



SITE DATA

| LAND USE | BUILDING FOOTPRINT | AREA | % OF SITE |
|------------------------|--------------------|----------|-----------|
| INDUSTRIAL USES | 240,000 | 16.2 | 20.2% |
| TRAILER PARKING | - | 4.2 | 5.2% |
| MATERIAL RECYCLING | - | 17.3 | 20.9% |
| EXISTING USE | - | 2.3 | 2.9% |
| DETENTION / OPEN SPACE | - | 40.7 | 50.8% |
| TOTAL | 240,000 S.F. | 80.7 AC. | 100.0% |



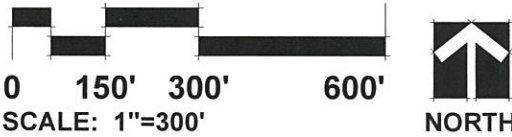
PHASE 1 CONCEPT PLAN
ROMEOVILLE, ILLINOIS

3/15/2022



SITE DATA

| LAND USE | BUILDING FOOTPRINT | AREA | % OF SITE |
|------------------------|--------------------|----------|-----------|
| INDUSTRIAL USES | 481,000 | 29.0 | 33.7% |
| TRAILER PARKING | - | 5.5 | 6.4% |
| OUTLOT 1 | - | 5.5 | 6.4% |
| DETENTION / OPEN SPACE | - | 46.1 | 53.5% |
| TOTAL | 481,000 S.F. | 86.1 AC. | 100.0% |

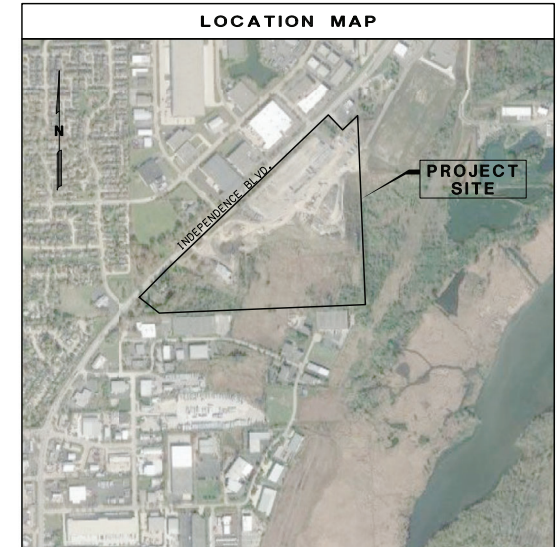


MASTER CONCEPT PLAN
ROMEOVILLE, ILLINOIS 9/09/2021

GRADING AND STORMWATER MANAGEMENT IMPROVEMENTS 753, 759, 761, AND 765 INDEPENDENCE BOULEVARD ROMEIOVILLE, ILLINOIS

| LEGEND | |
|--------------------------------|----------|
| EXISTING | PROPOSED |
| SANITARY SEWER | 8" PVC |
| FORCE MAIN | 12" RCP |
| STORM SEWER | 12" RCP |
| UNDERDRAIN | |
| MANHOLE | |
| CATCH BASIN | |
| INLET | |
| CLEANOUT | |
| WATER MAIN | |
| VALVE VAULT | |
| VALVE BOX | |
| FIRE HYDRANT | |
| FLARED END SECTION | |
| COMBINED SEWER | |
| STREET LIGHT/PARKING LOT LIGHT | |
| POWER POLE | |
| STREET SIGN | |
| FENCE | |
| GAS MAIN | |
| OVERHEAD LINE | |
| TELEPHONE LINE | |
| ELECTRIC LINE | |
| CABLE TV LINE | |
| HIGH WATER LEVEL | |
| NORMAL WATER LEVEL | |
| CONTOUR LINE | |
| TOP OF CURB ELEVATION | |
| TOP OF DEPRESSED CURB | |
| PAVEMENT ELEVATION | |
| SPOT ELEVATION | |
| FINISHED FLOOR ELEVATION | |
| TOP OF FOUNDATION | |
| GRADE AT FOUNDATION | |
| HIGH OR LOW POINT | |
| OVERLAND FLOOD ROUTE | |
| PAVEMENT FLOW DIRECTION | |
| SWALE FLOW DIRECTION | |
| DEPRESSED CURB AND GUTTER | |
| REVERSE CURB AND GUTTER | |

| INDEX OF SHEETS | |
|-----------------|---|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS PLAN |
| 3 | OVERALL GRADING AND PHASING PLAN |
| 4 | GRADING PLAN - SOUTHWEST |
| 5 | GRADING PLAN - CENTRAL |
| 6 | GRADING PLAN - NORTHEAST |
| 7 | GRADING PLAN - SOUTHEAST |
| 8 | OVERALL STORMWATER POLLUTION PREVENTION PLAN |
| 9 | SWPPP - SOUTHWEST |
| 10 | SWPPP - CENTRAL |
| 11 | SWPPP - NORTHEAST |
| 12 | SWPPP - SOUTHEAST |
| 13 | SWPPP DETAILS AND SPECIFICATIONS |
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| 15 | PROJECT SPECIFICATIONS AND CONSTRUCTION DETAILS |
| 16 | CONSTRUCTION DETAILS |



THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS SUPERVISION, DIRECTION AND MEANS & METHODS OF CONSTRUCTION

| ABBREVIATIONS | |
|-------------------------------------|------------------------------|
| AC ACRE | HWL HIGH WATER ELEVATION |
| BC BACK OF CURB | INV INVERT |
| BTM BOTTOM | LF LINEAL FEET/FOOT |
| CB CATCH BASIN | LP LIGHT POLE |
| CF3 CUBIC FEET PER SECOND | LT LEFT |
| CY CUBIC YARD | L/W LOWEST GRADE ADJACENT |
| DIA DIAMETER | L/W LOWEST GRADE ADJACENT |
| DWM DUCTILE IRON WATER MAIN | MAX MAXIMUM |
| EL ELEVATION | MH STORM MANHOLE |
| EP EDGE OF PAVEMENT | MIN MINIMUM |
| FF FINISHED FLOOR | NWL NORMAL WATER ELEVATION |
| FES FLARED END SECTION | PCS OUTLET CONTROL STRUCTURE |
| FT FOOT/FEET | PVC PAVEMENT ELEVATION |
| G GUTTER ELEVATION | PVC POLYVINYL CHLORIDE PIPE |
| GF GRADE AT FOUNDATION | R RADIUS |
| GR GRADE RING ELEVATION | RCP REINFORCED CONCRETE PIPE |
| HOPE HIGH DENSITY POLYETHYLENE PIPE | RT RIGHT |
| HYD FIRE HYDRANT | ROW RIGHT OF WAY |
| HMA HOT MIX ASPHALT | |

