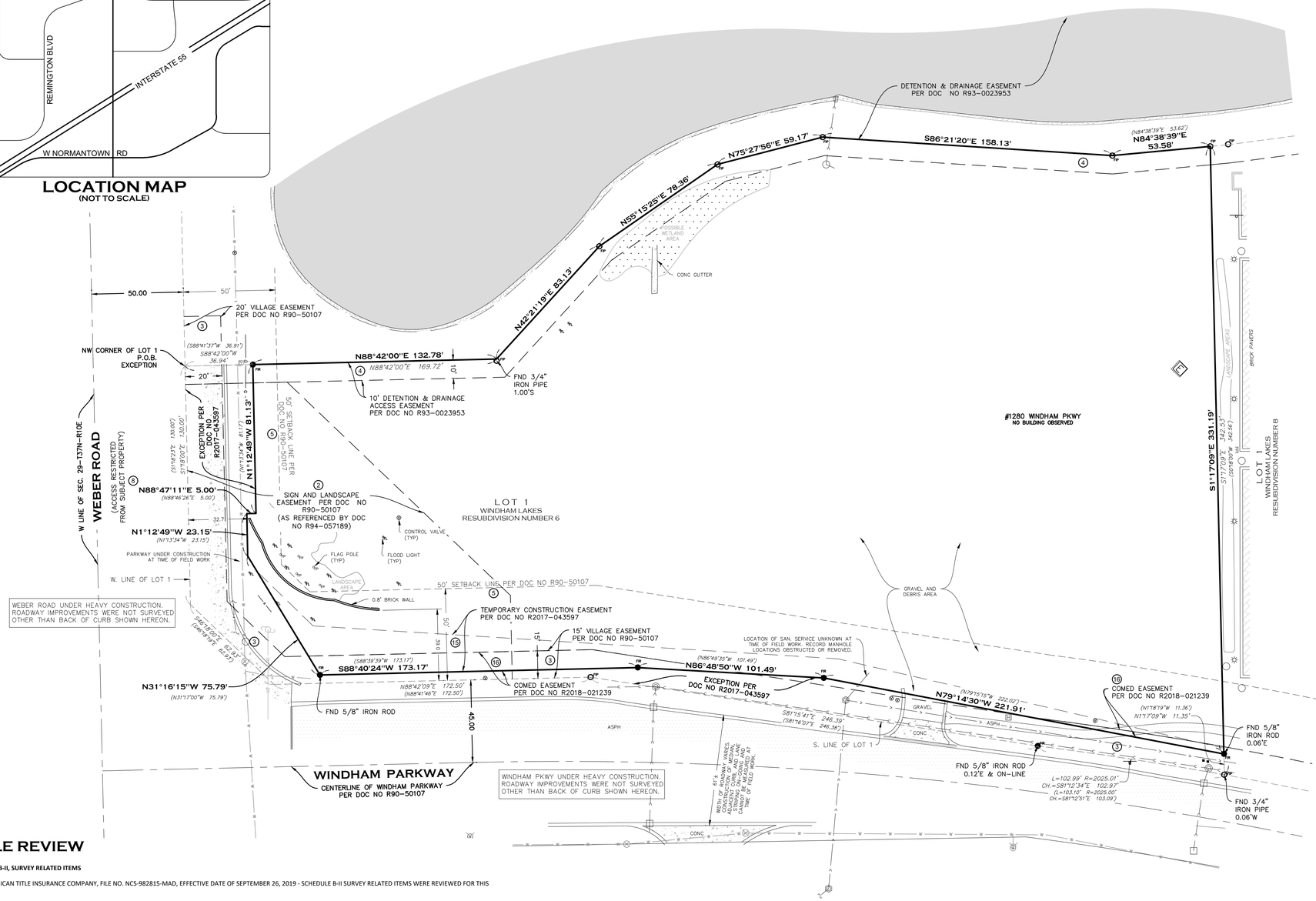
FILE NAME: 22201 Townplace
DRAWN BY: SBD REVIEWED BY: ERC
SHEET TITLE:
CORPORATE RENDERING
SHEET NO.
A102

