

PLAT OF DEDICATION

FOR PUBLIC STREET AND PUBLIC UTILITIES TO THE VILLAGE OF ROMEOVILLE, ILLINOIS

DESCRIPTION OF PARENT PROPERTY PARCEL

LOT 1 IN THE FINAL PLAT OF SUBDIVISION OF WINDHAM LAKES SOUTHWEST, BEING A SUBDIVISION OF PART OF SECTION 31, TOWNSHIP 37 NORTH, RANGE 10 EAST AND PART OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 6, 2006 AS DOCUMENT NUMBER R2006-109671, IN WILL COUNTY, ILLINOIS.

DEDICATION LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN LOT 1 IN THE FINAL PLAT OF SUBDIVISION OF WINDHAM LAKES SOUTHWEST, BEING A SUBDIVISION OF PART OF SECTION 31, TOWNSHIP 37 NORTH, RANGE 10 EAST AND PART OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 6, 2006 AS DOCUMENT NUMBER R2006-109671, IN WILL COUNTY, ILLINOIS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE NORTH 84 DEGREES 10 MINUTES 45 SECONDS WEST, 19.93 FEET ALONG THE NORTH LINE OF SAID LOT 1, SAID NORTH LINE ALSO BEING THE SOUTH RIGHT OF WAY LINE OF WEST NORMANTOWN ROAD TO THE POINT OF BEGINNING. FROM SAID POINT OF BEGINNING; THENCE NORTH 89 DEGREES 19 MINUTES 52 SECONDS WEST, 345.63 FEET TO A POINT ON SAID NORTH LINE OF LOT 1, ALSO BEING SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 88 DEGREES 41 MINUTES 40 SECONDS EAST, 250.18 FEET ALONG SAID NORTH LINE OF LOT 1, ALSO BEING SAID SOUTH RIGHT OF WAY LINE; THENCE SOUTH 84 DEGREES 10 MINUTES 45 SECONDS EAST, 95.98 FEET ALONG SAID NORTH LINE OF LOT 1, ALSO BEING SAID SOUTH RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF LIVINGSTON)SS

THIS IS TO CERTIFY THE WE, FARNSWORTH GROUP, HAVE SURVEYED AND PLATTED THE ABOVE-DESCRIBED PROPERTY FOR THE PURPOSES SHOWN HEREON, AND THAT THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID PROPERTY.

GIVEN UNDER MY HAND AND SEAL THIS 9TH DAY OF SEPTEMBER 2025.

BY: 
PAUL E. BROWN
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3539
LICENSE EXPIRES NOVEMBER 30, 2026.



DATE: 9-9-2025
EXP. DATE: 11-30-26
DESIGN FIRM REGISTRATION
NO. 184-001856

OWNERS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF)SS

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE PROPERTY DESCRIBED HEREON AND HAVE CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATE. THE UNDERSIGNED OWNER HEREBY CONVEYS AND DEDICATES TO VILLAGE OF ROMEOVILLE, ILLINOIS THE LAND DESCRIBED.

DATED THIS _____ DAY OF _____, A.D. _____.

BY: _____

PRINTED NAME AND TITLE

ATTEST: _____

PRINTED NAME AND TITLE

NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF)SS

I, _____ A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

_____, (TITLE) _____

AND _____, (TITLE) _____

OF _____ WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAMES ARE SUBSCRIBED TO THE FORGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT THEY DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL THIS _____ DAY OF _____ A.D. _____.

NOTARY PUBLIC

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)SS

I, ANNETTE PARKER, COUNTY CLERK OF WILL COUNTY DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, UNPAID CURRENT TAXES, DELINQUENT SPECIAL ASSESSMENTS, UNPAID CURRENT ASSESSMENTS, UNPAID CURRENT SPECIAL ASSESSMENTS, UNPAID FORFEITED TAXES AND REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT JOLIET, ILLINOIS THIS _____ DAY OF _____, 20____.