| BENCHMARKS | |
|---|--|
| SOURCE BENCHMARKS (INGS MONUMENT DESIGNATION H 140, PID M01020) | |
| WING MARK DISK IN THE TOP OF THE CENTER OF THE NORTHWEST CONCRETE HEAD WALL OF A 4-FOOT CONCRETE BOX CULVERT UNDER THE ROAD, 22 FEET NORTHWEST OF AND ABOUT 1/4 FOOT BELOW THE CENTER LINE OF THE ROAD, ABOUT 1.7 MILES SOUTHWEST ALONG THE NEW AVENUE FROM THE ALTON RAILROAD STATION AT LEMONT, ABOUT 175 YARDS SOUTHWEST OF THE ALTON RAILROAD STATION, NO. 58, ELEVATION = 590.84 (NAD83) | |
| SITE BENCHMARK #1: CROSS ON TOP OF SOUTHEAST BONNET BOLT OF 1ST FIRE HYDRANT NORTHEASTLY OF THE INTERSECTION OF N. INDEPENDENCE BOULEVARD AND HONEY TREE DRIVE ON THE SOUTH SIDE OF N. INDEPENDENCE BOULEVARD. ELEVATION = 660.20 | |
| SITE BENCHMARK #2: CROSS ON TOP OF SOUTHEAST BONNET BOLT OF 2ND FIRE HYDRANT NORTHEASTLY OF THE INTERSECTION OF N. INDEPENDENCE BOULEVARD AND HONEY TREE DRIVE ON THE SOUTH SIDE OF N. INDEPENDENCE BOULEVARD. ELEVATION = 668.45 | |

NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) 551 FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION
 - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (550S) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION
 - VILLAGE OF ROMEIOVILLE CODE OF ORDINANCES
- IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

2. FOR MUNICIPAL INSPECTIONS, PLEASE CALL (815) 886-6355.

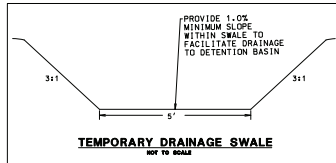
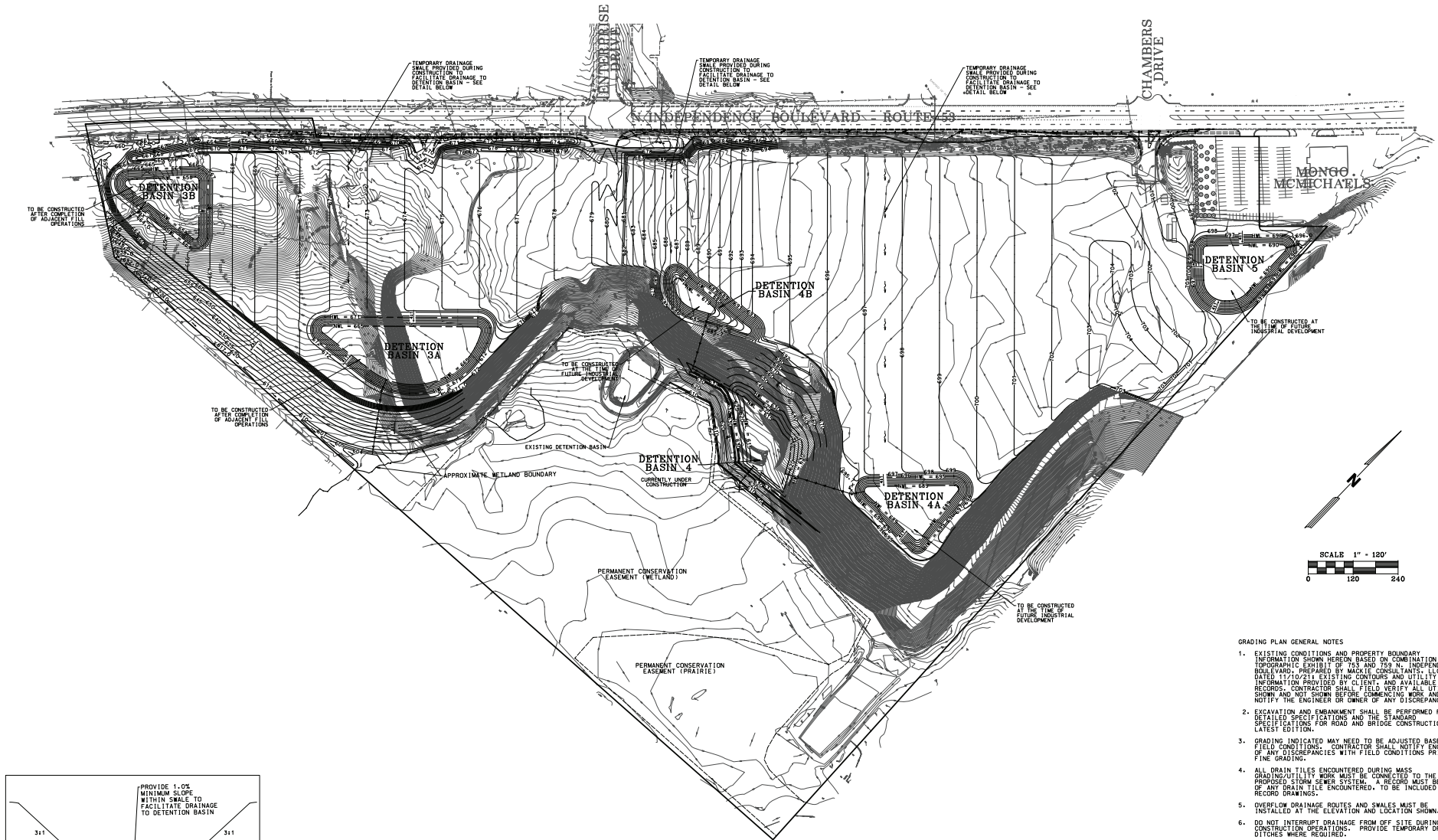


Robert R. McQuinn
LICENSED ENGINEER

| DRAINAGE CERTIFICATION | |
|---|--------------------------------------|
| I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS. | |
| Robert R. McQuinn LICENSED ENGINEER | Robert R. McQuinn ENGINEER'S SEAL |

| | |
|------------|--|
| DESIGNED | BRM |
| DRAWN | RDB |
| APPROVED | BRM |
| DATE | 01/28/2022 |
| REVISION | DATE |
| 4/1/2022 | REVISED PER VILLAGE OF ROMEIOVILLE, PDWC |
| 03/04/2022 | REVISED PER VILLAGE OF ROMEIOVILLE |

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- GRADING PLAN GENERAL NOTES
- EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION SHOWN HEREON BASED ON COMBINATION OF TOPOGRAPHIC EXHIBIT OF 753 AND 759 N. INDEPENDENCE BOULEVARD, PREPARED BY MACKIE CONSULTANTS, LLC, DATED 11/10/21. EXISTING CONTOURS AND UTILITY INFORMATION PROVIDED BY CLIENT, AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
 - EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
 - ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING/UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT OF ANY DRAIN TILE ENCOUNTERED, TO BE INCLUDED IN RECORD DRAWINGS.
 - OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
 - DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
 - CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.
 - APPROXIMATE WETLAND BOUNDARIES SHOWN HEREON BASED ON WETLAND DELINEATION REPORT, PREPARED BY GARY R. WEBER ASSOCIATES, INC., DATES DECEMBER 1, 2021.
 - PROPOSED ROUTE 53 IMPROVEMENTS SHOWN HEREON BASED ON PROPOSED UTILITY PLANS, PREPARED BY KNIGHT ENGINEERS AND ARCHITECTS, LAST REVISED 12/8/2021.



