

An Ordinance Approving a Special Use Permit for a Planned Unit Development – General Development Plan for Village Place Apartments by Edward Rose and Sons and S.R. Jacobson.

WHEREAS, Edward Rose and Sons and S.R. Jacobson (hereinafter referred to as "Developer") has requested the approval of a Special Use Permit for a Planned Unit Development - General Development Plan for Village Place Apartments; and,

WHEREAS, said request is for 12.8 acres located on the south side of Normantown Road, just east of Brunswick Lane; and,

WHEREAS, said request for General Development Plan includes the following exhibits:

- Preliminary Engineering Plans by Kimley Horn and Associates, Inc., last dated December 15, 2016 and attached as Exhibit A; and,
- GDP Floor Plans and Building Elevations prepared by Alexander V. Bogarts + Associates, P.C., last dated September 26, 2016 and attached as Exhibit B; and,
- Staff Review Letter, last dated January 17, 2017 and attached as Exhibit C; and,

WHEREAS, said request has met all of the procedural requirements of the Village of Romeoville, Village Board of Trustees, Planning & Zoning Commission, Development Review Committee, and the Code of Ordinances, as amended; and,

WHEREAS, the Planning & Zoning Commission held a Public Hearing on November 8, 2016 to discuss the proposal as outlined in the PZC Report attached as Exhibit D; and,

WHEREAS, said request meets with the approval of the Village of Romeoville and hereby authorizes Developer to proceed according to the Development Regulations, Zoning Code and various requests made by the Development Review Committee, Planning & Zoning Commission, and Village Board of Trustees.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES FOR THE VILLAGE OF ROMEOVILLE, WILL COUNTY, ILLINOIS:

Section 1: That the above recitals and referenced reports are hereby incorporated and made a part of this Ordinance;

Section 2: That approval of the Special Use Permit for a Planned Unit Development – General Development Plan is hereby granted by the Village, in which the Village President is hereby authorized to sign, and the Village Clerk attest thereto, that the said General Development Plan has met all of the requirements as herewith attached and is authorized to proceed at the site legally described as follows:

PARCEL 1:

THE EAST 520 FEET OF THE WEST 586 FEET OF THE NORTH 838 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY DECREES ENTERED IN CASE NUMBER 89ED11 AND 89ED12, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED SEPTEMBER 12, 1989, AS DOCUMENT R89-46084, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

An Ordinance Approving a PUD – General Development Plan
Village Place Apartments (ORD 16-1327)

PARCEL 2:

THE EAST 260.00 FEET OF THE WEST 846.00 FEET OF THE NORTH 838.00 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY DECREES ENTERED IN CASE NUMBER 89ED11 AND 89ED12, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED MARCH 13, 1989, AS DOCUMENT R89-011180, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

TAX P.I.N.: 12-02-32-100-008; 12-02-32-100-006

Section 3: That the Planned Unit Development allows for the following exceptions and clarifications from the Development Regulations and Zoning Code:

1. Residential Density (Section 159.68). An increase in the maximum density from 12 units per acre to 16.9 units per acre, to permit the proposed 216 unit apartment development as depicted in the General Development Plan.
2. Tree Preservation and Removal Regulations (Section 159.30.C). Tree Preservation shall be accommodated as depicted in the General Development Plan. A waiver from the required 82 replacement trees not planted on site.
3. Setbacks (159.68.F.6). A reduction in the required 25-foot front yard setback for the parking.
4. Maximum Lot Coverage (159.68.F.8). An increase the maximum lot coverage from 50% to 55%.
5. Minimum Landscape Coverage (159.68.F.9). A reduction in the minimum landscape coverage from 50% to 45%.
6. Site Runoff and Storage Facility Design (160.035). i) a reduction in the required area for the Normal Water Level (NWL) from 1.0 acres to 0.65 acres; and ii) an increase in the maximum bounce from 4 feet to 5 feet for a 100-year storm event and from 4 feet to 1.5 feet for a two-year storm event.
7. Street Access (Section 159.017 and 159.60.E.5). The proposed development will have a single point of access to Normantown Road. A second point of access is provided at Kingsley Drive, but said access is a restricted emergency access. A stub is presently provided to the west and may result in a future third point of access.
8. Residential District Requirements – Building Design Guidelines (Section 159.60.H.1 and 159.60.H.3). The proposed development is designed such that all buildings are oriented internally around the central clubhouse and associated open space rather than the Normantown Road right-of-way. Elevations are approved consistent with the General Development Plan.
9. Fenestration (Section 159.60.H.4). The elevations attached as part of the General Development Plan are deemed to satisfy applicable requirements.
10. Parking/Garages (Section 159.60.H.5). Parking is provided via a combination of surface parking, detached garages and attached garages. The development will not provide a minimum of two attached garage spaces for each unit as depicted in the General Development Plan.
11. Special Signs (Section 159.129.K). Permanent Residential Development Entrance Signs. The developer will provide a permanent masonry or stone development sign identifying the name of the apartment community. The sign will not be greater than 8 feet in height, but will comply with all applicable sign regulations.
12. Curb and Gutter (Section 158.027). Integral curb and sidewalk shall be permitted as depicted in the General Development Plan.

An Ordinance Approving a PUD – General Development Plan
Village Place Apartments (ORD 16-1327)

13. Building Height (Section 159.068 F(5)). The height of the buildings shall be permitted as depicted in the General Development Plan with roof peaks, in some instances, exceeding forty feet (40').
14. Setbacks (Section 159.068 F(6)(f)). A reduction in the required contiguous lot area is permitted as depicted in the General Development Plan.

Section 4: That this Ordinance is contingent on compliance with all applicable Village ordinances and outstanding staff comments. This includes but is not limited to the staff comment letter attached as Exhibit C.

Section 5: That this Ordinance shall become effective upon its passage, approval and publication as provided by law.

PASSED this ____ day of _____, 2017 with ____ members voting aye, with ____ members voting nay, and with ____ members absent or passing, and said vote being:

Trustee Linda S. Palmeter _____

Trustee Ken Griffin _____

Trustee Dave Richards _____

Trustee Brian A. Clancy, Sr. _____

Trustee Jose (Joe) Chavez _____

Trustee Lourdes (Lou) Aguirre _____

DR. BERNICE HOLLOWAY, Village Clerk

APPROVED this ____ day of _____, 2017.

JOHN NOAK, Mayor

Attest:

Village Clerk

An Ordinance Approving a PUD -- General Development Plan
Village Place Apartments (ORD 16-1327)

Exhibit A:

Preliminary Engineering Plans

PRELIMINARY ENGINEERING PLANS

VILLAGE PLACE APARTMENTS

205-45 NORMANTOWN ROAD ROMEovILLE, ILLINOIS 60446



UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT

VILLAGE OF ROMEovILLE
615 ANDERSON DRIVE
ROMEovILLE, IL 60446
TEL: (815) 886-1870
CONTACT: JONATHAN ZABROCKI, P.E.

Roadway Authority
VILLAGE OF ROMEovILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEovILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

SANITARY SEWER SERVICE

VILLAGE OF ROMEovILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEovILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

POWER COMPANY
COMED LINCOLN CENTER
3 LINCOLN CENTER
OAK BROOK TERRACE, IL 60181
TEL: (630) 437-4130

STORM SEWER SERVICE

VILLAGE OF ROMEovILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEovILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

NATURAL GAS COMPANY
NICOR GAS COMPANY
90 NORTH FINLEY ROAD
GLEN ELLYN, IL 60137
TEL: (888) 388-2172

WATER SERVICE

VILLAGE OF ROMEovILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEovILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

TELEPHONE
AT&T ILLINOIS
100 NORTH FINLEY
OAK BROOK, IL 60523
TEL: (630) 573-8434

PROJECT TEAM

DEVELOPER
EDWARD ROADS & SONS
38525 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48303-2011
TEL: (248) 696-5582
CONTACT: NATHAN ANDERSON

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
USLE, IL 60532
TEL: (331) 461-5569
EMAIL: DREW.WALKER@KIMLEY-HORN.COM
CONTACT: DREW WALKER, P.E.

SR. JACOBSON DEVELOPMENT CORP.
32400 TELEGRAPH ROAD, SUITE 100
BINGHAM FARMS, MI 48025
TEL: (248) 642-4700
CONTACT: MANNY KIANICKY

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
USLE, IL 60532
TEL: (331) 461-7335
EMAIL: KEITH.DEMCHINSKI@KIMLEY-HORN.COM
CONTACT: KEITH DEMCHINSKI, P.L.A.

TESTING SERVICES CORPORATION
400 EAST BURGESS DRIVE
CARLISLE, PENNSYLVANIA 17013
TEL: (717) 243-4066
CONTACT: MIKE MACHALINSKI

TRAFFIC ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
USLE, IL 60532
TEL: (331) 461-7332
EMAIL: TIM.SJOGREN@KIMLEY-HORN.COM
CONTACT: TIM SJOGREN, P.E.

SURVEYOR
LANDMARK ENGINEERING, LLC
7806 W. 103RD ST.
PALOS HILLS, IL 60465
TEL: (708) 599-3737
CONTACT: MARK LANDSTROM, P.E., PLS

ENVIRONMENTAL ENGINEER
CHRISTOPHER B. BURKE ENGINEERING, LTD
9575 W. HIGGINS RD, SUITE 600
ROSEMONT, IL 60018
TEL: (847) 823-0500
CONTACT: TRAVIS KESSLER, PWS

LEGAL DESCRIPTION

PARCEL 1: THE EAST 520 FEET OF THE WEST 838 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS, BY DECREES ENTERED IN CASE NUMBER 89ED11 AND 89ED12, ALL 100 FEET EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED SEPTEMBER 12, 1989, AS DOCUMENT R89-46804, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

PARCEL 2: THE EAST 260 FEET OF THE WEST 846 FEET OF THE NORTH 838 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY DECREES ENTERED IN CASE NUMBER 89ED11 AND 89ED12, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED MARCH 13, 1988, AS DOCUMENT R89-011180, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

BENCHMARKS

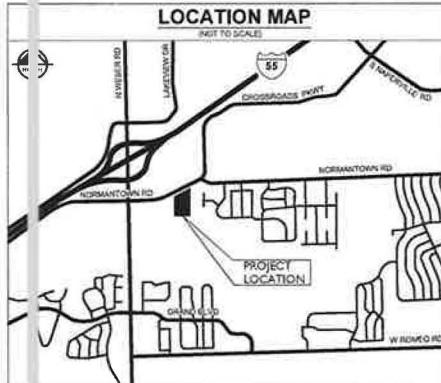
SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SQUARE CUT ON LIGHT POLE BASE
ELEVATION: 839.52

SQUARE CUT AT INTERSECTION OF CONCRETE WALKS
(KINGSLEY DRIVE)
ELEVATION: 627.18

INDEX OF SHEETS

Sheet Number	Sheet Title
C0.0	TITLE SHEET
V0.0	TOPOGRAPHIC SURVEY (BY OTHERS)
C1.0	OVERALL SITE PLAN
C2.0	GRADING PLAN
C3.0	OVERALL UTILITY PLAN
L1.0	TREE PRESERVATION PLAN
L1.1	TREE PRESERVATION PLAN
L2.0	PRELIMINARY LANDSCAPE PLAN
L3.0	LANDSCAPE NOTES AND DETAILS