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP
(NOT TO SCALE)



LEGEND

PROPERTY BOUNDARY	
OFFSITE PROPERTY LINE	
RECORD LOT LINE	
EASEMENT LINE	
TEMPORARY EASEMENT LINE	
BUILDING SETBACK LINE	
MEASURED OR CALCULATED	XXX.XX'
RECORD OR PLATTED	(XXX.XX')
FOUND 3/4" IRON PIPE	FIP
FOUND 5/8" IRON ROD	FIR
STORM SEWER	C
SANITARY SEWER	S
WATERMAIN	W
UNDERGROUND GAS LINE	G
UNDERGROUND CABLE LINE	CA
UNDERGROUND ELECTRIC LINE	E
UNDERGROUND TELEPHONE LINE	T
FENCE LINE	
DEPRESSED CURB	
TREELINE OR SHRUB LINE	
TRAFFIC SIGNAL MANHOLE	
TRAFFIC SIGNAL MAST ARM	
TELEPHONE PEDESTAL	
TRANSFORMER	
LIGHT POLE	
SANITARY MANHOLE	
CLEANOUT	
FIRE HYDRANT	
VALVE AND VAULT	
GATE VALVE	
STORM CURB FRAME & GRATE	
STORM MANHOLE	
STORM CATCH BASIN	
STORM FLARED END SECTION	
MANHOLE (UNKNOWN UTILITY)	

SURVEYOR'S NOTES

1. BASIS OF BEARING: FINAL PLAT OF SUBDIVISION OF WINDHAM LAKES RESUBDIVISION NO. 6.
2. FIRST AMERICAN TITLE INSURANCE COMPANY FILE NO. NCS-982815-MAD WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2019 SURVEY RELATED ITEMS WERE REVIEWED FOR THIS SURVEY.
3. UTILITIES SHOWN HEREON ARE LIMITED THE SMALL PORTIONS OF SITE CONTAINED UTILITY FLAGS/MARKINGS.
4. THIS SURVEY MAKES NO STATEMENT AS TO THE TRUE LOCATION OR EXISTENCE OF ANY UNDERGROUND UTILITIES. NO PRIVATE UTILITY LOCATION SERVICE LOCATED ON-SITE UTILITIES.
5. NO PIPES WERE OBSERVABLE FROM THE SURFACE IF NOT SHOWN HEREON AT MANHOLES OR OTHER STRUCTURES.
6. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
7. COMPARE ALL DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
8. THE IMPROVEMENTS SHOWN HEREON WERE LOCATED AT THE TIME OF THE SURVEY AND ARE NOT A REPRESENTATION OF ANY PHYSICAL STRUCTURES OR FEATURES THAT MAY HAVE BEEN OBSTRUCTED BY CONSTRUCTION ACTIVITY, SNOW, ICE, LANDSCAPING, OR BRUSH.
9. NO APPARENT ENCROACHMENTS WERE OBSERVED, UNLESS NOTED ABOVE OR SHOWN HEREON.
10. NO MONUMENTS WERE SET AS PART OF THIS SURVEY.
11. NO BUILDINGS WERE OBSERVED ON SITE.
12. A RECENT CHANGE IN RIGHT-OF-WAY WAS OBSERVED PER DOCUMENT NUMBER R2017-043597. NO OTHER PROPOSED CHANGES ARE KNOWN AT THIS TIME.
13. PREPARED FOR:
SANDEEP DESAI

TITLE REVIEW

SCHEDULE B-II, SURVEY RELATED ITEMS

FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NCS-982815-MAD, EFFECTIVE DATE OF SEPTEMBER 26, 2019 - SCHEDULE B-II SURVEY RELATED ITEMS WERE REVIEWED FOR THIS MAPPING.