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)695-1400
www.mackieconsult.com

CLIENT:

FS REAL ESTATE, LLC

321 CENTER STREET
HILLSIDE, ILLINOIS, 60142
PHONE: 708-544-1776

| DATE | DESCRIPTION OF REVISION | BY |
|------------|--|-----|
| 4/1/2022 | REVISED PER VILLAGE OF ROMEOVILLE, FPDWC | JD |
| 03/04/2022 | REVISED PER VILLAGE OF ROMEOVILLE | RDB |

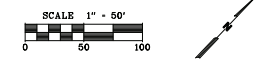
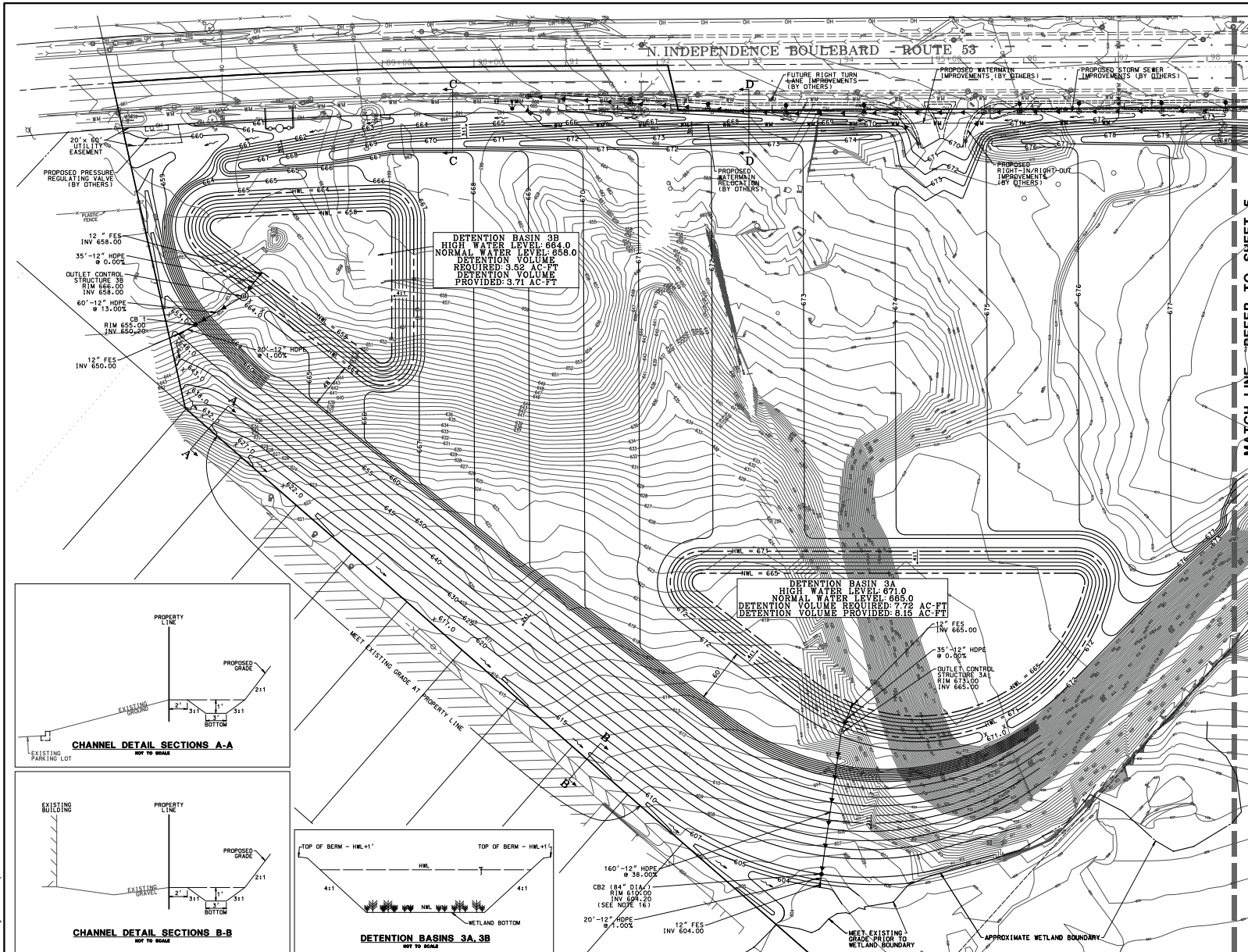
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| DESIGNED | BRM |
| DRAWN | RDB |
| APPROVED | BRM |
| DATE | 01/28/2022 |
| SCALE | 1" = 120' |

OVERALL GRADING AND PHASING PLAN
753, 759, 761, AND 765 INDEPENDENCE BOULEVARD
ROMEOVILLE, ILLINOIS

SHEET

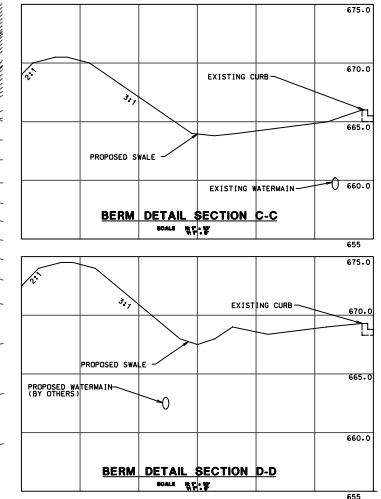
3 OF 16

PROJECT NUMBER: 4179
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- GRADING PLAN GENERAL NOTES**
- EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION SHOWN HEREIN BASED ON COMBINATION OF TOPOGRAPHIC EXHIBIT OF 753 AND 759 N. INDEPENDENCE BOULEVARD, PREPARED BY MACKIE CONSULTANTS, INC. DATED 12/10/21. EXISTING CONTOURS AND UTILITY INFORMATION PROVIDED BY CLIENT, AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
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 - ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
 - ALL STORM SEWERS SHALL BE DUAL WALL, N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE) AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS OR APPROVED EQUAL.
 - ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY, UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
 - CONTRACTOR SHALL CONTACT JULE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
 - CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
 - THE VILLAGE REQUIRES SUBMISSION OF RECORDED VIDEO INSPECTIONS OF ALL PUBLIC STORM SEWERS.
 - PROVIDE 4' THICK FLOWABLE FILL CONCRETE COLLAR AROUND CB2 TO PROVIDE ADDITIONAL STABILITY.