BY: _____

WILL COUNTY CLERK

MORTGAGE HOLDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF)SS

THE UNDERSIGNED, THE PRUDENTIAL INSURANCE COMPANY OF AMERICA, DOES HEREBY CERTIFY THAT THEY ARE A MORTGAGEE UNDER THAT CERTAIN MORTGAGE, SECURITY AGREEMENT AND FIXTURE FILING DATED JUNE 30, 2017, AND RECORDED ON JUNE 30, 2017, AS DOCUMENT NO. R2017051117, OF THE PROPERTY DESCRIBED HEREON, AND DOES HEREBY AGREE AND CONSENT TO SAID PROPERTY BEING DEDICATED FOR PUBLIC STREET AND GRANTED FOR PUBLIC UTILITIES AS SHOWN HEREON

DATED THIS _____ DAY OF _____, 20____.

ADDRESS _____

CITY, _____ STATE, _____ ZIP CODE _____

BY: _____

PRINTED NAME AND TITLE

ATTEST: _____

PRINTED NAME AND TITLE

NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF)SS

I, _____ A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

_____, (TITLE) _____

AND _____, (TITLE) _____

OF _____ WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAMES ARE SUBSCRIBED TO THE FORGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT THEY DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL THIS _____ DAY OF _____ A.D. _____.

NOTARY PUBLIC

VILLAGE CLERK CERTIFICATE

I HEREBY CERTIFY THAT I FIND NO DEFERRED INSTALLMENTS OR OUTSTANDING UNPAID ASSESSMENTS DUE AGAINST THE PROPERTY DESCRIBED HEREON.

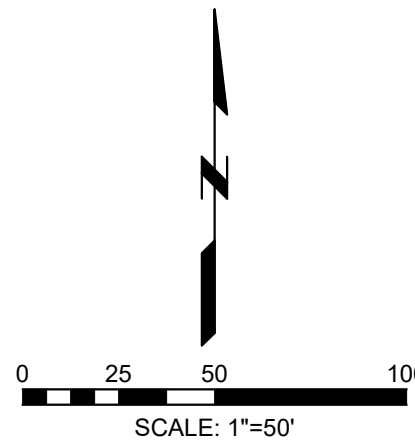
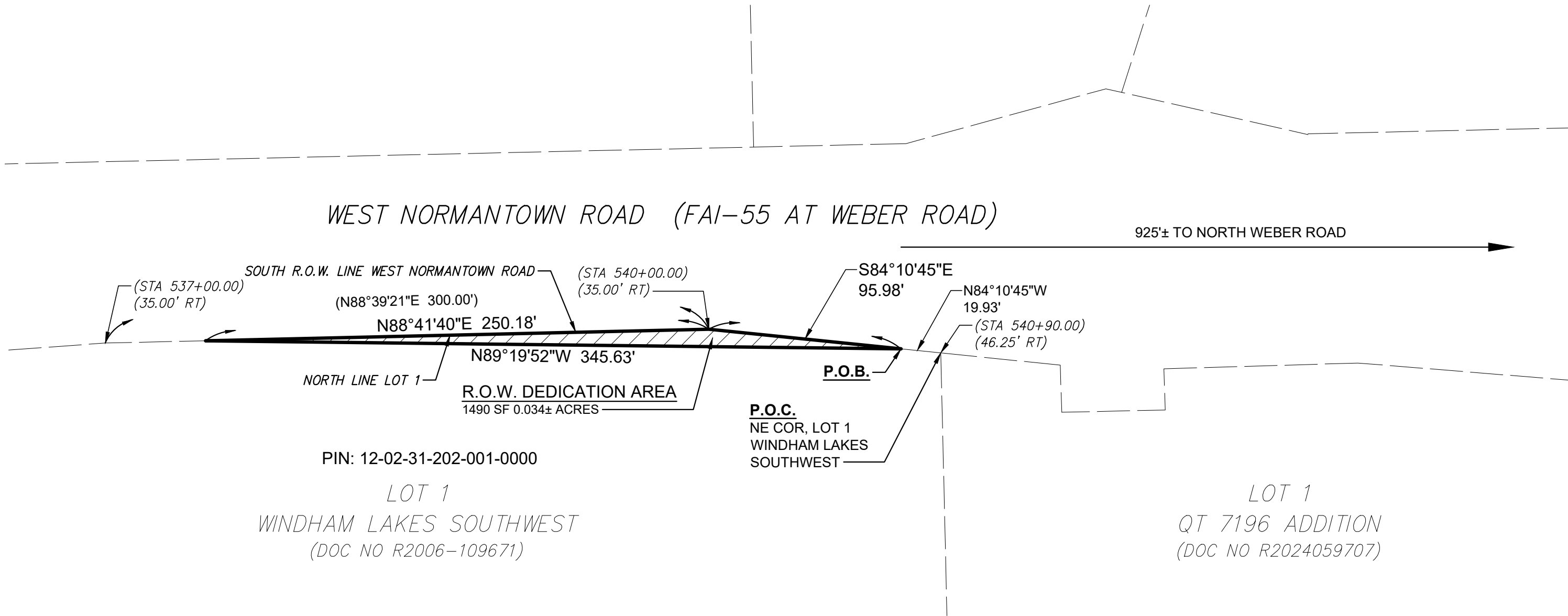
BY: _____