BASE FLOOD ELEVATION

REF: 616.70

SCALE: 1:4000	45' BENEATH
DRAWN BY: DW	RECHECKED BY: DW
REVIEWED BY: DW	APPROVED BY: DW
0 250 500 750 1000 1250 1500 1750 2000 2500 3000 3500 4000 4500 5000 5500 6000 6500 7000 7500 8000 8500 9000 9500 10000 10500 11000 11500 12000 12500 13000 13500 14000 14500 15000 15500 16000 16500 17000 17500 18000 18500 19000 19500 20000 20500 21000 21500 22000 22500 23000 23500 24000 24500 25000 25500 26000 26500 27000 27500 28000 28500 29000 29500 30000 30500 31000 31500 32000 32500 33000 33500 34000 34500 35000 35500 36000 36500 37000 37500 38000 38500 39000 39500 40000 40500 41000 41500 42000 42500 43000 43500 44000 44500 45000 45500 46000 46500 47000 47500 48000 48500 49000 49500 50000 50500 51000 51500 52000 52500 53000 53500 54000 54500 55000 55500 56000 56500 57000 57500 58000 58500 59000 59500 60000 60500 61000 61500 62000 62500 63000 63500 64000 64500 65000 65500 66000 66500 67000 67500 68000 68500 69000 69500 70000 70500 71000 71500 72000 72500 73000 73500 74000 74500 75000 75500 76000 76500 77000 77500 78000 78500 79000 79500 80000 80500 81000 81500 82000 82500 83000 83500 84000 84500 85000 85500 86000 86500 87000 87500 88000 88500 89000 89500 90000 90500 91000 91500 92000 92500 93000 93500 94000 94500 95000 95500 96000 96500 97000 97500 98000 98500 99000 99500 100000 100500 101000 101500 102000 102500 103000 103500 104000 104500 105000 105500 106000 106500 107000 107500 108000 108500 109000 109500 110000 110500 111000 111500 112000 112500 113000 113500 114000 114500 115000 115500 116000 116500 117000 117500 118000 118500 119000 119500 120000 120500 121000 121500 122000 122500 123000 123500 124000 124500 125000 125500 126000 126500 127000 127500 128000 128500 129000 129500 130000 130500 131000 131500 132000 132500 133000 133500 134000 134500 135000 135500 136000 136500 137000 137500 138000 138500 139000 139500 140000 140500 141000 141500 142000 142500 143000 143500 144000 144500 145000 145500 146000 146500 147000 147500 148000 148500 149000 149500 150000 150500 151000 151500 152000 152500 153000 153500 154000 154500 155000 155500 156000 156500 157000 157500 158000 158500 159000 159500 160000 160500 161000 161500 162000 162500 163000 163500 164000 164500 165000 165500 166000 166500 167000 167500 168000 168500 169000 169500 170000 170500 171000 171500 172000 172500 173000 173500 174000 174500 175000 175500 176000 176500 177000 177500 178000 178500 179000 179500 180000 180500 181000 181500 182000 182500 183000 183500 184000 184500 185000 185500 186000 186500 187000 187500 188000 188500 189000 189500 190000 190500 191000 191500 192000 192500 193000 193500 194000 194500 195000 195500 196000 196500 197000 197500 198000 198500 199000 199500 200000 200500 201000 201500 202000 202500 203000 203500 204000 204500 205000 205500 206000 206500 207000 207500 208000 208500 209000 209500 210000 210500 211000 211500 212000 212500 213000 213500 214000 214500 215000 215500 216000 216500 217000 217500 218000 218500 219000 219500 220000 220500 221000 221500 222000 222500 223000 223500 224000 224500 225000 225500 226000 226500 227000 227500 228000 228500 229000 229500 230000 230500 231000 231500 232000 232500 233000 233500 234000 234500 235000 235500 236000 236500 237000 237500 238000 238500 239000 239500 240000 240500 241000 241500 242000 242500 243000 243500 244000 244500 245000 245500 246000 246500 247000 247500 248000 248500 249000 249500 250000 250500 251000 251500 252000 252500 253000 253500 254000 254500 255000 255500 256000 256500 257000 257500 258000 258500 259000 259500 260000 260500 261000 261500 262000 262500 263000 263500 264000 264500 265000 265500 266000 266500 267000 267500 268000 268500 269000 269500 270000 270500 271000 271500 272000 272500 273000 273500 274000 274500 275000 275500 276000 276500 277000 277500 278000 278500 279000 279500 280000 280500 281000 281500 282000 282500 283000 283500 284000 284500 285000 285500 286000 286500 287000 287500 288000 288500 289000 289500 290000 290500 291000 291500 292000 292500 293000 293500 294000 294500 295000 295500 296000 296500 297000 297500 298000 298500 299000 299500 300000 300500 301000 301500 302000 302500 303000 303500 304000 304500 305000 305500 306000 306500 307000 307500 308000 308500 309000 309500 310000 310500 311000 311500 312000 312500 313000 313500 314000 314500 315000 315500 316000 316500 317000 317500 318000 318500 319000 319500 320000 320500 321000 321500 322000 322500 323000 323500 324000 324500 325000 325500 326000 326500 327000 327500 328000 328500 329000 329500 330000 330500 331000 331500 332000 332500 333000 333500 334000 334500 335000 335500 336000 336500 337000 337500 338000 338500 339000 339500 340000 340500 341000 341500 342000 342500 343000 343500 344000 344500 345000 345500 346000 346500 347000 347500 348000 348500 349000 349500 350000 350500 351000 351500 352000 352500 353000 353500 354000 354500 355000 355500 356000 356500 357000 357500 358000 358500 359000 359500 360000 360500 361000 361500 362000 362500 363000 363500 364000 364500 365000 365500 366000 366500 367000 367500 368000 368500 369000 369500 370000 370500 371000 371500 372000 372500 373000 373500 374000 374500 375000 375500 376000 376500 377000 377500 378000 378500 379000 379500 380000 380500 381000 381500 382000 382500 383000 383500 384000 384500 385000 385500 386000 386500 387000 387500 388000 388500 389000 389500 390000 390500 391000 391500 392000 392500 393000 393500 394000 394500 395000 395500 396000 396500 397000 397500 398000 398500 399000 399500 400000 400500 401000 401500 402000 402500 403000 403500 404000 404500 405000 405500 406000 406500 407000 407500 408000 408500 409000 409500 410000 410500 411000 411500 412000 412500 413000 413500 414000 414500 415000 415500 416000 416500 417000 417500 418000 418500 419000 419500 420000 420500 421000 421500 422000 422500 423000 423500 424000 424500 425000 425500 426000 426500 427000 427500 428000 428500 429000 429500 430000 430500 431000 431500 432000 432500 433000 433500 434000 434500 435000 435500 436000 436500 437000 437500 438000 438500 439000 439500 440000 440500 441000 441500 442000 442500 443000 443500 444000 444500 445000 445500 446000 446500 447000 447500 448000 448500 449000 449500 450000 450500 451000 451500 452000 452500 453000 453500 454000 454500 455000 455500 456000 456500 457000 457500 458000 458500 459000 459500 460000 460500 461000 461500 462000 462500 463000 463500 464000 464500 465000 465500 466000 466500 467000 467500 468000 468500 469000 469500 470000 470500 471000 471500 472000 472500 473000 473500 474000 474500 475000 475500 476000 476500 477000 477500 478000 478500 479000 479500 480000 480500 481000 481500 482000 482500 483000 483500 484000 484500 485000 485500 486000 486500 487000 487500 488000 488500 489000 489500 490000 490500 491000 491500 492000 492500 493000 493500 494000 494500 495000 495500 496000 496500 497000 497500 498000 498500 499000 499500 500000 500500 501000 501500 502000 502500 503000 503500 504000 504500 505000 505500 506000 506500 507000 507500 508000 508500 509000 509500 510000 510500 511000 511500 512000 512500 513000 513500 514000 514500 515000 515500 516000 516500 517000 517500 518000 518500 519000 519500 520000 520500 521000 521500 522000 522500 523000 523500 524000 524500 525000 525500 526000 526500 527000 527500 528000 528500 529000 529500 530000 530500 531000 531500 532000 532500 533000 533500 534000 534500 535000 535500 536000 536500 537000 537500 538000 538500 539000 539500 540000 540500 541000 541500 542000 542500 543000 543500 544000 544500 545000 545500 546000 546500 547000 547500 548000 548500 549000 549500 550000 550500 551000 551500 552000 552500 553000 553500 554000 554500 555000 555500 556000 556500 557000 557500 558000 558500 559000 559500 560000 560500 561000 561500 562000 562500 563000 563500 564000 564500 565000 565500 566000 566500 567000 567500 568000 568500 569000 569500 570000 570500 571000 571500 572000 572500 573000 573500 574000 574500 575000 575500 576000 576	

TOPOGRAPHIC PLAT OF SURVEY

10

THE EAST

NOTES
OF THE ST

כתר נסיך

37 MARCH

Page 2

卷之三

EXPOSING

BY IRVING RA
KORN

BY INSTITUTE
NORTH. RA

WILL COUNTY PLATE
PAINTED. 1
12-02-32-100-000
PAINTED. 2
12-02-32-100-000

4545	PARCEL 1 350.547 SQ.FT. 8.837 AC	PARCEL 2 206.551 SQ.FT. 4.703 AC	TOTAL 556.098 SQ.FT. 12.540 AC
------	--	--	--------------------------------------

FOUND OUT ODDS
AT HORSESHOE CASINO
OF 545,000 TO 25,000
THIS DOC 2014-000581

LEGEND

FIELD WORK COMPLETED 10/27/15

संस्कृतम्

401

111

104

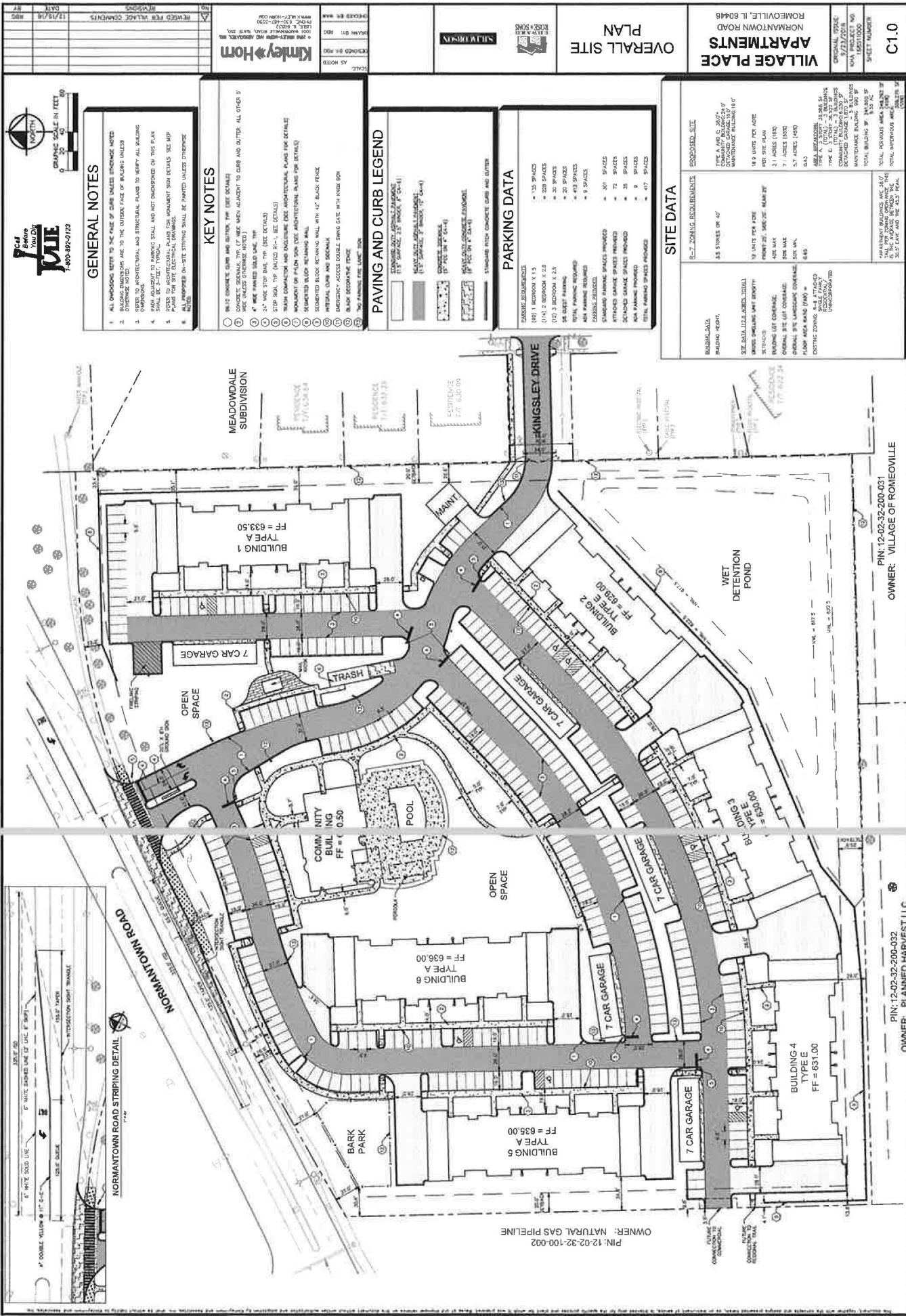
卷之三

LAWRENCE D. WILSON 20-2014

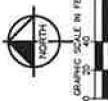
1

LANDMARK
TECHNOLOGIES LLC

DAVISON & CO.
GENERAL BUILDING CONTRACTORS
7808 WEST 103RD STREET
PALOS HILLS, ILLINOIS 60465-1529
Phone (708) 589-3727
Survey No. 15-005-007-#1



Les dépendances sont considérées comme être atteintes si elles sont égales ou supérieures à 10 unités sur une échelle de 0 à 100, échelle qui indique une absence de dépendance.



GRADING NOTES

GRADING LEGEND

DETENTION SUMMARY

TRAIL TREATMENT AREA = 12.8 ACRES
TEN-YEAR ALUMINUM RELEASE RATE (0.04 CFS/ACRE) = 0.52 CFS
3-YEAR ALLOWABLE RELEASE RATE (0.15 CFS/ACRE) = 0.93 CFS
3-YEAR RELEASE RATE = 0.93 CFS
3-YEAR RELEASE RATE = 0.52 CFS
3-YEAR RELEASE RATE = 0.15 CFS
3-YEAR RELEASE RATE = 0.04 CFS/ACRE

GRADING PLAN

VILLAGE PLACE
APARTMENTS
NORMANTOWN ROAD
ROMEOVILLE, IL 60446

9/23/2015

SECTION B-B N.Y.