MATCH LINE - REFER TO SHEET 5



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847) 695-1400
www.mackieconsult.com

CLIENT: **FS REAL ESTATE, LLC**
321 CENTER STREET
HILLSIDE, ILLINOIS, 60162
PHONE: 708-544-1776

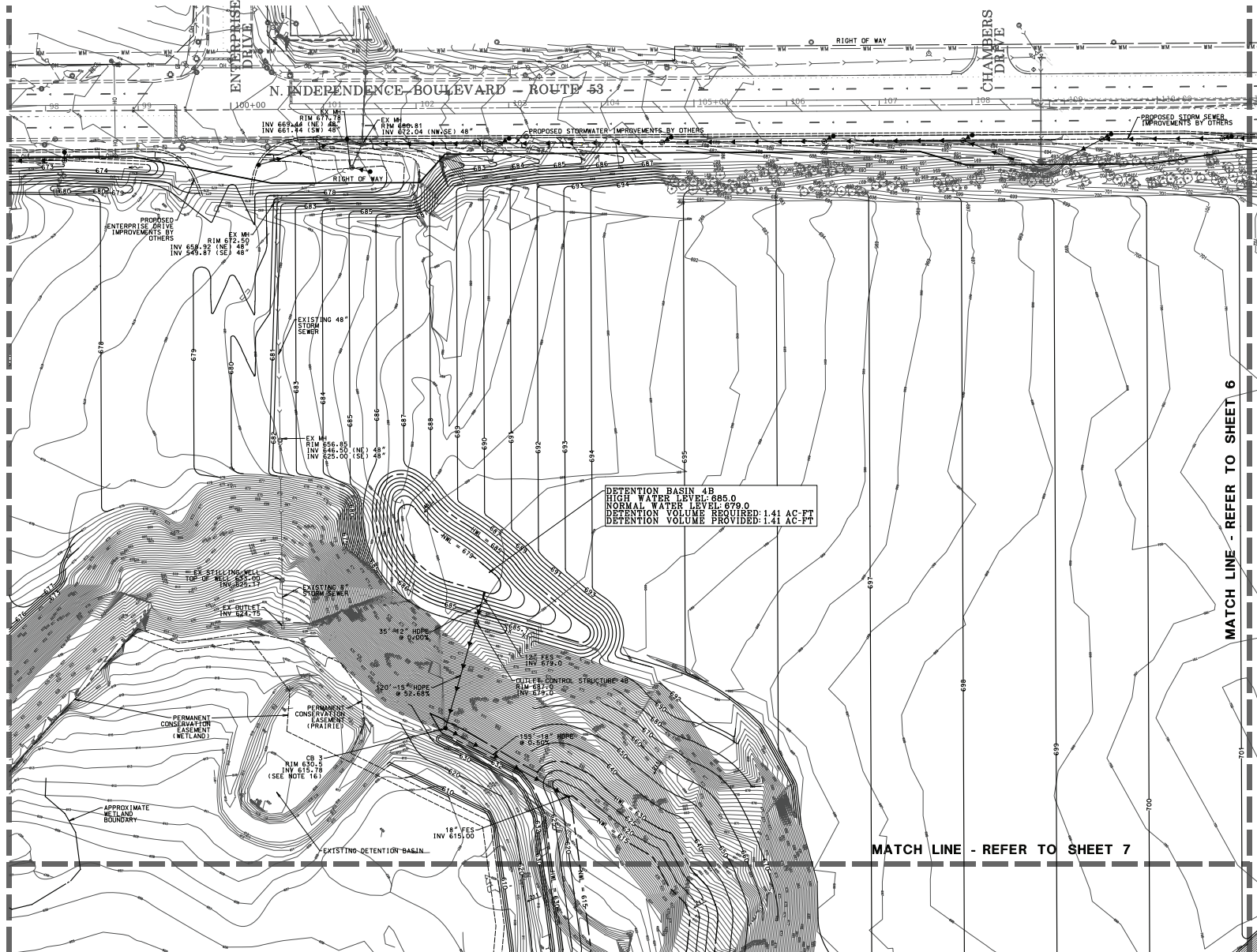
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| DESIGNED | BRM |
| DRAWN | RDB |
| APPROVED | BRM |
| DATE | 01/28/2022 |
| SCALE | 1" = 50' |
| DATE | 03/04/2022 |
| DESCRIPTION OF REVISION | |

GRADING PLAN - SOUTHWEST
753, 759, 761, AND 765 INDEPENDENCE BOULEVARD
ROMEOWILLE, ILLINOIS

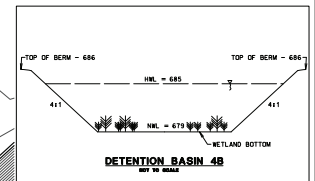
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4 OF 16
PROJECT NUMBER: 4179
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MATCH LINE - REFER TO SHEET 4



- GRADING PLAN GENERAL NOTES
1. EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION SHOWN HEREON BASED ON COMBINATION OF TOPOGRAPHIC EXHIBIT OF 753 AND 759 N. INDEPENDENCE BOULEVARD, PREPARED BY MACKIE CONSULTANTS, LLC, DATED 11/10/21. EXISTING CONTOURS AND UTILITY INFORMATION PROVIDED BY CLIENT, AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
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 4. ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING/UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT OF ANY DRAIN TILE ENCOUNTERED, TO BE INCLUDED IN RECORD DRAWINGS.
 5. OVERFLOW DRAINAGE ROUTES AND SHALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
 6. DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
 7. CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.
 8. APPROXIMATE WETLAND BOUNDARIES SHOWN HEREON BASED ON WETLAND DELINEATION REPORT, PREPARED BY GARY R. WEBER ASSOCIATES, INC., DATES DECEMBER 14, 2021.
 9. PROPOSED ROUTE 53 IMPROVEMENTS SHOWN HEREON BASED ON PROPOSED HIGHWAY PLANS, PREPARED BY KNIGHT ENGINEERS AND ARCHITECTS, LAST REVISED 12/8/2021.
 10. ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
 11. ALL STORM SEWERS SHALL BE DUAL WALL, N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE) AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS OR APPROVED EQUAL.
 12. ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY. UTILITY COMPANIES OR FIELD MEASUREMENTS, THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
 13. CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
 14. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
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 16. PROVIDE 4' THICK FLOWABLE FILL CONCRETE COLLAR AROUND CBS TO PROVIDE ADDITIONAL STABILITY.