ITEMS 1, 6 - 7, 9 - 13, 18: ***NOT THE TYPE OF ITEM TO BE SHOWN HEREON. PLATS & EASEMENTS SHALL BE CONSULTED FOR A PROVISIONS, TERMS, RESTRICTIONS, AND OTHER CONDITIONS.***

2. SIGNAGE AND LANDSCAPE EASEMENT AS DISCLOSED BY PLAT OF WINDHAM LAKES RESUBDIVISION NUMBER 6 RECORDED JUNE 3, 1994 AS DOCUMENT R94-57189 AND THE PLAT OF WINDHAM LAKES PHASE I RECORDED SEPTEMBER 10, 1990 AS DOCUMENT R90-50107. ***AFFECTS THE WESTERLY PORTION OF LOT 1 AS SHOWN HEREON. PORTIONS OF EASEMENT ARE NOW LOCATED WITHIN PUBLIC RIGHT-OF-WAY AS DESCRIBED BY DOC NO R2017-043597.***
3. VILLAGE EASEMENT AS DISCLOSED BY PLAT OF WINDHAM LAKES RESUBDIVISION NUMBER 6 RECORDED JUNE 3, 1994 AS DOCUMENT R94-57189 AND THE PLAT OF WINDHAM LAKES PHASE I RECORDED SEPTEMBER 10, 1990 AS DOCUMENT R90-50107. ***AFFECTS THE WEST 20 FEET, THE SOUTHWESTERLY 15 FEET AND THE SOUTHERLY 15 FEET OF LOT 1 AS SHOWN HEREON. PORTIONS OF EASEMENT ARE NOW LOCATED WITHIN PUBLIC RIGHT-OF-WAY AS DESCRIBED BY DOC NO R2017-043597.***
4. 10 FOOT DETENTION AND DRAINAGE ACCESS EASEMENT AS DISCLOSED BY PLAT OF WINDHAM LAKES RESUBDIVISION NUMBER 6 RECORDED JUNE 3, 1994 AS DOCUMENT R94-57189 AND THE PLAT OF WINDHAM LAKES RESUBDIVISION NUMBER 3 RECORDED MARCH 31, 1993 AS DOCUMENT R93-23953. ***AFFECTS THE NORTHERLY LINE AS SHOWN HEREON. PORTIONS OF EASEMENT ARE NOW LOCATED WITHIN PUBLIC RIGHT-OF-WAY AS DESCRIBED BY DOC NO R2017-043597.***
5. 50 FOOT BUILDING SET BACK LINE AS DISCLOSED BY PLAT OF WINDHAM LAKES RESUBDIVISION NUMBER 6 RECORDED JUNE 3, 1994 AS DOCUMENT R94-57189 AND THE PLAT OF WINDHAM LAKES PHASE I RECORDED SEPTEMBER 10, 1990 AS DOCUMENT R90-50107. ***AFFECTS THE WEST LINE, THE SOUTHWEST LINE AND THE SOUTHERLY LINE AS SHOWN HEREON. ONLY SAID BUILDING SETBACK AS PLATTED ARE SHOWN HEREON, AND SETBACKS ARE SUBJECT TO CURRENT ZONING SETBACK REQUIREMENTS.***
8. NOTATION ON PLAT OF WINDHAM LAKES PHASE I RECORDED SEPTEMBER 10, 1990 AS DOCUMENT R9050107 AS FOLLOWS: DIRECT ACCESS TO WEBER ROAD FROM LOTS 4, 5 AND 7 IS PROHIBITED. ***RESTRICTED ACCESS TO WEBER SHOWN HEREON.***
14. COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN DECLARATION RECORDED ON OCTOBER 22, 1990 AS DOCUMENT R90-58793 AND FIRST AMENDMENT RECORDED NOVEMBER 21, 1990 AS DOCUMENT R9065063. ***ITEM AFFECTS SUBJECT PARCEL BUT CONTAINS NO EASEMENT DESCRIPTIONS TO BE SHOWN HEREON.***
15. COVENANTS, CONDITIONS AND RESTRICTIONS OF A TEMPORARY EASEMENT AS CONTAINED IN AN ORDER VESTING TITLE RECORDED JUNE 6, 2017 AS DOCUMENT R2017043597. ***AFFECTS SOUTHERLY AND SOUTHWESTERLY PORTION OF PROPERTY, EASEMENT SHOWN HEREON.***
16. GRANT OF EASEMENT MADE BY AND BETWEEN DOUGLAS A. BACKUS AND COMMONWEALTH EDISON COMPANY RECORDED ON MARCH 29, 2018 AS DOCUMENT NO. R2018021239 AND THE TERMS AND CONDITIONS CONTAINED THEREIN. ***AFFECTS SOUTHERLY PORTIONS OF PROPERTY, EASEMENTS ARE SHOWN HEREON.***
17. UNRECORDED LEASE IN FAVOR OF PROVENA HEALTH, AN ILLINOIS NOT FOR PROFIT CORPORATION, AS DISCLOSED BY SUBORDINATION NON-DISTURBANCE AND ATTORNMENT AGREEMENT RECORDED OCTOBER 18, 2002 AS DOCUMENT R2002171871, AND ALL RIGHTS THEREUNDER OF AND ALL ACTS DONE OR SUFFERED THEREUNDER BY SAID LESSEE. ***ITEM NOT PROVIDED FOR REVIEW.***