OWNER: VILLAGE OF ROMEVILLE

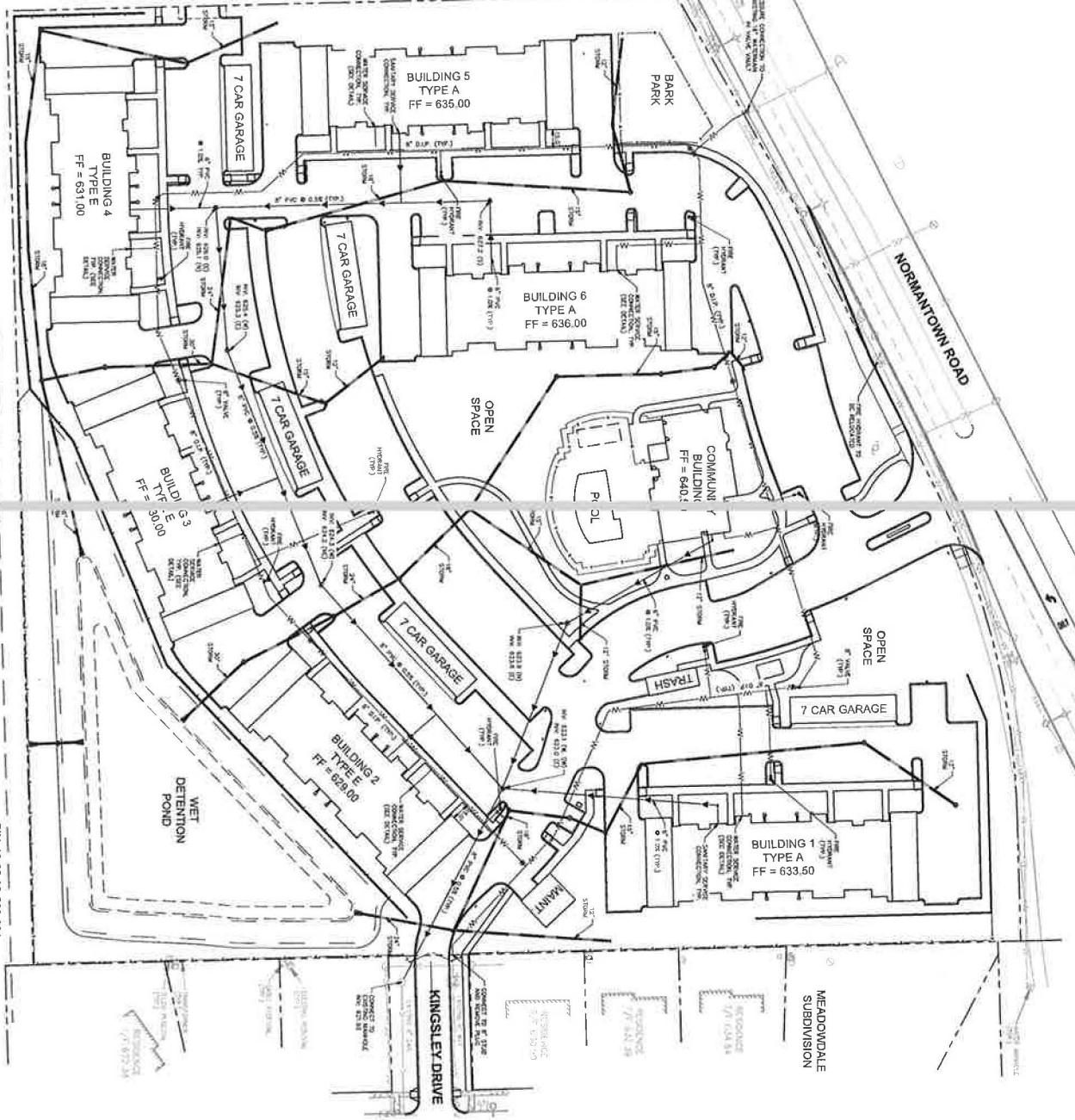
卷之三

1000 45 1000 500

卷之三

This architectural site plan illustrates a mixed-use development area. The top portion shows a residential subdivision labeled 'MEADOWDALE SUBDIVISION' with building footprints and property lines. A major road, 'KINGSLEY DRIVE', runs through the center. To the right, a large industrial facility is depicted with several large buildings, including 'BUILDING 1' (FF#633.50, PP#633.33), 'BUILDING 2' (FF#633.50, PP#633.33), 'BUILDING 3' (FF#633.50, PP#633.33), 'BUILDING 4' (FF#633.50, PP#633.33), and 'BUILDING 5' (FF#633.50, PP#633.33). The facility includes various industrial structures like tanks, pipes, and a 'POOL TOP = 180'. A 'TRASH' area is also shown. The bottom portion of the plan shows a 'BARK PARK' and a 'NATURAL GAS PIPELINE' with a valve. A road, 'NORMANDIEN ROAD', is labeled on the left. The plan includes a north arrow and a scale bar. Text on the right side of the plan includes 'PIN# 1202-32-100-002', 'OWNER: NATURAL GAS PIPELINE', 'PIN# 1202-32-000-002', 'OWNER: PLANNED HARVEY LLC', and 'OWNER: VILLAGE OF ROMEOVILLE'.

PIN: 12-02-32-100-002
OWNER: NATURAL GAS PIPELINE



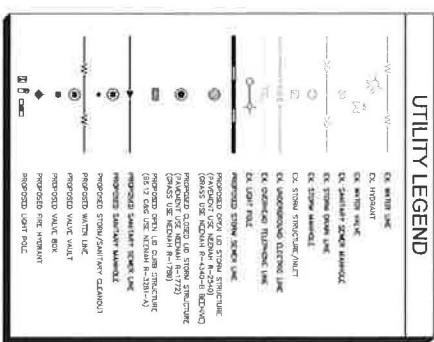
NOTES

111



A circular compass rose with a vertical axis. The top half contains the word 'NORTH' and the bottom half contains 'SOUTH'. The left half contains 'EAST' and the right half contains 'WEST'. A scale line extends from the center to the left, labeled '0 DEGREES SCALE IN' at the top and '40' at the bottom. A horizontal line extends from the center to the right, labeled 'NORTH' at the end.

UTILITY LEGEN



**VILLAGE PLACE
APARTMENTS**
NORMANTOWN ROAD
ROMEOVILLE, IL 60446

OVERALL UTILITY PLAN



SLIMMERS

Kimley-Horn
LAND PLANNING • ENVIRONMENTAL • ENGINEERING

© 2009 KIRLEY-HORN AND ASSOCIATES, INC.
1001 WARRIORVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630-487-5550
WWW.KIRLEY-HORN.COM