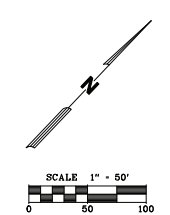
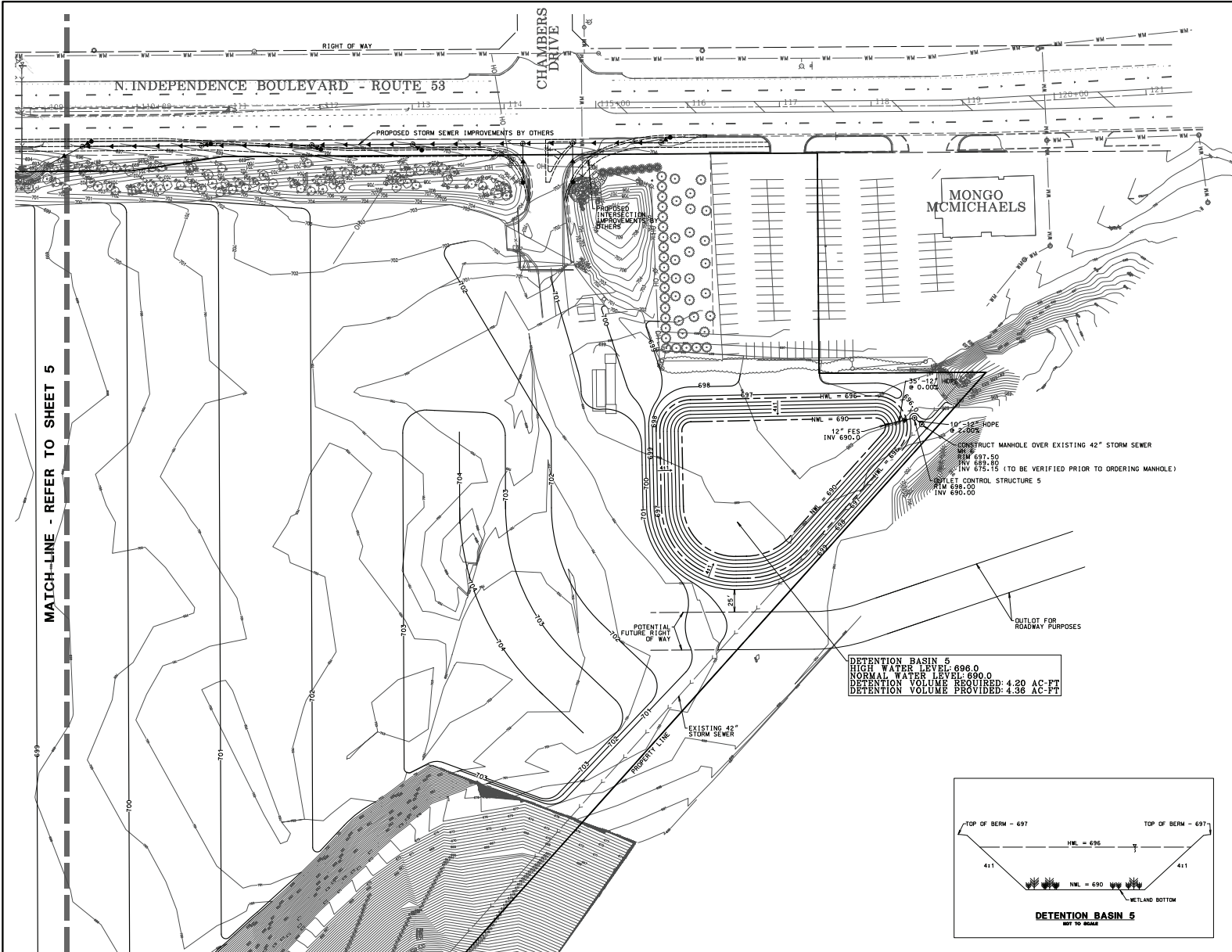
Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)695-1400
www.mackieconsult.com

CLIENT:
FS REAL ESTATE, LLC
321 CENTER STREET
HILLSIDE, ILLINOIS, 60162
PHONE: 708-544-1776

| | |
|-------------------------|-----------------------------------|
| DESIGNED | BRM |
| DRAWN | RDB |
| APPROVED | BRM |
| DATE | 01/28/2022 |
| SCALE | 1" = 50' |
| DATE | 03/04/2022 |
| DESCRIPTION OF REVISION | REVISED PER VILLAGE OF ROMEOVILLE |
| BY | RDB |

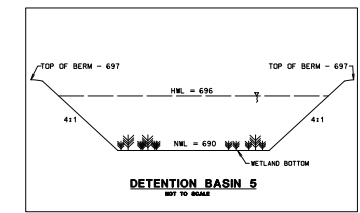
GRADING PLAN - CENTRAL
753, 759, 761, AND 765 INDEPENDENCE BOULEVARD
ROMEOVILLE, ILLINOIS

SHEET
5 OF 16
PROJECT NUMBER: 4179
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- GRADING PLAN GENERAL NOTES
- EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION SHOWN HEREON BASED ON COMBINATION OF TOPOGRAPHIC EXHIBIT OF 753 AND 759 N. INDEPENDENCE BOULEVARD, PREPARED BY MACKIE CONSULTANTS, LLC, DATED 11/20/2011. EXISTING CONTOURS AND UTILITY INFORMATION PROVIDED BY CLIENT, AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
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 - PROPOSED ROUTE 53 IMPROVEMENTS SHOWN HEREON BASED ON PROPOSED HIGHWAY PLANS, PREPARED BY KNIGHT ENGINEERS AND ARCHITECTS, LAST REVISED 12/6/2021.
 - ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
 - ALL STORM SEWERS SHALL BE DUAL WALL, N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE) AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS OR APPROVED EQUAL.
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 - THE VILLAGE REQUIRES SUBMISSION OF RECORDED VIDEO INSPECTIONS OF ALL PUBLIC STORM SEWERS.
 - LOCATION OF EXISTING OUTLOT FOR ROADWAY PURPOSES IS APPROXIMATE BASED ON PROPERTY BOUNDARY INFORMATION PROVIDED BY THE CLIENT AND FINAL PLAN OF SUBDIVISION OF ROMEOVILLE GATEWAY, DATED NOVEMBER 20, 2017.

DETENTION BASIN 5
HIGH WATER LEVEL: 696.0
NORMAL WATER LEVEL: 690.0
DETENTION VOLUME REQUIRED: 4.38 AC-FT
DETENTION VOLUME PROVIDED: 4.38 AC-FT



MATCH-LINE - REFER TO SHEET 5



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)695-1400
www.mackieconsult.com

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HILLSIDE, ILLINOIS, 60162
PHONE: 708-544-1776