VILLAGE CLERK

EXEMPT FROM TRANSFER TAX BY _____

NAME

SIGNATURE



LEGEND

P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
(S89°21'26"W 446.71')	PREVIOUS PLAT OR DEED CALL
S89°21'55"W 446.72'	MEASURED BEARING AND DISTANCE
	R.O.W. OF WAY DEDICATION AREA
	PARCEL LINE

GENERAL NOTES

- IN ADDITION TO THIS PLAT OF DEDICATION A CONVEYANCE DOCUMENT SHOULD BE EXECUTED AND RECORDED USING THE LEGAL DESCRIPTION FROM THIS PLAT OF DEDICATION.
- RIGHT OF WAY DEDICATION AREA IS 1490 SQUARE FEET OR 0.034± ACRES.

VILLAGE OF ROMEOVILLE PLANNING CERTIFICATE

ORDINANCE / RESOLUTION NO. _____ ADOPTED THE _____ DAY OF _____, 20____.

APPROVED BY THE PLANNING COMMISSION OF THE VILLAGE OF ROMEOVILLE, ILLINOIS AT A MEETING HELD THIS _____ DAY OF _____, 20____.

BY: _____
CHAIRMAN - PLAN COMMISSION

PRESIDENT AND BOARD OF TRUSTEES CERTIFICATE

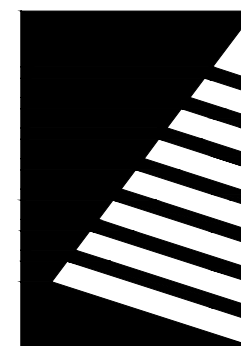
APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF ROMEOVILLE, ILLINOIS AT A MEETING HELD THIS _____ DAY OF _____, 20____.

BY: _____
PRESIDENT

ATTEST: _____
CLERK

EASEMENT PROVISIONS:

AN EASEMENT IS RESERVED AND GRANTED TO THE VILLAGE OF ROMEOVILLE, ILLINOIS AND THOSE PUBLIC UTILITIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF ROMEOVILLE, ILLINOIS, THEIR SUCCESSORS AND ASSIGNS, FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS OVER, UNDER, ACROSS, AND ALONG THE SURFACE OF THE PROPERTY SHOWN ON THE PLAT MARKED "HEREBY DEDICATED", TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY EMPLOYEES AND EQUIPMENT TO DO ANY OF THE AFOREMENTIONED OPERATIONS.



Farnsworth
GROUP

2211 WEST BRADLEY AVENUE
CHAMPAIGN, ILLINOIS 61821
(217) 352-7408 / info@f-w.com

www.f-w.com

Engineers | Architects | Surveyors | Scientists

ISSUE:

DATE: DESCRIPTION:

PROJECT:

DATE: 09/09/2025

DESIGNED: PEB

DRAWN: PDM

REVIEWED: KJS

FIELD BOOK NO.: ####

SHEET TITLE:

PLAT OF DEDICATION

SHEET NUMBER:

1

OF 1

PROJECT NO.: 02501165.001