REVISED PER VILLAGE COMMENTS

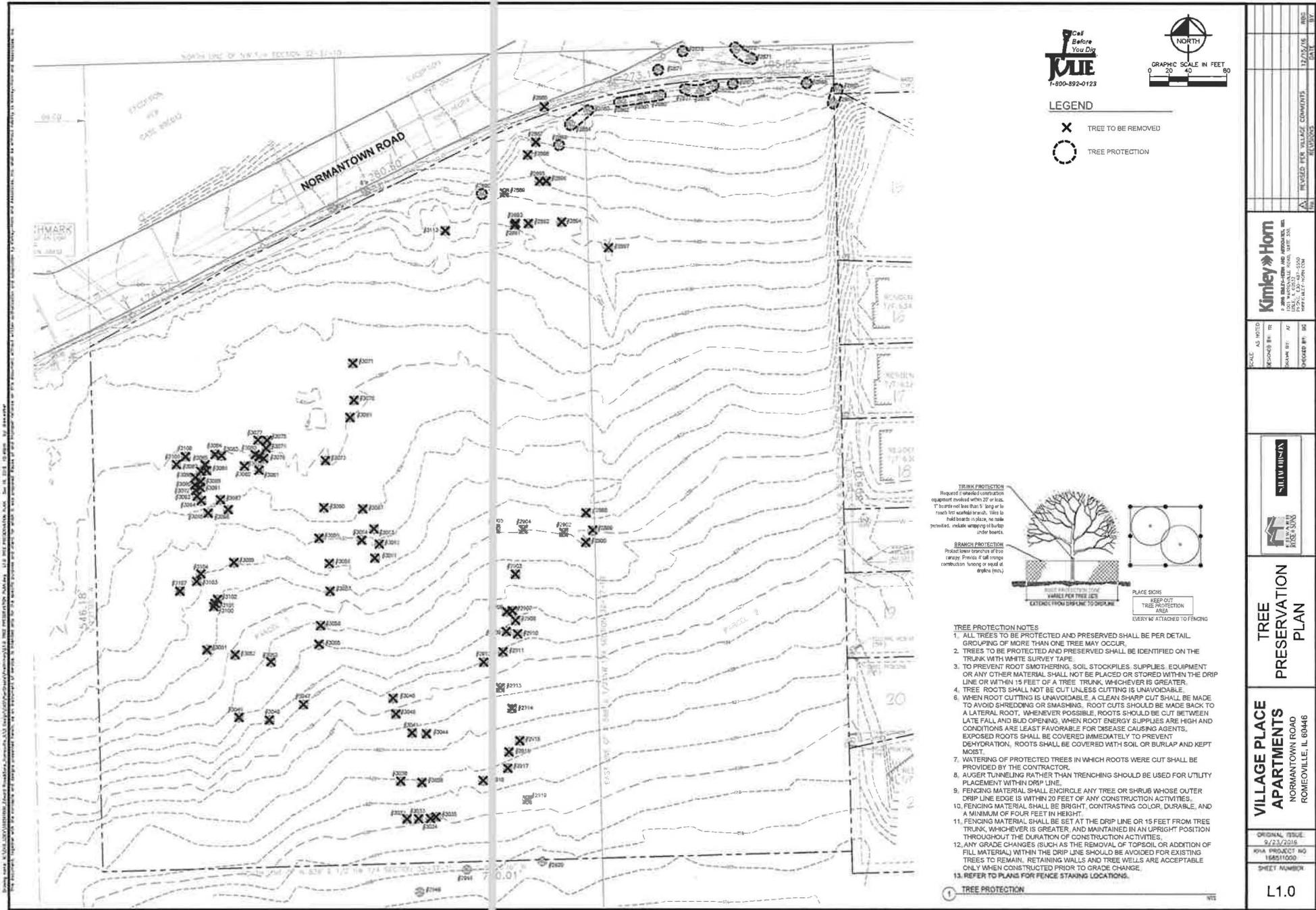
12/10/16

PLN:12-02-32-200-032

OWNER: VILLAGE OF ROMEVILLE

WATER SERVICE

٣٠



TREE INVENTORY AND REMOVALS SCHEDULE

TAG #	COMMON NAME	BOTANICAL NAME	SIZE CAL. #	CONDITION	FORM	REQUIRED REPLACEMENT TREES	TAG #	COMMON NAME	BOTANICAL NAME	SIZE CAL. #	CONDITION	FORM	REQUIRED REPLACEMENT TREES	
2863	Malus Sp.	<i>Malus Sp.</i>	10	1	1		3552	White-Mulberry	<i>Morus alba</i>	4	2	2	2	0
2865	Little Leaf Linden	<i>Tilia cordata</i>	6	1	1		3553	Honey-Locust	<i>Gleditsia triacanthos</i>	14	5	2	2	0
2866	Siberian Elm	<i>Ulmus pumila</i>	6	3	3		3555	Tree of Heaven	<i>Ailanthus altissima</i>	3	1	1	1	0
2868	Little Leaf Linden	<i>Tilia cordata</i>	6	1	1		3556	White-Mulberry	<i>Morus alba</i>	6	2	2	2	0
2869	Austrian Pine	<i>Pinus nigra</i>	8	1	1		3557	Apple	<i>Malus Sp.</i>	8.5	2	2	2	4
2870	Austrian Pine	<i>Pinus nigra</i>	7	1	1		3558	Malus Sp.	<i>Malus Sp.</i>	8.5	2	2	2	4
2871	Austrian Pine	<i>Pinus nigra</i>	7	1	1		3559	White-Mulberry	<i>Morus alba</i>	4	2	2	2	0
2872	Austrian Pine	<i>Pinus nigra</i>	6	1	1		3560	Bee-Rider	<i>Acer negundo</i>	23	2	3	3	0
2873	Little Leaf Linden	<i>Tilia cordata</i>	7	1	1		3561	Silver-Maple	<i>Acer saccharinum</i>	11	2	2	2	0
2874	Honey-Locust	<i>Gleditsia triacanthos</i>	5	1	1		3562	Silver-Maple	<i>Acer saccharinum</i>	11	2	2	2	0
2875	Austrian Pine	<i>Pinus nigra</i>	7	1	1		3563	Silver-Maple	<i>Acer saccharinum</i>	8	2	2	2	0
2876	Austrian Pine	<i>Pinus nigra</i>	7	1	1		3564	Honey-Locust	<i>Gleditsia triacanthos</i>	16	1	1	1	5
2877	Austrian Pine	<i>Pinus nigra</i>	5	2	1		3565	Honey-Locust	<i>Gleditsia triacanthos</i>	16	2	2	2	5
2878	Honey-Locust	<i>Gleditsia triacanthos</i>	4	1	1		3566	White-Mulberry	<i>Morus alba</i>	4	2	2	2	0
2879	Honey-Locust	<i>Gleditsia triacanthos</i>	4	1	1		3570	White-Mulberry	<i>Morus alba</i>	4	2	2	2	0
2880	Austrian Pine	<i>Pinus nigra</i>	8	1	1		3571	Weeping Willow	<i>Salix babylonica</i>	28.32	4	5	5	0
2881	Austrian Pine	<i>Pinus nigra</i>	5	1	1		3572	White-Pine	<i>Pinus strobus</i>	13	2	1	1	4
2882	Little Leaf Linden	<i>Tilia cordata</i>	6	1	1		3575	Prunus-Sp.	<i>Prunus Sp.</i>	5	2	2	2	4
2883	Swamp White Oak	<i>Quercus bicolor</i>	7	1	1		3576	Prunus-Sp.	<i>Prunus Sp.</i>	4	2	2	2	4
2884	Malus Sp.	<i>Malus Sp.</i>	4	2	2		3577	Prunus-Sp.	<i>Prunus Sp.</i>	4.4	2	2	2	4
2885	Honey-Locust	<i>Gleditsia triacanthos</i>	5	1	1		3578	Prunus-Sp.	<i>Prunus Sp.</i>	4	2	2	2	4
2886	Malus Sp.	<i>Malus Sp.</i>	4	2	2		3579	Prunus-Sp.	<i>Prunus Sp.</i>	4	2	2	2	4
2887	Malus Sp.	<i>Malus Sp.</i>	4	2	2		3580	Prunus-Sp.	<i>Prunus Sp.</i>	4	2	2	2	4
2888	Silver-Maple	<i>Acer saccharinum</i>	10.9.6.2	2	3	0	3581	Hickory	<i>Celtis occidentalis</i>	5	2	2	2	4
2889	Green-Ash	<i>Fraxinus pennsylvanica</i>	10	5	5	0	3582	White-Mulberry	<i>Morus alba</i>	4	2	2	2	0
2890	River Birch	<i>Betula nigra</i>	7.0	2	2		3583	White-Pine	<i>Pinus strobus</i>	13	2	2	2	4
2891	Red-Oak	<i>Quercus rubra</i>	22	4	3	3	3584	White-Pine	<i>Pinus strobus</i>	9	5	5	5	0
2892	Red-Oak	<i>Quercus rubra</i>	18	3	3	3	3585	White-Pine	<i>Pinus strobus</i>	9	2	2	2	4
2893	Red-Oak	<i>Quercus rubra</i>	19	1	1	5	3586	White-Pine	<i>Pinus strobus</i>	15	2	2	2	4
2894	Red-Oak	<i>Quercus rubra</i>	25	4	3	5	3587	White-Pine	<i>Pinus strobus</i>	2	3	3	3	4
2895	Green-Ash	<i>Fraxinus pennsylvanica</i>	9	5	5	0	3588	White-Pine	<i>Pinus strobus</i>	11.10	1	3	3	4
2896	Green-Ash	<i>Fraxinus pennsylvanica</i>	8	5	5	0	3589	White-Pine	<i>Pinus strobus</i>	6	2	2	2	4
2897	White-Mulberry	<i>Morus alba</i>	4	2	2	0	3590	White-Pine	<i>Pinus strobus</i>	2	3	3	3	4
2898	Red-Oak	<i>Quercus rubra</i>	37	1	1	5	3591	White-Pine	<i>Pinus strobus</i>	8	2	2	2	4
2899	Red-Oak	<i>Quercus rubra</i>	19	1	1	5	3592	White-Pine	<i>Pinus strobus</i>	13	2	2	2	4
2900	Red-Oak	<i>Quercus rubra</i>	17	1	1	5	3593	White-Pine	<i>Pinus strobus</i>	13	2	2	2	5
2901	Red-Oak	<i>Quercus rubra</i>	37	1	1	5	3594	White-Pine	<i>Pinus strobus</i>	10	2	4	4	4
2903	White-Mulberry	<i>Morus alba</i>	4.4	2	2	0	3595	White-Pine	<i>Pinus strobus</i>	8	2	4	4	4
2904	White-Mulberry	<i>Morus alba</i>	4	1	1	0	3596	White-Mulberry	<i>Morus alba</i>	5	2	2	2	0
2905	Corkscrew-Willow	<i>Salix matsudana</i>	15.13.10.14.6	4	4	0	3597	White-Mulberry	<i>Morus alba</i>	5	1	3	3	0
2906	Catalpa	<i>Catalpa Sp.</i>	5	2	2	4	3598	Box-Elder	<i>Acer negundo</i>	14	1	1	1	0
2907	Catalpa	<i>Catalpa Sp.</i>	4	2	2	4	3599	White-Mulberry	<i>Morus alba</i>	6	2	2	2	0
2908	Catalpa	<i>Catalpa Sp.</i>	4	3	3	4	3603	White-Mulberry	<i>Morus alba</i>	5	3	3	3	0
2909	White-Mulberry	<i>Morus alba</i>	4	2	2	0	3604	Hickory	<i>Celtis occidentalis</i>	4	2	2	2	4
2910	Catalpa	<i>Catalpa Sp.</i>	5.4	3	3	4	3605	Malva-Sp.	<i>Malva Sp.</i>	9	2	2	2	4
2911	Cottonwood	<i>Populus deltoides</i>	2	2	4	0	3614	Malva-Sp.	<i>Malva Sp.</i>	5.5	4	4	4	0
2912	Sweet-Cherry	<i>Prunus avium</i>	10.7.5.5	2	2	4	3615	Persimmon	<i>Diospyros virginiana</i>	3	2	2	2	4
2913	Silver-Maple	<i>Acer saccharinum</i>	20	2	2	0	3616	Prunus-Sp.	<i>Prunus Sp.</i>	6.4	2	2	2	4
2914	Silver-Maple	<i>Acer saccharinum</i>	20	2	2	0	3617	White-Mulberry	<i>Morus alba</i>	8	2	2	2	0
2915	Sugar-Maple	<i>Acer saccharum</i>	9	2	2	4	3618	Little-Leaf-Linden	<i>Tilia cordata</i>	22.37	2	2	2	5
2916	Silver-Maple	<i>Acer saccharinum</i>	16.13	2	2	0								
2917	Silver-Maple	<i>Acer saccharinum</i>	16	2	2	3								
2918	Silver-Maple	<i>Acer saccharinum</i>	26	2	2	3								
2919	White-Mulberry	<i>Morus alba</i>	4	2	2	0								
2920	Cottonwood	<i>Populus deltoides</i>	23.21	2	2									
2921	Silver-Maple	<i>Acer saccharinum</i>	14.12.30	2	3									
2924	Silver-Maple	<i>Acer saccharinum</i>	11	2	2									
3032	Silver-Maple	<i>Acer saccharinum</i>	15	2	2	0								
3034	Cilver-Maple	<i>Acer saccharinum</i>	30	4	2	0								
3034	Silver-Maple	<i>Acer saccharinum</i>	2.5	4	2	0								
3035	Silver-Maple	<i>Acer saccharinum</i>	14	2	2	0								
3036	Silver-Maple	<i>Acer saccharinum</i>	12.12	2	2	0								
3038	Silver-Maple	<i>Acer saccharinum</i>	20	2	2	0								
3041	Hickory	<i>Celtis occidentalis</i>	4.1	2	2	4								
3044	Paper-Birch	<i>Betula papyrifera</i>	2.2	2	2	4								
3045	Honey-Locust	<i>Gleditsia triacanthos</i>	19	2	2	5								
3046	White-Mulberry	<i>Morus alba</i>	15	2	2	0								
3047	Red-Cedar	<i>Juniperus virginiana</i>	9	2	2	4								
3048	Catalpa	<i>Catalpa Sp.</i>	5	2	2	4								
3049	White-Mulberry	<i>Morus alba</i>	4	2	2	0								
3051	Malus-Sp.	<i>Malus Sp.</i>	6	1	2	4								

TOTAL REQUIRED REPLACEMENT TREES

217

TREE TO BE PRESERVED

TREE TO BE REMOVED

TREE CONDITION AND FORM KEY

1 - EXCELLENT CONDITION

2 - ABOVE AVERAGE

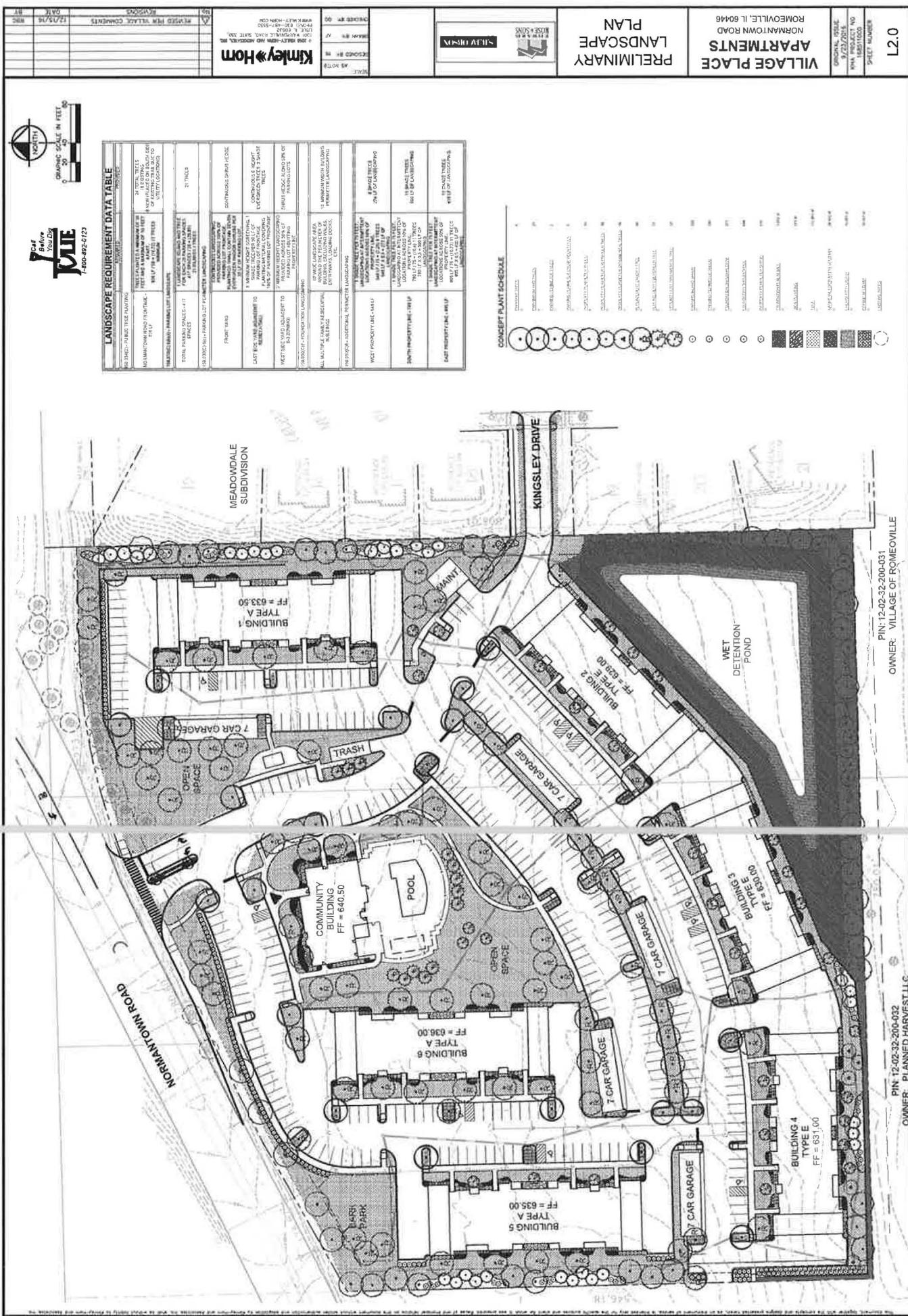
3 - TYPICAL CONDITION

4 - POOR CONDITION

5 - POOR/WORST

TREE REPLACEMENT SCHEDULE			
TYPE OF TREE REMOVED	SIZE (DBH)	NUMBER OF REPLACEMENT TREES REQUIRED	
		10 OR GREATER	
		11-24	
DECIDUOUS OR EVERGREEN			
INVASIVE DESTROYED BY STORM, DISEASE OR INFECTION			

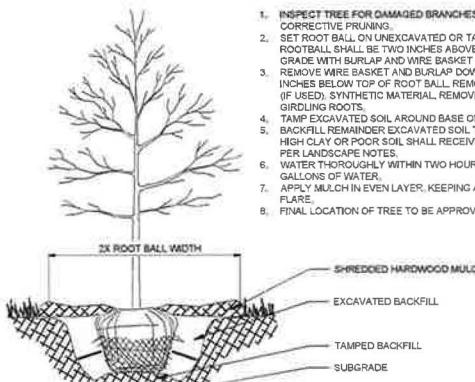
VILLAGE PLACE APARTMENTS		TREE PRESERVATION PLAN	
NORMANTON ROAD		ROMEVILLE, IL 60446	
ORIGINAL ISSUE 9/23/2016		KHA PROJECT NO 168511000	
SHEET NUMBER L1.1			
 Kimley-Horn Architects • Engineers • Land Surveyors 6200 EAST BELL RD. • SUITE 550 CHICAGO, IL 60637 312.273.2400 • 800.243.2400 FAX: 312.273.2414 E-MAIL: CHICAGO@KHA.COM WEBSITE: WWW.KHA.COM			