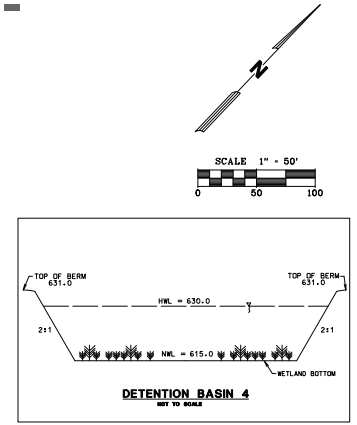
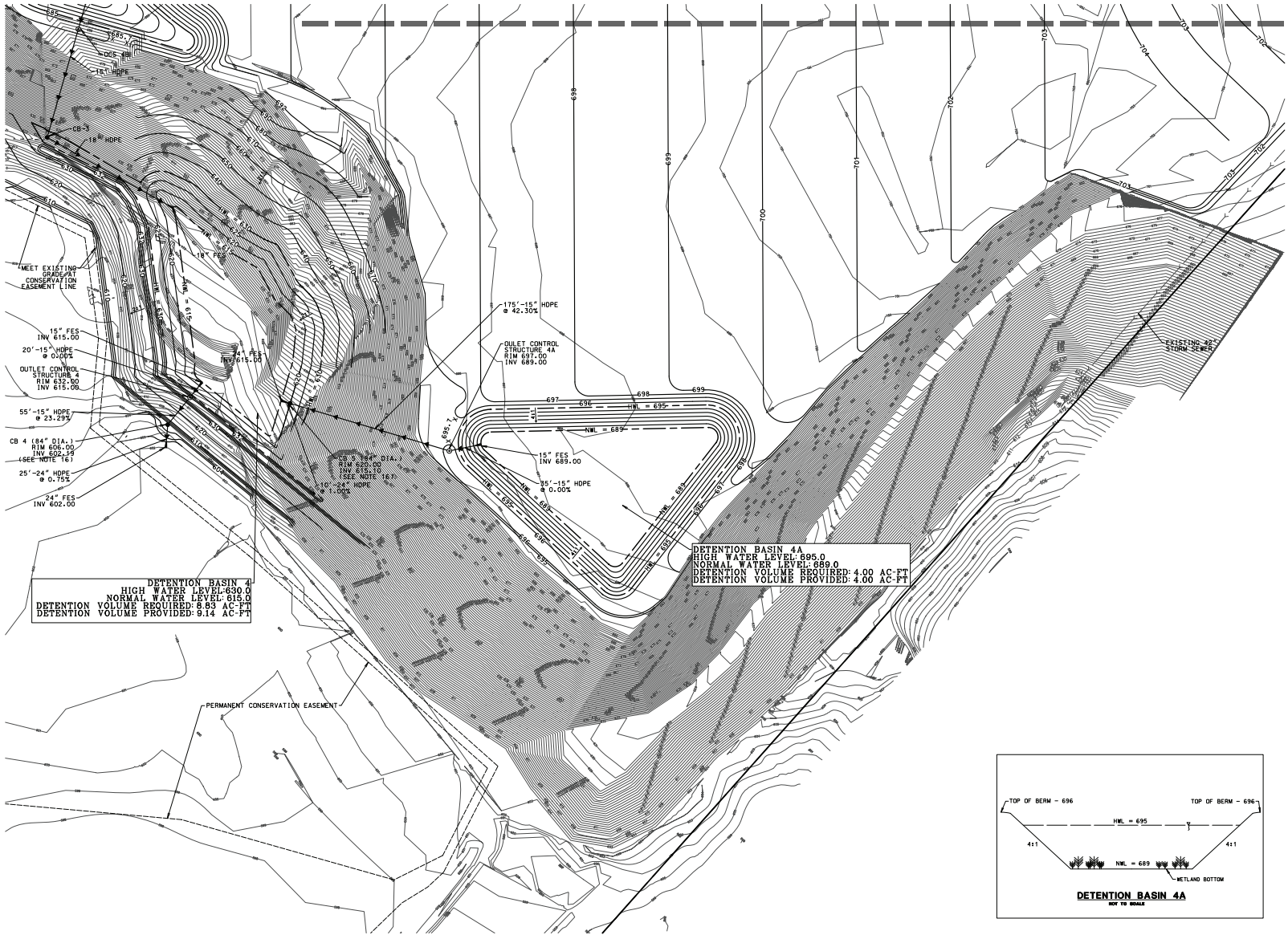
| | | | |
|------------|--|----------|------------|
| | | DESIGNED | BRM |
| | | DRAWN | RDB |
| | | APPROVED | BRM |
| 4/1/2022 | REVISED PER VILLAGE OF ROMEOVILLE, FPDWC | JD | DATE |
| 03/04/2022 | REVISED PER VILLAGE OF ROMEOVILLE | RDB | 01/28/2022 |
| DATE | DESCRIPTION OF REVISION | BY | SCALE |
| | | | 1" = 50' |

GRADING PLAN - NORTHEAST
753, 759, 761, AND 765 INDEPENDENCE BOULEVARD
ROMEOVILLE, ILLINOIS

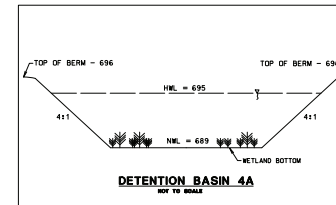
SHEET
6 OF 16
PROJECT NUMBER: 4179
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ILLINOIS FIRM LICENSE #4-000694

4/1/2022 2:50:32 PM
in: 117979 Engineering Plans 1750106 Grading Plan Rev 0000.dwg

MATCH LINE - REFER TO SHEET 6



- GRADING PLAN GENERAL NOTES**
- EXISTING CONDITIONS AND PROPERTY BOUNDARY INFORMATION SHOWN HEREON BASED ON COMBINATION OF TOPOGRAPHIC EXHIBIT OF 753 AND 759 N. INDEPENDENCE BOULEVARD PREPARED BY MACKIE CONSULTANTS, LLC, DATED 11/10/21. EXISTING CONTOURS AND UTILITY INFORMATION PROVIDED BY CLIENT, AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOTIFY BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
 - EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
 - ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING/UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT OF ANY DRAIN TILE ENCOUNTERED, TO BE INCLUDED IN RECORD DRAWINGS.
 - OVERFLOW DRAINAGE ROUTES AND SCALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
 - DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
 - CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.
 - APPROXIMATE WETLAND BOUNDARIES SHOWN HEREON BASED ON WETLAND DELINEATION REPORT, PREPARED BY GARY R. WEBER ASSOCIATES, INC., DATES DECEMBER 11, 2021.
 - PROPOSED ROUTE 53 IMPROVEMENTS SHOWN HEREON BASED ON PROPOSED HIGHWAY PLANS, PREPARED BY ANTOING ENGINEERS AND ARCHITECTS, LAST REVISED 12/8/2021.
 - ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
 - ALL STORM SEWERS SHALL BE DUAL WALL, N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE) AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS OR APPROVED EQUAL.
 - ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY. UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
 - CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
 - CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
 - THE VILLAGE REQUIRES SUBMISSION OF RECORDED VIDEO INSPECTIONS OF ALL PUBLIC STORM SEWERS.
 - PROVIDE 4\"/>



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847) 695-1400
www.mackieconsult.com

CLIENT: FS REAL ESTATE, LLC
321 CENTER STREET
HILLSIDE, ILLINOIS, 60162
PHONE: 708-544-1776

| | |
|-------------------------|-----------------------------------|
| DESIGNED | BRM |
| DRAWN | RDB |
| APPROVED | BRM |
| DATE | 01/28/2022 |
| SCALE | 1" = 50' |
| DATE | 03/04/2022 |
| DESCRIPTION OF REVISION | REVISED PER VILLAGE OF ROMEOVILLE |
| BY | RDB |