GROSS LAND AREA

131,773 SQUARE FEET OR 3.025 ACRES, MORE OR LESS.

ZONING

ZONING REPORT/LETTER NOT PROVIDED

PARKING

NO ON-SITE PARKING OBSERVED AT TIME OF FIELD WORK.

FLOOD ZONE

PROPERTY IS LOCATED WITHIN ZONE "X" PER MAP NO 17197C0061G, WITH AN EFFECTIVE DATE OF FEBRUARY 15, 2019.

LEGAL DESCRIPTION

LOT 1 IN WINDHAM LAKES RESUBDIVISION NUMBER 6, BEING A RESUBDIVISION OF THE WEST 561.12 FEET, AS MEASURED AT RIGHT ANGLES TO THE WESTERN MOST WEST LINE THEREOF, OF LOT 11 IN WINDHAM LAKES RESUBDIVISION NUMBER 3, A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 29, TOWNSHIP 37 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 31, 1993 AS DOCUMENT R930023953, SAID PLAT OF RESUBDIVISION NUMBER 6 RECORDED JUNE 3, 1994 AS DOCUMENT R9457189, AND CERTIFICATE OF CORRECTION RECORDED JUNE 7, 1994 AS DOCUMENT R94-58289, IN WILL COUNTY, ILLINOIS;

EXCLUDING ANY PHYSICAL IMPROVEMENTS TO THE LEGALLY DESCRIBED PROPERTY, SUCH AS, WITHOUT LIMITATION, FIXTURES.

EXCEPTING THEREFROM THAT PART OF THE LAND TAKEN BY ORDER VESTING TITLE RECORDED JUNE 6, 2017 AS DOCUMENT R2017043597.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

TO: LEE FRY COMPANIES
FRY HOSPITALITY - ROMEOVILLE, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a), 7(a), 8, AND 9 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 25, 2019.

DATE OF LAST REVISION: NOVEMBER 1, 2019.

DRAFT

JONATHAN D. SPINAZZOLA, PLS
ILLINOIS PROFESSIONAL LAND SURVEYOR 3868

CURRENT LICENCE EXPIRES NOVEMBER 30, 2020.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT MINIMUM STANDARDS FOR A BOUNDARY SURVEY IN ILLINOIS.

NORTH
30 0 15 30
1" = 30'
GRAPHIC SCALE

DATE: 11-01-2019
DESCRIPTION: ISSUED DRAFT TO CLIENT

MeritCorp
GROUP LLC
ENGINEERING - PLANNING - SURVEYING - ENVIRONMENTAL
3697 Darlene Ct.
Aurora, IL 60504
Office 630.554.6655
www.meritcorp.com
Palatine, IL 60067
Grayslake, IL 60030
Lic. No. 184-005860

ALTA/NSPS LAND TITLE SURVEY
1280 WINDHAM PARKWAY
ROMEOVILLE, IL 60446

PROJECT NO. M15074	
DRAWN BY:	JDS
CHECKED BY:	JDS
SHEET NO.	1 / 1