LANDSCAPE MATERIALS SELECTION LIST		
COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES		
STATE STREET MAPLE	ACER MIYABEI 'MORTON'	2.5' CAL BAB
HONEY LOCUST	GLIEDSTRIA TRACANTHOS VAR. INERMIS	2.5' CAL BAB
HACKBERRY	CELTIS OCCIDENTALIS	2.5' CAL BAB
KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS	2.5' CAL BAB
SWAMP WHITE OAK	QUERCUS BICOLOR	2.5' CAL BAB
BUR OAK	QUERCUS MACROCARPA	2.5' CAL BAB
RED OAK	QUERCUS RUBRA	2.5' CAL BAB
REDMOND AMERICAN LINDEN	TLIA AMERICANA 'REDMOND'	2.5' CAL BAB
ACCOLADE ELM	ULMUS JAPONICA X WILSONIANA 'MORTON'	2.5' CAL BAB
DECIDUOUS ORNAMENTAL TREES		
NORWAY SPRUCE	PIGEA ABIES	6' HEIGHT, BAB
VANDERWOLF'S PYRAMID LIMBER PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	6' HEIGHT, BAB
WHITE PINE	PINUS STROBUS	6' HEIGHT, BAB
EVERGREEN TREES		
APPLE SERVICEBERRY	AMELANCHIER X GRANDIFLORA	6' HEIGHT, BAB
THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUGGALI VAR. INERMIS	6' HEIGHT, BAB
ADIRONDACK CRABAPPLE	MALUS 'ADIRONDACK'	6' HEIGHT, BAB
DECIDUOUS SHRUBS		
BRILLIANT RED CHokeBERRY	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	36' HEIGHT
CARDINAL REDTWIG DOGWOOD	CORNUS SERICEA 'CARDINAL'	36' HEIGHT
DWARF BUSH HONEY SUCKLE	DIERVILLA LUTEA	24' HEIGHT
ANNA'S HONEYSUCKLE	HYDRANGEA 'ANNA'S HONEYSUCKLE'	36' HEIGHT
GROSVLOW SUMAC	RUBUS AROMATICA 'GROSLLOW'	24' HEIGHT
MISS KIM MANCHURIAN LILAC	SYRINGA PATULA 'MISS KIM'	36' HEIGHT
BLUE MUFFIN ARROWWOOD VIBURNUM	VIBURNUM DENTATUM 'CHRISTOM'	36' HEIGHT
EVERGREEN SHRUBS		
KALLY'S COMPACT JUNIPER	JUNIPERUS CHINENSIS 'KALLY'S COMPACT'	24' HEIGHT
SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	36' HEIGHT
DENSE YEW	TAXUS X MEDIA DENSIFORMIS	24' HEIGHT
DWARF MUJO PINE	PINUS MUGO VAR. PUMILIS	24' HEIGHT
ORNAMENTAL GRASSES		
KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 QT., 24" O.C.
LITTLE BLUESTEM	SCHIZACHYRUM SCOPARIUM	1 QT., 24" O.C.
PRairie CROPSSEED	SPOREOBOLUS HETEROLEPIS	1 QT., 18" O.C.
PERENNIALS		
MEADOW ANEMONE	ANEMONE CANADENSIS	1 QT., 18" O.C.
RED SENTINEL ASTILBE	ASTILBE X ARENDSENII 'RED SENTINEL'	1 QT., 18" O.C.
ZAGREB COREOPSIS	COREOPSIS VERTICILLATA 'ZAGREB'	1 QT., 18" O.C.
PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 QT., 18" O.C.
ROSEY RETURNS DAYLILY	HEMEROCALLIS 'ROSEY RETURNS'	1 QT., 18" O.C.
PURPLE LEAF CORAL BELLS	HEUCHERA VILLOSA 'PURPUREA'	1 QT., 18" O.C.
AUTUMN JOY SEDUM	HYDROLEPHEUM 'HERBSTFREUDE'	1 QT., 18" O.C.
WALKER'S LOW CATMINT	NEPETA FASSEENII 'WALKER'S LOW'	1 QT., 18" O.C.

NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL, TOP OF FOOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BAGS INTACT.
3. REMOVE WIRE BAGS AND DOWEL DRAWS TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED) SYNTHETIC MATERIAL, REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF FOOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HUMUS OR POWDER SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



① TREE PLANTING

NTS

② SHRUB PLANTING

NTS

NOTES:

APPLY CORRECTIVE PRUNING.

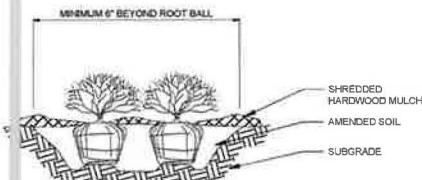
SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.

REMOVE BURLAP FROM TOP HALF THE LENGTH OF FOOTBALL, TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.

REMOVE OR CORRECT GIRDLING ROOTS.

PLUMB BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.

APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.



③ PERENNIAL PLANTING

NTS

LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING PLANTINGS DUE TO EXCAVATION OR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCald AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. AMENDED SOIL SHALL BE PROVIDED BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 2 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPANGMUN PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. QUANTITIES ARE APPROXIMATE. CONTRACTOR SHALL REMOVE ALL EXISTING PLANTINGS AND DISTURBANCES WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEEDS/SEED MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4' WIDE MAXIMUM TREE RING AT 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURVED EDGES.
10. PLANTATION OF TREES WITHIN PATHWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLANS.
12. THE QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

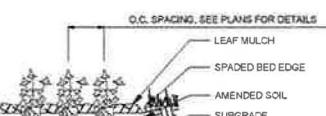
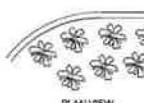
NATURAL AREA NOTES

1. ALL WORK DEEMED NATURAL AREA TO BE SEEDED OR PLANTED SHALL BE PERFORMED BY A NATURAL AREA CONTRACTOR WITH AT LEAST FIVE YEARS OF RELATED EXPERIENCE IN SELECTIVE BRUSH CLEARING, PLANTING OF NATIVE SPECIES, AND NATURAL AREAS MANAGEMENT FOR THE PURPOSE OF ECOLOGICAL RESTORATION, AND SHALL BE ABLE TO DEMONSTRATE THEIR KNOWLEDGE THROUGH REFERENCES AND IN THE FIELD.
2. SEED LIMIT LINES ARE APPROXIMATE. THE NATURAL AREAS CONTRACTOR SHALL SEEED ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED MIXES. SEED MIXES ARE TO BE SOURCED RESPECTIVELY THROUGH THE SPECIFIED COMPANY ON PLANS. SEEDS MUST BE COMPATIBLE WITH THE NATURAL AREA PLANT SPECIES SPECIALIZING IN NATIVE SPECIES. SEED AND PLANT STOCK SHALL BE SOURCED NO MORE THAN 350 MILES FROM THE JOB SITE.
3. SEEDS ARE PULSED SEEDS. SEEDS ARE TO BE OBTAINED FROM COMPANIES SPECIALIZING IN NATIVE SPECIES. SEED AND PLANT STOCK SHALL BE SOURCED NO MORE THAN 350 MILES FROM THE JOB SITE.
4. ALL SEED MIXES SHALL BE INSTALLED WITH A GRANULAR FORM OF ENDOMYCROBIAL INOCULUM PER THE SUPPLIERS SPECIFICATIONS. COVER CROP IS TO BE APPLIED TO ALL SEED MIXES CONSISTING ONLY OF AVENA SATIVA (SEED OATS) FOR SPRING INSTALLATIONS OR REGREEN (WHEAT HYBRID) FOR FALL PLANTINGS. NO OTHER COVER CROP IS TO BE USED ON SITE.
5. THE NATURAL AREA CONTRACTOR IS RESPONSIBLE FOR SEEDED AREAS TO BE MAINTAINED AS LIVING SURFACES FOR A PERIOD OF 12 MONTHS.
6. LIVE PLUG AND BARERoot INSTALLATION SHALL BE ACCOMPANIED BY GOOSE EXCLUSION FOR UP TO 12 MONTHS AFTER INSTALLATION. NATURAL AREAS CONTRACTOR TO REMOVE AT OWN EXPENSE AFTER 12 MONTHS.
7. STEWARDSHIP OF THE NATURAL AREA SHALL BE CONDUCTED BY A NATURAL AREAS CONTRACTOR TO BEGIN IMMEDIATELY AFTER INSTALLATION FOR THREE YEARS.



NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS, CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE. WORK FROM THE CENTER TO THE EDGE OF THE BED.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



VILLAGE PLACE APARTMENTS	LANDSCAPE NOTES AND DETAILS	ORIGINAL ISSUE	
		9/23/2016	KMIA PROJECT NO. 168811000
1. DATE ISSUED	1. DATE ISSUED	9/23/2016	9/23/2016
2. APPROVED BY	2. APPROVED BY	1. JEFFREY BROWN AND ASSOCIATES, INC.	1. JEFFREY BROWN AND ASSOCIATES, INC.
3. DATE APPROVED	3. DATE APPROVED	9/23/2016	9/23/2016
4. DRAWN BY	4. DRAWN BY	1. JEFFREY BROWN	1. JEFFREY BROWN
5. CHECKED BY	5. CHECKED BY		
6. REVISION NUMBER	6. REVISION NUMBER		
7. L3.0	7. L3.0		

Kinkley Horn
LANDSCAPE ARCHITECTURE

FIRM OF RECORD
Kinkley Horn
LANDSCAPE ARCHITECTURE

LANDSCAPE NOTES AND DETAILS
NORMANTOWN ROAD
ROMEVILLE, IL 60466

ORIGINAL ISSUE
9/23/2016
KMIA PROJECT NO.
168811000

SHEET NUMBER

An Ordinance Approving a PUD – General Development Plan
Village Place Apartments (ORD 16-1327)

Exhibit B:

Building Elevations

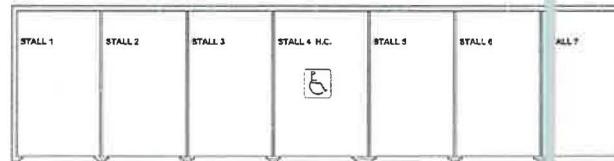
NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



FRONT ELEVATION



LEFT SIDE ELEVATION



FLOOR PLAN



RIGHT SIDE ELEVATION



REAR ELEVATION

GARAGES

SCALE: 1/8" = 1'-0"

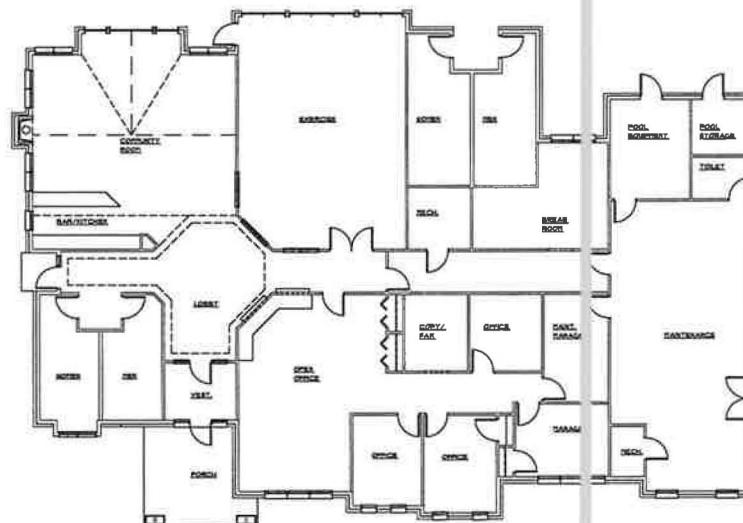
PROPOSED VILLAGE PLACE APARTMENTS

ROMEoville, ILLINOIS

Alexander V. Bogart + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



FIRST FLOOR PLAN

COMMUNITY BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016

NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

COMMUNITY BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

PROPOSED VILLAGE PLACE APARTMENTS

ROMEOVILLE, ILLINOIS

SCALE: 1/8" = 1'-0"

Alexander V. Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



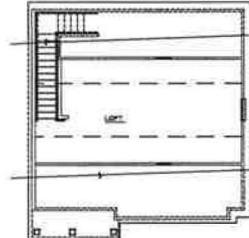
NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



RIGHT SIDE ELEVATION



REAR ELEVATION



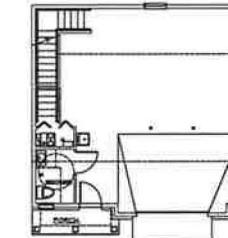
SECOND FLOOR PLAN



LEFT SIDE ELEVATION



FRONT ELEVATION



FIRST FLOOR PLAN

MAINTENANCE BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEOVILLE, ILLINOIS

Alexander V. Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000

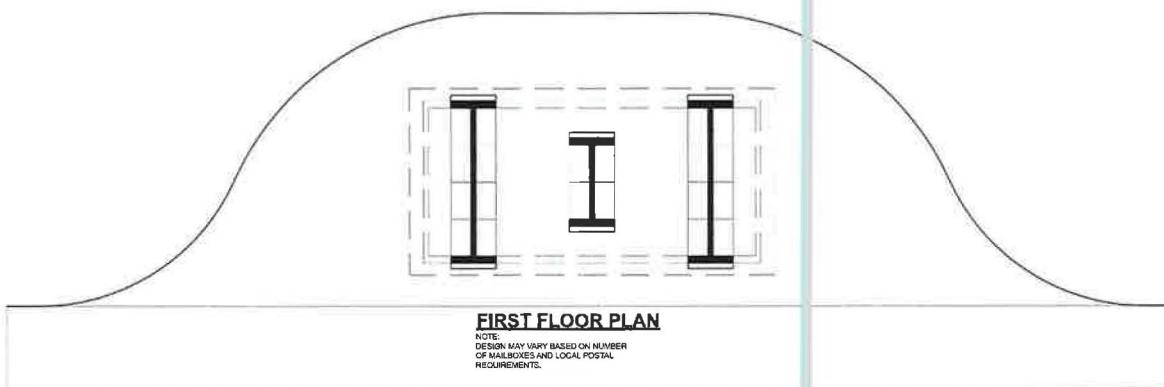


NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



LEFT SIDE ELEVATION
RIGHT SIDE ELEVATION SIM.

FRONT ELEVATION
REAR ELEVATION SIM.