GRADING PLAN - SOUTHEAST
753, 759, 761, AND 765 INDEPENDENCE BOULEVARD
ROMEOVILLE, ILLINOIS

SHEET
7 OF 16
PROJECT NUMBER: 4179
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| | | | |
|-----------|--------------------------|----|------|
| PROFILE | | BY | DATE |
| | SURVEYED | | |
| | PLOTTED | | |
| NOTE BOOK | GRADES CHECKED | | |
| | B.M. NOTED | | |
| NO. _____ | STRUCTURE NOTAT'NS CHK'D | | |

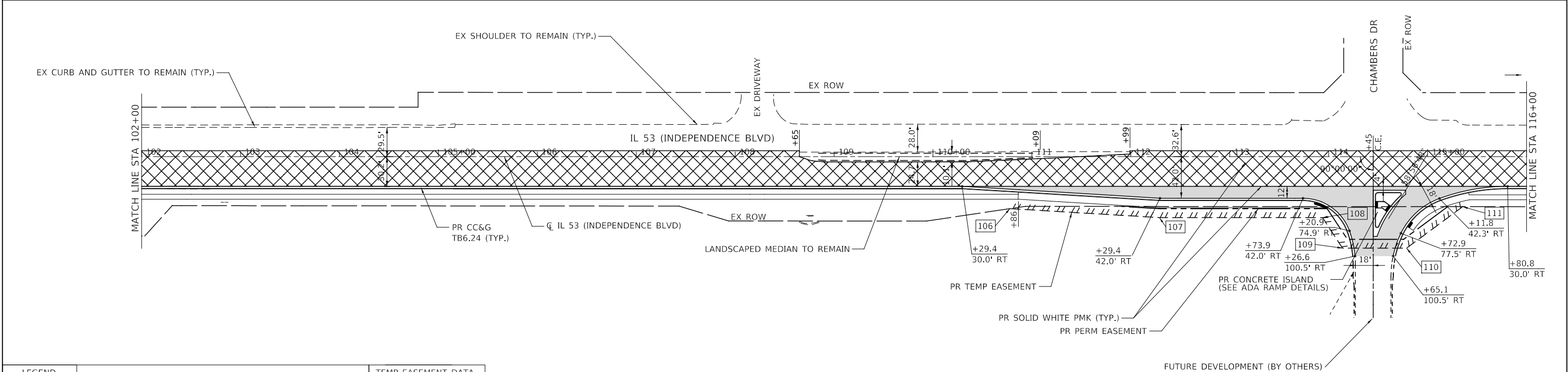
Profile view of the proposed road showing elevation (665 to 695) versus stationing (91+00 to 102+00). The profile shows a dashed line representing the proposed road grade, with a solid line indicating the existing ground profile. Key features include a vertical curve labeled "EX. PROFILE ALONG TL 53 (INDEPENDENCE BLVD)" and a vertical curve labeled "C. ENTERPRISE DR STA 99+98.77". The profile shows a slight rise in elevation from station 91+00 to 102+00, with a vertical curve segment between stations 98+00 and 100+00.



| Station | Elevation (ft) |
|---------|----------------|
| 91+00 | 668.04 |
| 91+25 | 668.71 |
| 91+50 | 669.38 |
| 91+75 | 669.75 |
| 92+00 | 670.27 |
| 92+25 | 670.69 |
| 92+50 | 671.02 |
| 92+75 | 671.30 |
| 93+00 | 671.65 |
| 93+25 | 671.86 |
| 93+50 | 672.27 |
| 93+75 | 672.72 |
| 94+00 | 673.24 |
| 94+25 | 673.91 |
| 94+50 | 674.58 |
| 94+75 | 675.30 |
| 95+00 | 676.10 |
| 95+25 | 676.99 |
| 95+50 | 677.95 |
| 95+75 | 678.99 |
| 96+00 | 680.07 |
| 96+25 | 681.18 |
| 96+50 | 682.38 |

| | | | | | | | | | | | | | |
|--|-----------------------|------------------|-----------|---|---|---------------------|------|---------|-------------|---------|--------|--------------|-----------|
| <div style="background-color: black; color: white; padding: 5px; text-align: center; font-weight: bold; font-size: 1.2em;">KNIGHT</div> <div style="text-align: center; font-weight: bold; font-size: 0.8em;">Engineers & Architects</div> | USER NAME = patobrien | DESIGNED - DMS | REVISED - |  | <div style="font-weight: bold; font-size: 1.2em;">IL 53 (INDEPENDENCE BLVD)</div> <div style="font-weight: bold; font-size: 1.2em;">ROADWAY PLAN & PROFILES</div> | | | | F.A.P. RTE. | SECTION | COUNTY | TOTAL SHEETS | SHEET NO. |
| | DRAWN - PMO | REVISED - | 112 | | | | | | | | 80 | 20 | |
| | PLOT SCALE = 1:100 | CHECKED - CMS | REVISED - | | CONTRACT NO. | | | | | | | | |
| | PLOT DATE = 3/25/2022 | DATE - 3/25/2022 | REVISED - | | SCALE: AS SHOWN | SHEET 1 OF 3 SHEETS | STA. | TO STA. | ILLINOIS | | | | |

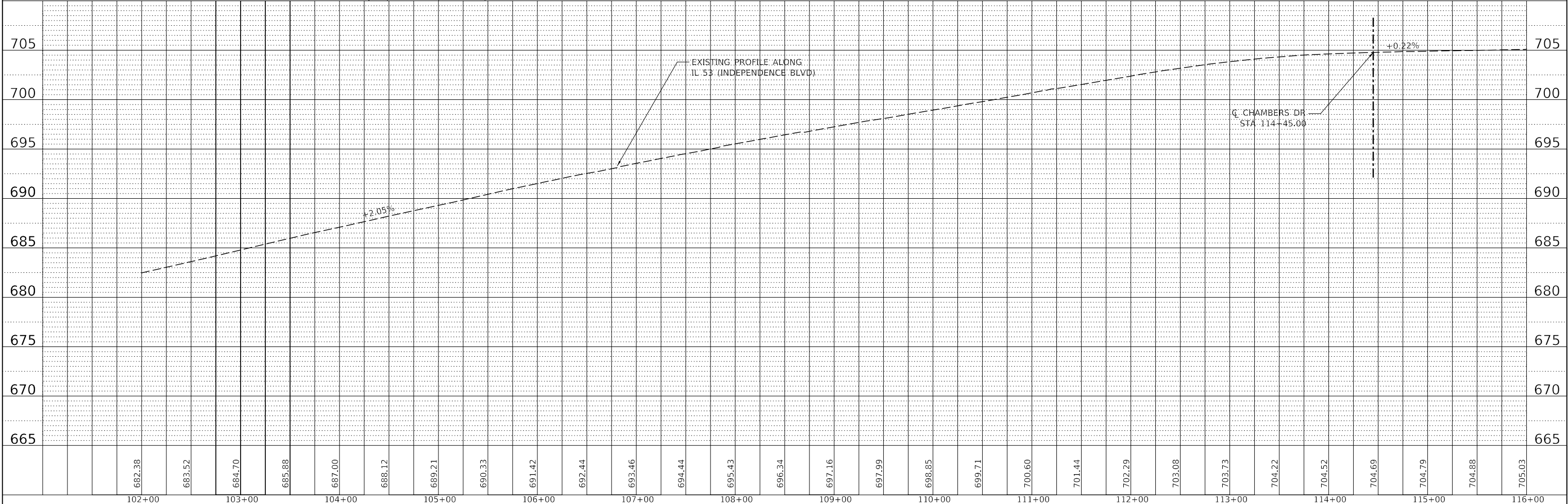
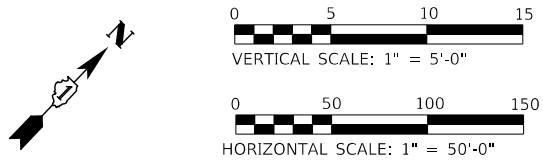
| PLAN | SURVEYED | BY | DATE |
|---------------|-----------|----|------|
| NOTE BOOK NO. | ALIGNED | | |
| | CHECKED | | |
| | FILE NAME | | |