MAIL KIOSK

SCALE: 1/4" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEOVILLE, ILLINOIS

Alexander V. Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248.334.5000



©2016

NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



REAR ELEVATION

LEFT SIDE ELEVATION



FRONT ELEVATION

RIGHT SIDE ELEVATION



FLOOR PLAN

TRASH COMPACTOR

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

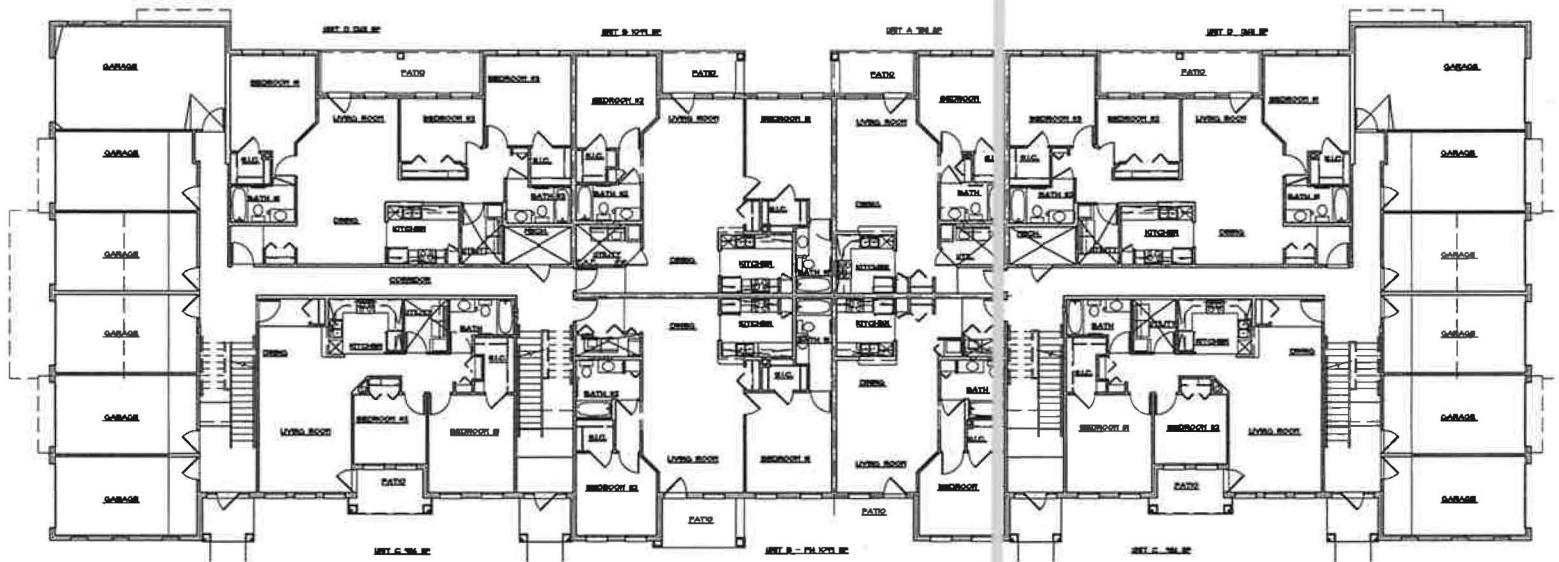
PROPOSED VILLAGE PLACE APARTMENTS

ROMEOVILLE, ILLINOIS

Alexander V. Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



FIRST FLOOR BUILDING PLAN - BUILDING TYPE 'E'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

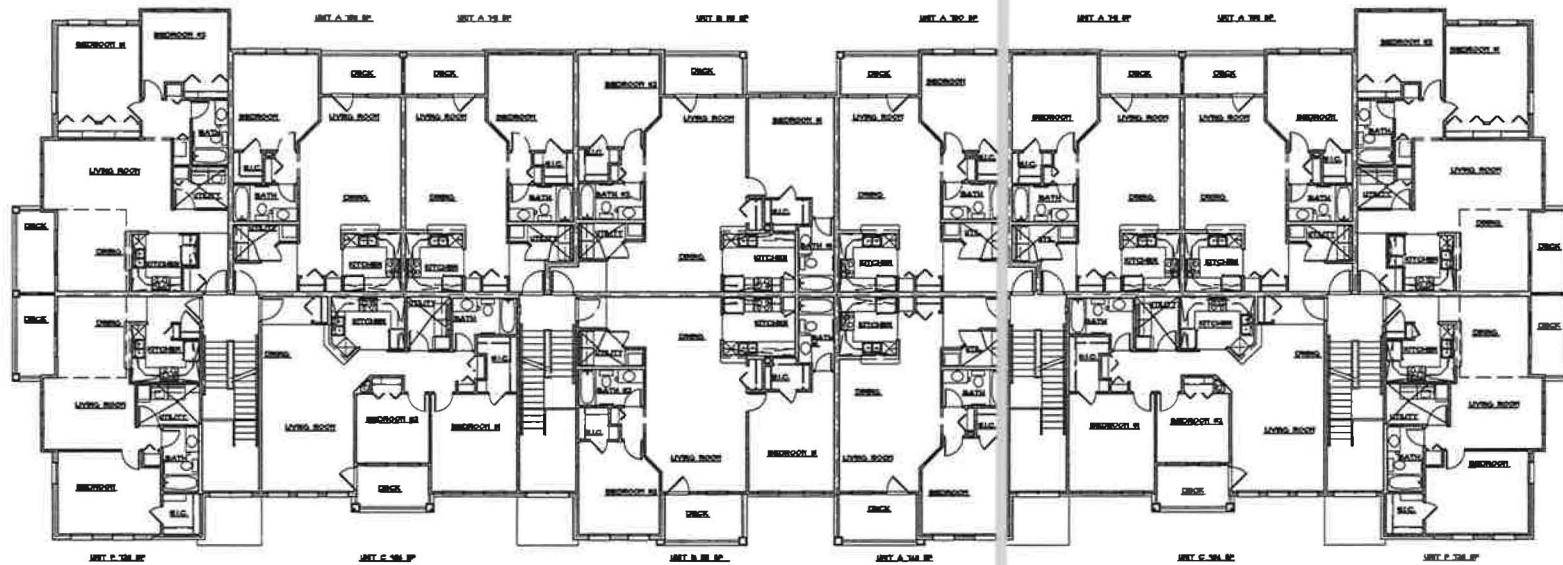
PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V. Bogaerts + Associates, P.C.
Architecture - Planning - Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



SECOND FLOOR BUILDING PLAN - BUILDING TYPE 'E'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

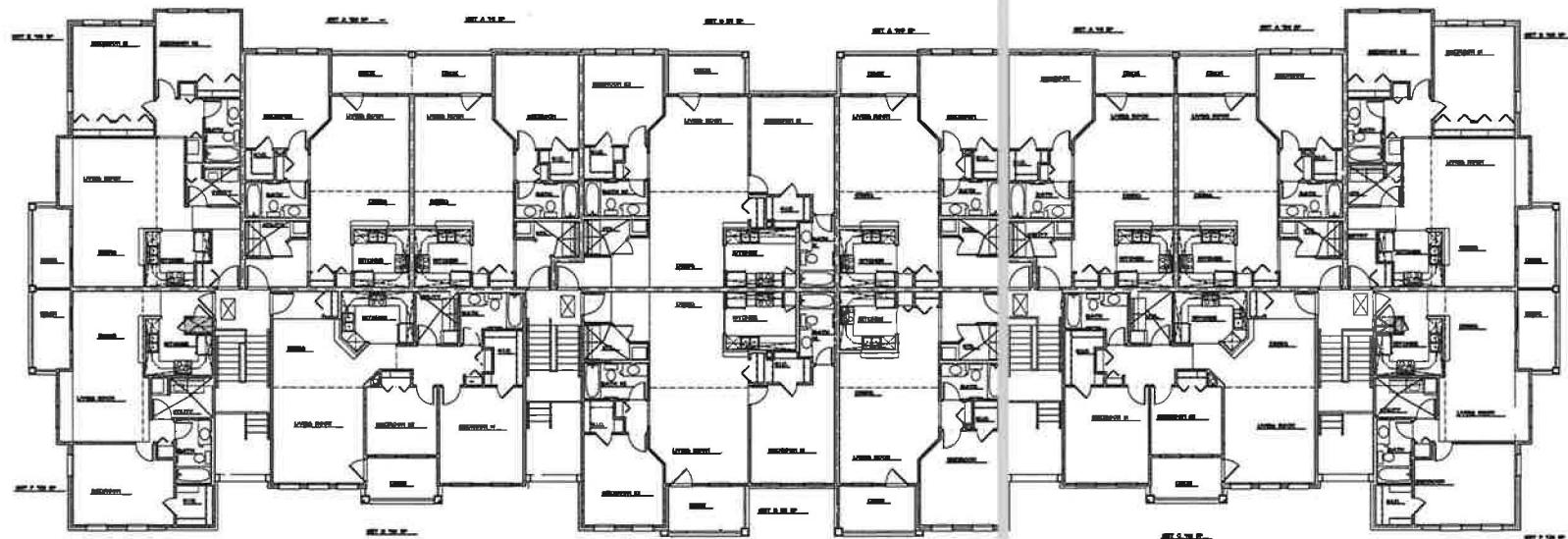
PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



THIRD FLOOR BUILDING PLAN - BUILDING TYPE 'E'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V. Bogerls + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000





FRONT ELEVATION - BUILDING TYPE 'E'

36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V. Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2425 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



REAR ELEVATION - BUILDING TYPE 'E'

36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V. Bogaerts + Associates, P.C.
 Architecture • Planning • Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248-334-5000



©2016



RIGHTSIDE ELEVATION - BUILDING TYPE 'E'

LEFT SIDE OPPOSITE HAND - 36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

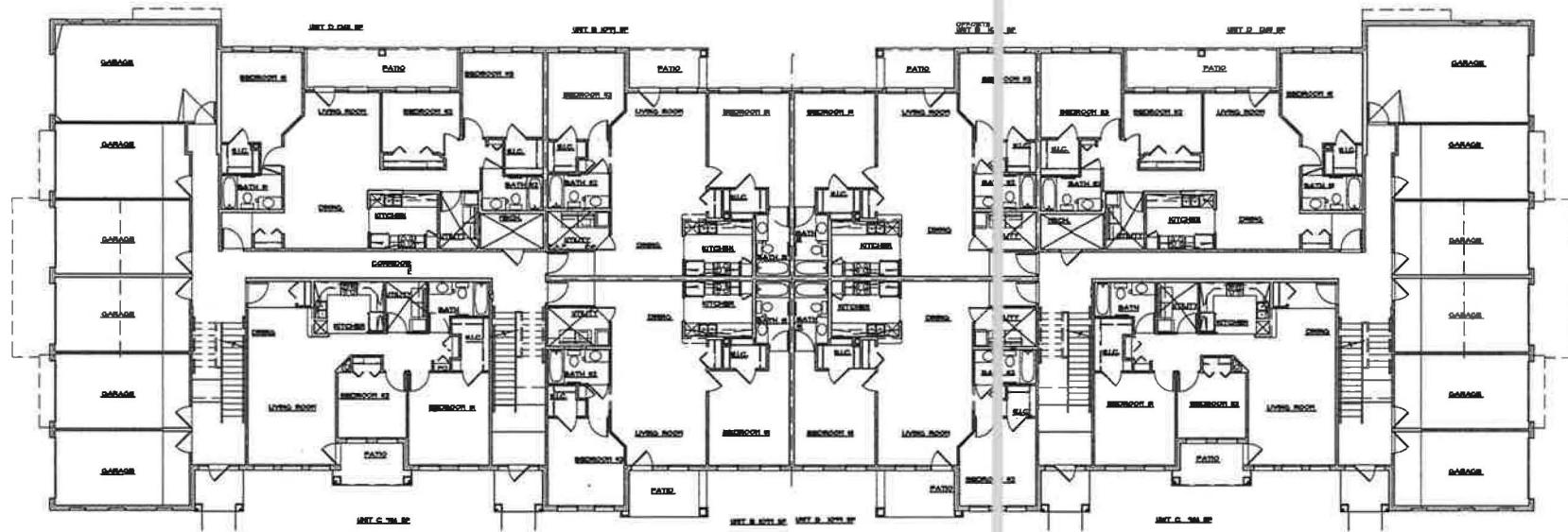
PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V. Boggoerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



FIRST FLOOR BUILDING PLAN - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

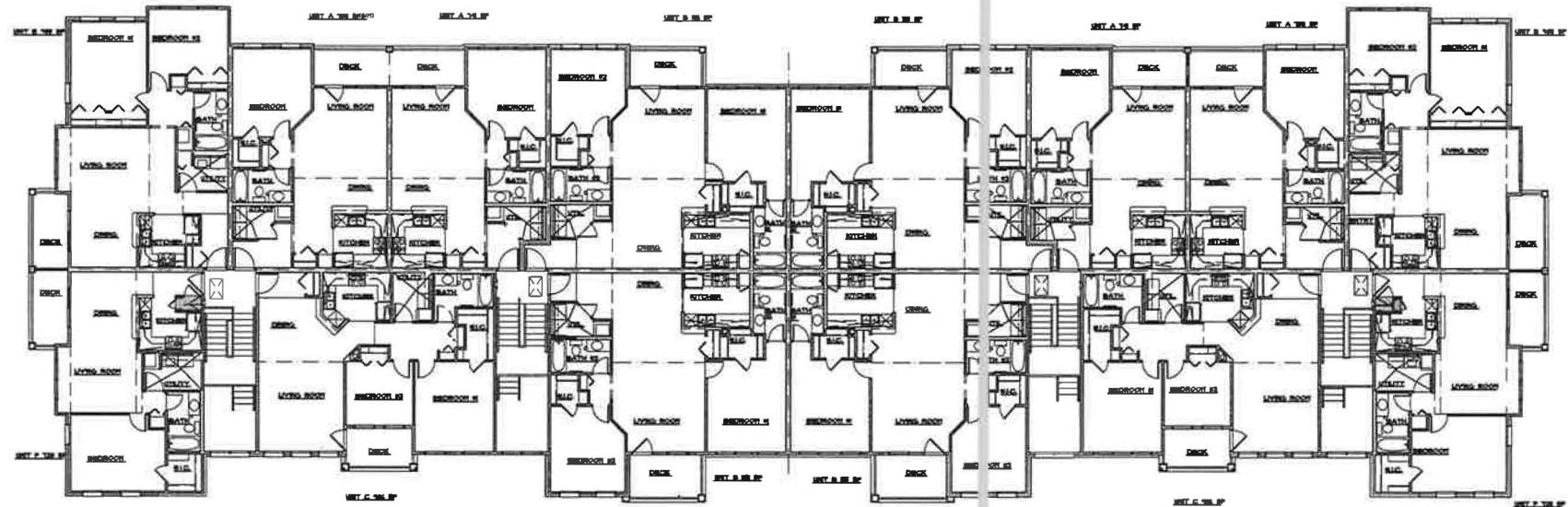
PROPOSED VILLAGE PLACE APARTMENTS

ROMEOVILLE, ILLINOIS

Alexander V. Bogarts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



THIRD FLOOR BUILDING PLAN - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016



FRONT ELEVATION - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEOVILLE, ILLINOIS

Alexander V. Bogarts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5300



©2016



RIGHTSIDE ELEVATION - BUILDING TYPE 'A'

LEFT SIDE OPPOSITE HAND - 36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V. Bogerts + Associates, P.C.
 Architecture • Planning • Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248-334-5000



©2016



REAR ELEVATION - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEovILLE, ILLINOIS

Alexander V. Bogart & Associates, P.C.
Architecture • Planning • Interior Design
2425 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



©2016

An Ordinance Approving a PUD – General Development Plan
Village Place Apartments (ORD 16-1327)

Exhibit C:

Staff Review Letter



Community Development

Mayor
John Noak

Clerk
Dr. Bernice E. Holloway

Trustees
Linda S. Palmiter
Jose (Joe) Chavez
Brian A. Clancy Sr.
Dave Richards
Sue A. Micklevitz
Ken Griffin

Director
Steven W. Rockwell CEcD

Via E-Mail Only

January 17, 2017

Mr. Manny Kianicky, P.E.
Vice President, S.R. Jacobson Companies
32400 Telegraph Road, Suite 100
Bingham Farms, MI 48025

**RE: VILLAGE PLACE APARTMENTS/GENERAL DEVELOPMENT PLAN
REVIEW #2**

Dear Mr. Kianicky,

We have received the following documents:

- Plat of Subdivision prepared by Landmark Engineering, dated 10/27/16
- Preliminary Engineering Plans prepared by Kimley Horn with latest revision date of 12/15/16
- Bus Turning Movement Exhibit prepared by Kimley Horn, dated 11/01/16
- Garbage Truck Turning Movement Exhibit prepared by Kimley Horn, dated 11/01/16
- Traffic Impact Study prepared by Kimley Horn, dated November 2016
- Sanitary Sewer data and capacity calculations prepared by Kimley Horn, dated 12/10/16

Based on the information provided by the applicant and the available records at this time, we offer the following comments and concerns.

Many of the comments contained within this letter relate to final development plans, and they have been provided to assist the applicant during the preparation of their final development plans submittal.

General

1. Please provide a “response to comments” cover letter with resubmittals. 4 full-size plan sets are required for final development plans resubmittal. Electronic copies of the final approved set should be sent electronically in PDF form via email or provided on disk or drive.

Fire

1. Item three on review 1 mentioned the following - Indicate on plans FDC connection locations for all buildings, and indicate hydrant locations per Village of Romeoville Code of Ordinances, Chapter 91 Section 91.46 , and Section 91.56 . Current plans do not show hydrants, water service connections or Fire Department Connection for any of the detached garages, maintenance building or possible pool building.

Village of Romeoville Code of Ordinances, Chapter 91 Section 91.52 – Water sprinkler systems are required in all use groups regardless of the square footage.

2. Any FDC shall be within 75ft of a hydrant.
3. All other items have been addressed and there are no issues or concerns.

Planning and Zoning

1. **Compliant.**
2. **New Comment and Deferred to PUD – Final Development Plan.** A darker palate of colors is desired for the proposed building materials, particularly the proposed siding. Please investigate.
3. **New Comment and Deferred to PUD – Final Development Plan.** Signage Plans must be included in the PUD submittal. The development sign should include an accent wall consisting of masonry materials and must be fully landscaped in order to enhance the appearance of the site entrance. Staff will be providing a concept plan to be included in the Annexation Agreement that shows the desired entrance treatment.
4. **Deferred to PUD – Final Development Plan.** Site Lighting Plans must be included in the PUD submittal.

5. **Compliant.**

6. ~~Compliant – A payment in lieu of constructing the path will be accepted.~~

7. **Deferred to PUD – Final Development Plan.** A detailed summary of the project amenities, including interior finishes, must be provided with the PUD submittal. This document should include images from relevant developments and will be incorporated as an exhibit to the PUD.

8. **Compliant.**

9. **Compliant.**

10. **Partially Compliant.** Please clearly identify the proposed fence on the Site Plan and include a detail in the PUD – Final Development Plan.

11. **Compliant.**

12. **Compliant.**

13. The fees for the Planning, Zoning, and Engineering review for this project are as follows:

- a . Annexation agreement – As per the Village’s professional services agreement.
- b. Annexation - \$956.00 (\$200 per acre)

- c. Rezoning - \$1,000.00
- d. *PUD Concept Plan - \$750.00 (Already Paid)*
- e. PUD – General Development Plan \$2500.00
- f. PUD – Final Development Plan \$2500.00
- g. Landscape Plan - \$750.00
- h. Engineering – 4.5% of the approved engineer's cost estimate
- i. Tree Replacement - \$28,700.00 (82 replacement trees) – ***Pending Waiver Approval***

14. Approval of an Annexation Agreement is required for this development.

15. ***Partially Compliant*** – Please clearly label the decorative fence on the Site Plan and include a detail on the Final Development Plan.

16. ***Pending Waiver Approval*** – The Planning and Zoning Commission recommended approval of a waiver on tree replacement requirements. This request is pending final GDP Ordinance action by the Village Board.

17. ***Complaint***.

Landscape Plan

1. ***Compliant***. The Preliminary Landscape Plan included in the GDP is acceptable with the exception of the entrance sign comments noted in Comment #3 under Planning and Zoning comment section.
2. ***Deferred to PUD – Final Development Plan***. Please note the final landscape plan shall include or have attached thereto the following information: The location of existing and proposed improvements; including, but not limited to, buildings, all utilities, lighting, walls and fences, parking areas; spot elevations and contours, existing and proposed berms, existing and proposed plant material, paved surfaces, sign locations, public rights-of-way and easements, refuse disposal areas, property lines, and other exterior landscape amenities.

Public Works & Engineering

1. Street and Parking Improvements

- 1.1. The roadway connection to the west is still an open item that needs to be covered in the Annexation Agreement.
- 1.2. Fee in Lieu of for the bike path. Bike path should be 489' x 10' wide (not 8') and constructed out of 1.5" surface/2.25" binder/4" aggregate cross section. The fee in lieu would be \$37,624.96, based on 125% of the engineering estimate of \$30,099.97.
- 1.3. ***Compliant*** - Planning accepts this arrangement.
- 1.4. ***Compliant***.
- 1.5. ***Compliant***.
- 1.6. ***Compliant***.
- 1.7. ***Complaint***.
- 1.8. ***Conditionally Compliant*** – Final location and number of “No Parking Fire Lane” signs will be evaluated during final engineering.
- 1.9. ***Compliant***.

- 1.10. ***Conditionally Compliant*** - A detail for the handicap ramp must be shown on the final engineering plans. Proper signage must be provided for each handicapped parking stall. Details must be provided for handicapped stall pavement markings and signage. Additional curb ramps may be necessary in front of the parking stalls to allow access to the building.
- 1.11. ***Conditionally Compliant*** - The integral C&G was approved as part of the GDP – however, just for clarification, there needs to be a curb section and accommodations need to be made for ADA compliance in front of the handicap parking stalls.
- 1.12. ***Conditionally Compliant*** - With final engineering, sight triangle exhibits (IDOT methodology) will need to be submitted for the access onto Normantown Road. We note that an intersection sight triangle is partially shown on the Overall Site Plan. Include the calculations/assumptions with final engineering and show the sight triangles on the landscape plan. It appears that some existing parkway trees might have to be relocated.
- 1.13. ***Deferred to Final Engineering*** - The proposed retaining walls are greater than 4 feet in height, so all supporting design calculations (including geogrid design), construction details, etc. need to be originally signed and sealed by an Illinois Registered Professional Structural Engineer
- 1.14. ***Compliant***.
- 1.15. ***Compliant***.
- 1.16. ***Compliant*** - The engineer of record is comfortable with the sight distances at corners where garages are close to internal intersections.
- 1.17. ***Compliant***. – The comments pertaining to the traffic impact study have been addressed.

2. **Water Distribution System Improvements** – Limited utility information was included in the preliminary plan documents. These comments are included for the designer's use in final site engineering.
 - 2.1. ***Deferred to Final Engineering*** – Because of the presence of existing fire hydrants along Normantown Road, it appears that much of the water main on the north side of the site could be eliminated if an additional pressure connection to the Normantown Road water main is made near the site driveway. Building 6 could be fed of the north-south run. Hydrants could be spaced off of proposed mains.
 - 2.2. ***Deferred to Final Engineering*** - The water main is less than 15 feet from small bump outs on buildings 2,3,4,5 and the garage on the north side of building 6 as well as the garage west of building 1. Please make adjustments during FSLE.
 - 2.3. ***Deferred to Final Engineering*** - All existing water, sanitary, and storm utility features (with sizes labeled) must be shown on the final engineering plans.
 - 2.4. ***Compliant***.
 - 2.5. ***Deferred to Building Department*** – Edward Rose will be managing the property and paying for utilities (water/sewer) – it won't be by the individual units. Internal plumbing and metering needs to accommodate this setup.
 - 2.6. ***Compliant***.
 - 2.7. ***Deferred to Final Engineering*** - Watermain must have a minimum cover depth of 5'-6", which must be shown on a Typical Watermain Detail. All watermains must be wrapped in polyethylene using Method B. All joints must be restrained with megalugs (EBAA Iron) only. Appropriate details will be included in FSLE.

- 2.8. **Deferred to Final Engineering** - Label bends and other fittings required on the engineering plans.
- 2.9. **Deferred to Final Engineering** - Provide details for all water main appurtenances. The manufacturer and model must be shown on each applicable detail. Hydrants must be East Jordan Water Master 5BR250, with 6" plain-end shoe with attached 6" resilient wedge mechanical joint valve, and must include Storz pumper connection along with two 2-1/2" hose connections. Valves must be American Flow or East Jordan (Flowmaster). All sizes should be Resilient-Seated Gate Valves.
- 2.10 **Deferred to Final Engineering** - The following notes should be added to the plan notes and/or valve vault detail:
 - All valve vaults shall be a minimum of 5' diameter.
 - Frame and cover shall be East Jordan #1022Z3 embossed with 1020A HD "Water" and "Village of Romeoville."
 - All joints need to be externally wrapped with MacWrap or equal.
 - Rubber gasketed boots are required for all penetrations through the manhole wall.
 - Internal/External Chimney seals are required.
 - Minimum of two adjusting rings (min 6" adjusting height) and maximum of three rings (max 10" adjusting height). No 1" or 2" concrete rings are allowed. Under paved areas, top ring should be rubber. Use one (1) EJIW Infra-Riser rubber Composite Adjustment Risers (1" to 3" max ht. of stacked risers).
- 2.11 **Deferred to Final Engineering** - The following notes for precast concrete manholes for water valve installations must be included on the engineering plans if a valve vault is required.
 - a. Manholes must conform to the latest requirements of ASTM C478.
 - b. Never transport sections to the site until they have cured for at least ten (10) days.
 - c. Mark each piece plainly with manhole numbers and date of manufacture so it can be installed in the proper location, as shown on the plans.
 - d. Make sure factory-installed cutouts in the bottom section are appropriate for the pipe being laid.
 - e. Pipe connections at manhole - Cutouts should be equipped with rubber boots to ensure a watertight connection. Material shall be equal to Kor-N-Seal connector, as manufactured by NPC, Inc.
 - f. Joint Sealant - Flexible rubber sealant for joints in pre-cast manhole sections shall provide permanently flexible watertight joints, shall remain workable over a wide temperature range and shall not shrink, harden or oxidize upon aging. Material shall be equal to Tylox Superseal and shall meet ASTM C 443 and ASTM C 361 requirements.
 - g. The frame for the lid shall be installed when cone section is cast.
 - h. Heat-Shrinkable Encapsulation for external wrapping of all joints: Wrapid Seal as manufactured by Canusa CPS, BIDCO External Joint Wrap as manufactured by NPC, or approved equal.
- 2.12 **Deferred to Final Engineering** - Include the Village's chlorination requirements on the plans.
- 2.13. **Deferred to Final Engineering** - There are a few locations where inlets are close to or on top of watermain – north parking lot. Please relocate accordingly. Also, try to get all crossings of watermain at 90-degree angles. Lastly, the hydrant lead in the southeast corner occurs right where the sanitary line comes across – please clean this up in final engineering.

2.14 **Deferred to Final Engineering** - Please include specification and general notes on the final engineering plans, and please include these specific water specifications:

- “Please be conscious of damaging the paint on the hydrants during installation. The Village of Romeoville has found that the paint on the hydrants can be damaged during backfilling. If requested by the Village of Romeoville Water Superintendent, any hydrants exhibiting excessive rock damage will be sand blasted and repainted by an approved contractor prior to acceptance.”
- “A minimum of 48 hours prior to any water usages (i.e. flushes, fills, etc.), the contractor must call the Village of Romeoville’s Water Department at 815-886-1870 to get approval of said usage. Any unauthorized usages will result in penalties.”
- “All valves and hydrants shall be submitted to the Village of Romeoville Water Department for written approval prior to ordering.”

3 **Sanitary Sewer Improvements** - Limited utility information was included in the preliminary plan documents. These comments are included for the designer’s use in final site engineering.

3.1. **Compliant.**

3.2. **Deferred to Final Engineering** - Shallow sanitary sewer (less than 5 feet of cover) will need to be insulated. Provide justification for minimum burial depth.