| PROFILE | SURVEYED | BY | DATE |
|---------------|-----------|----|------|
| NOTE BOOK NO. | GRADES | | |
| | CHECKED | | |
| | STRUCTURE | | |
| | NOTATIS | | |



| LEGEND | | TEMP EASEMENT DATA | | |
|---|---|--------------------|--------|---------------|
|  | PROPOSED PAVEMENT - 2" P HMA SC IL-9.5 E N70 - 9 1/4" HMA BASE COURSE WIDENING (WHEN WIDTH IS ≤ 6') OR 9 1/4" HMA BASE COURSE (WHEN WIDTH IS > 6') - 12" AGGREGATE SUBGRADE IMPROVEMENT | NO. | STA | OFFSET (FEET) |
|  | PROPOSED RESURFACING - 2" P HMA SC IL-9.5 E N70 | 106 | 110+78 | 52.52 RT |
| | | 107 | 112+29 | 61.58 RT |
| | | 108 | 113+94 | 61.59 RT |
| | | 109 | 114+14 | 92.52 RT |
| | | 110 | 114+79 | 92.52 RT |
| | | 111 | 115+35 | 50.54 RT |

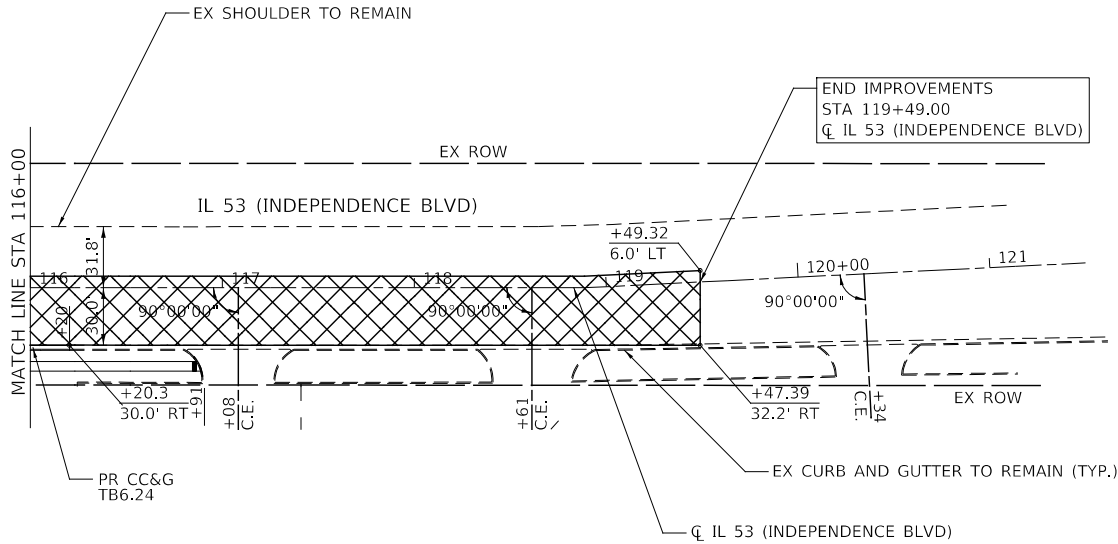
- NOTES:
- PERMANENT EASEMENT IS LOCATED AT A 9' OFFSET FROM TEMPORARY EASEMENT



| | | | | | | | | | | | |
|---|-----------------------|---------------------|-----------|---------|--|--|--------------|---------|--------|--------------|-----------|
| KNIGHT Engineers & Architects | USER NAME = patobrien | DESIGNED - DMS | REVISED - | | IL 53 (INDEPENDENCE BLVD) ROADWAY PLAN & PROFILES | | F.A.P. RTE. | SECTION | COUNTY | TOTAL SHEETS | SHEET NO. |
| | PLOT SCALE = 1:100 | DRAWN - PMO | REVISED - | | | | 112 | | WILL | 80 | 21 |
| | PLOT DATE = 3/25/2022 | CHECKED - CMS | REVISED - | | | | CONTRACT NO. | | | | |
| | | DATE - 3/25/2022 | REVISED - | | | | | | | | |
| SCALE: AS SHOWN | | SHEET 2 OF 3 SHEETS | STA. | TO STA. | ILLINOIS | | | | | | |

| | | | |
|-----------|----------|----|------|
| PLAN | SURVEYED | BY | DATE |
| | PLOTTED | | |
| NOTE BOOK | CHECKED | | |
| | NO. | | |

| | | | |
|-----------|--------------------------|----|------|
| PROFILE | SURVEYED | BY | DATE |
| | PLOTTED | | |
| NOTE BOOK | GRADES CHECKED | | |
| | STRUCTURE NOTATIONS CHKO | | |



| LEGEND | |
|-------------|---|
| <div></div> | PROPOSED PAVEMENT - 2" P HMA SC IL-9.5 E N70 - 9 1/4" HMA BASE COURSE WIDENING (WHEN WIDTH IS ≤ 6') OR 9 1/4" HMA BASE COURSE (WHEN WIDTH IS > 6') - 12" AGGREGATE SUBGRADE IMPROVEMENT |
| <div></div> | PROPOSED RESURFACING - 2" P HMA SC IL-9.5 E N70 |

| TEMP EASEMENT DATA | | |
|--------------------|--------|---------------|
| NO. | STA | OFFSET (FEET) |
| 207 | 116+15 | 50.60 RT |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

- NOTES:
- PERMANENT EASEMENT IS LOCATED AT A 9' OFFSET FROM TEMPORARY EASEMENT