3.3. **Deferred to Building Department** - Historically, the village has not allowed a single feed running the length of the building as a blockage in 1 unit would cause all units to be out of service.

3.4. **Deferred to Final Engineering** - When utility structure adjustment is necessary, a minimum of two adjusting rings (min 6” adjusting height) and maximum of three rings (max 10” adjusting height). No 1” or 2” concrete rings are allowed. Under paved areas, top ring should be rubber. Use one (1) EJIW Infra-Riser rubber Composite.

3.5. **Deferred to Final Engineering** - Pipes must have a minimum cover depth of 5 feet. Pipes must be PVC SDR 26 when less than 15 feet deep, PVC SDR 21 when 15-20 feet deep, and PVC SDR 18 when over 20 feet deep.

3.6. **Deferred to Final Engineering** - Copies of the IEPA Sanitary Sewer Permit Application, if necessary, must be provided for the Village’s review and execution.

3.7. **Deferred to Final Engineering** - All manholes located in areas subject to inundation must have waterproof, bolt-down frames and lids.

3.8. **Deferred to Final Engineering** - Please use an Internal/External Adaptor Seal on sanitary manholes. The “I/E A” Seal stops inflow between the manhole frame and the top adjusting ring and it also seals the manhole chimney from the frame to the corbel. One vendor of this seal is Adaptor Inc.

3.9. **Deferred to Final Engineering** - Sanitary manhole frame and cover shall be East Jordan 1022Z3 embossed with “Sanitary” and Village of Romeoville.” All joints need to be externally wrapped with MacWrap or equal. Rubber gasketed boots are required for the main at the manhole wall

3.10. **Deferred to Final Engineering** - The following information should be included in the sanitary sewer notes: “All sanitary manhole castings, adjusting rings and manhole section shall be set in butyl rope or approved equal. Each manhole cone and barrel section joint shall also be externally sealed with a 6” wide sealing band of rubber and mastic. The band shall have an outer

layer of rubber or polyethylene with an under layer of rubberized mastic meeting the requirements of ASTM C-877-02 (Standard Specification for External Sealing Bands for Concrete Pipe, Manholes, and Precast Box Sections). Pipe connection to new and existing manholes through openings (cast or core-drilled) shall be provided with a flexible rubber watertight connector conforming to ASTM C-923 (Standard Specifications for Resilient Connections Between Reinforced Concrete Manhole Structures and Pipes)".

- 3.11. ***Deferred to Final Engineering*** - Include the Village of Romeoville's final acceptance and testing of sanitary sewer requirements (copy enclosed).
- 3.12. ***New Comment*** – The services from the buildings will need to be connected into the main at manholes, not blind connections.
- 3.13. ***New Comment*** – The onsite sanitary sewer will be private and maintained by the HOA. However, the Village will need easements in order to make repairs should the owner not do so in a timely manner.
4. **Storm Sewer Improvements** – Limited storm sewer information was included in the preliminary plan documents. Many of these comments are included for the designer's use in final site engineering.
 - 4.1. ***Deferred to Final Engineering*** - Provide storm sewer calculations for the development (including drainage area exhibit, storm sewer sizing, HGL calculations [with rim elevations adjacent], and inlet capacity calculations) with engineering submittals. Please note that Section 201.2 (f) of the Romeoville ordinance requires the 10-year HGL to be fully contained within the pipe and that all public pipe must be RCP (see the Village's development code for requirements of non-RCP pipe materials).
 - 4.2. ***Deferred to Final Engineering*** - Consider the impact of off-site drainage to the property when designing improvements.
 - 4.3. ***Deferred to Final Engineering*** - The locations, sizes and slopes of any downspouts/roof drains must be shown on the plans. Roof drains must be accounted for in the design calculations.
 - 4.4. ***Deferred to Final Engineering*** - Storm sewer joints must be flexible gasket o-rings per ASTM C361, ASTM C433, and ASTM C1619
 - 4.5. ***Deferred to Final Engineering*** - ~~Provide a plan showing the location and elevation of all public storm sewer.~~
 - 4.6. ***Deferred to Final Engineering*** - For closed lid structures, frame and cover shall be East Jordan 1022Z3 embossed with "Storm" and Village of Romeoville."
5. **Storm Water Management Improvements.** A preliminary Stormwater Management Report has not yet been submitted.
 - 5.1. ***Conditionally Compliant*** - Per the LOMR dated 7/30/10, we believe the BFE to be 616.7 in the vicinity of the project, on the NGVD29 datum. The elevation has been added to the cover sheet – please verify the datum.
 - 5.2. ***Compliant***.
 - 5.3. ***Conditionally Compliant*** - With Final Engineering, include the offsite wetland documentation.
 - 5.4. ***Deferred to Final Engineering*** - With final engineering, provide a stormwater management report with narrative and all pertinent design calculations for storm sewer and detention facility. The engineer should review the Village's stormwater ordinance for basin sizing and configuration requirements. Best Management Practices, such as rain gardens and bioswales, for stormwater quality should be incorporated into landscape and stormwater management design.

- 5.5. A specific list of variance requests need to be prepared by the applicant – we cannot accept “requested variances as shown on the Preliminary Engineering Plans”. The applicant should continue to augment their list of variances from the code for the proposed pond design.
- 5.6. **Deferred to Final Engineering** - Include an inundation exhibit in the final stormwater management report. Take into account off-site areas that will be tributary to the proposed site/pond.
- 5.7. **Deferred to Final Engineering** - During final engineering, show the on-site and off-site emergency overland flood routes on the grading plan. Provide appropriate weir calculations at all “pinch points.” Ponding depth requirements are spelled out in the grading comments below. This will include tributary areas from the north. A minimum of 1' of freeboard is needed between the HWL of the overland drainage flow and the openings into structures (garages and units).
- 5.8. **Deferred to Final Engineering** - The following Drainage Certification must be provided on the plans and signed and sealed by an Illinois Registered Professional Engineer:

“I, _____, hereby certify that adequate storm water storage and drainage capacity has been provided for this development, such that surface water from the development will not be diverted onto and cause damage to adjacent property for storms up to and including the one hundred (100) year event, and that the design plans are in compliance with all applicable State, County, and Village ordinances.”

6 Grading, Sedimentation, and Erosion Control Comments – Preliminary grading and no erosion control information was not included in the concept plan documents. These comments are included for the designer’s use in final site engineering.

- 6.1 **Deferred to Final Engineering** - The following comments pertain to site grading:
 - Much more detail will be required during Final Engineering. In general, spot elevations must be provided throughout the site to demonstrate that the Village’s minimum requirements of 2% slope for all grassy areas and 0.5% slope for paved areas have been met. Also, with Final Engineering, provide a 1' contour lines throughout the site that tie into the adjacent parcels.
 - Maximum ponding depth is 9 inches in parking areas and 12 inches in grassy areas (with flexibility in bioswale designs).
 - Rim elevations for all structures should be included on the grading plan.
 - The longitudinal slope of regular pitch curb and gutter must be at least 0.5%.
 - Identify areas of regular pitch and reverse pitch curb and gutter.
 - The proposed grading of any drive entrances cannot allow minor runoff from portions of the parking lot to drain onto the streets – these flows should be intercepted by the storm sewer.
 - Proposed grading must tie into existing grading around the perimeter of the site. We noted that it appears that the grading around the inlet in the green space southeast of building 1 might not work with the existing grading.
- 6.2 **Deferred to Final Engineering** - An Erosion Control Schedule must be included on the plans, showing the proposed phasing for the development including: the expected date that clearing will begin, the estimated duration of exposure of cleared areas, the sequence of installation of temporary sediment control measures, clearing and grading and temporary soil stabilization

measures, installation of storm drainage, paving of parking areas, final grading and establishment of permanent vegetative cover, and the removal of temporary measures.

6.3 **Deferred to Final Engineering** - The location of any proposed topsoil and/or trench spoil stockpiles must be shown on the plans, including a row of silt fence around the perimeter of the stockpiles.

6.4 **Deferred to Final Engineering** - The following is a partial list of notes that should be included in the Erosion Control Plan mentioned above:

- “All access to and from the construction site is to be restricted to the construction entrance.”
- “All temporary and permanent erosion and sediment control practices must be maintained and repaired as needed to assure effective performance of their intended function.”
- “Major amendments of the site development or erosion and sedimentation control plans shall be submitted to the Department of Community Development to be approved in the same manner as the original plans.”
- “Any sediment reaching a public or private road shall be removed by shoveling or street cleaning (not flushing) before the end of each workday and transported to a controlled sediment disposal.”
- “All temporary erosion and sediment control measures shall be disposed of within 30 days after the final site stabilization is achieved with permanent soil stabilization measures.”
- “Disturbed areas shall be stabilized with temporary or permanent measures within 7 calendar days following the end of active disturbance or redisturbance.”
- “If dewatering devices are used, discharge locations shall be protected from erosion. All pumped discharges shall be routed through appropriately designed sediment traps or basins.”

6.5 **Deferred to Final Engineering** - A description of dust control measures must be provided.

6.6 **Deferred to Final Engineering** - Provisions for maintenance of erosion control measures, including type and frequency of maintenance must be provided.

6.7 **Deferred to Final Engineering** - Identification (name, address, and telephone) of the person(s) or entity that will have legal responsibility for maintenance of erosion control structures and measures, during and after development, must be provided on the plans.

6.8 **Deferred to Final Engineering** - A Storm Water Pollution Prevention Plan (SWPPP) must be prepared, and must meet the following requirements as a minimum. It should be noted that the SWPPP must be a separate, stand-alone document from the Erosion and Sediment Control Plan.

6.9 **Deferred to Final Engineering** - The following notes must be added to the SWPPP:

- “The Contractor shall take the necessary steps to control waste such as discarded building materials, concrete truck washout, chemicals, litter and sanitary waste at the construction site that may cause adverse impacts to water quality.”
- “All storm sewer frames and grates/lids shall be marked with “Dump No Waste” and “Drains to Creek”. This note must also be included on all drainage structure details.
- “A Notice of Intent (NOI) must be submitted to the NPDES permitting authority and postmarked at least 30 days before commencement of any work on-site for all construction sites over one acre. Included in the NOI shall be the Stormwater Pollution Prevention Plan (SWPPP), which includes the appropriate BMP’s to minimize the discharge of pollutants from the construction site.”
- “An Incident of Non-Compliance (ION) must be completed and submitted to the IEPA if, at any time, an erosion or sediment control device fails.”
- “A Notice of Termination (NOT) must be completed and submitted to the IEPA when all permanent erosion control measures are in place with a 70% establishment of vegetation.”

6.10 **Deferred to Final Engineering** - The following Certificate must be signed and dated by an Illinois Registered Professional Engineer: "This erosion control plan was prepared by me or under my direct supervision, and complies with the Urban Soil Erosion Control and Standards in Illinois manual (latest edition) and the generally recognized methods in use in the area."

7 **Engineering Landscaping Plan Comments** – Preliminary landscape plan was submitted. These comments are included for the designer's use in final design.

7.1 **Deferred to Final Engineering** - A Final Landscape Plan should be prepared over a background including the site layout and proposed utility improvements, so that we can verify that there are no conflicts. All proposed and existing utility lines and structures (sanitary manholes, fire hydrants, valve vaults, etc.) must be shown. The light poles, water main, and water appurtenances are not shown on the plan. All large landscaping items must be located a minimum of 10 feet from all utility structures and 5 feet from underground utility mains and services.

7.2 **Compliant.**

7.3 **Deferred to Final Engineering** - The proposed screening for any garbage enclosures should be shown on the landscape plan.

7.4 **Deferred to Final Engineering** - Consider sight distance when locating trees and other landscape features near driveways and intersections.

8. **Plat Comments**

8.1 A Blanket Public Utility Easement is proposed for all public utilities. Long-term maintenance of water and sewer in tight areas like this has been placed on the developer. We would expect the same to occur in this development. Easement provisions will need to be revised accordingly.

8.2 **Deferred to Final Engineering** - Stormwater management easements should be dedicated for the proposed stormwater management facility and the emergency overland flow routes through the site.

8.3 **Deferred to Final Engineering** - Use the standard Village of Romeoville Easement Provisions.

8.4 **Deferred to Final Engineering** - Label easements consistent with the title of the provisions.

9. **General Comments**

9.1 These parcel has several recaptures (Ryan, In-Land) associated with them. Specifics of these recaptures can be gotten thru the Community Development Department. The proposed form release that has been provided to the Village is acceptable.

9.2 If applicable, provide a list of code exception requests that reference the applicable code section and provides justification for the granting of said request.

9.3 **Deferred to Final Engineering** - With the final engineering submittal, product catalog cuts and a Photometric Plan must be submitted showing the height, number and orientation of proposed luminaires. The Photometric Plan must also show the proposed lighting levels in foot-candles at ground level, and include a summary table demonstrating that the lighting is in conformance with the levels included in the Village's ordinance. Show light pole locations on the utility plan.

9.4 **Deferred to Final Engineering** - A Copy of the NPDES NOI form for the proposed improvements must be provided to the Village.

- 9.5 **Deferred to Final Engineering** - Granular trench backfill is required when the trench is within two feet of pavement or curb. The limits of all granular (CA-6) trench backfill must be shown on the plans for all applicable pipe runs and should also be accounted for in the cost estimate.
- 9.6 **Deferred to Final Engineering** - As noted above, when utility structure adjustment is necessary, a minimum of two adjusting rings (min 6" adjusting height) and maximum of three rings (max 10" adjusting height). No 1" or 2" concrete rings are allowed. Under paved areas, top ring should be rubber. Use one (1) EJIW Infra-Riser rubber Composite. Please add a note to the plans to this effect.
- 9.7 **Compliant.**
- 9.8 **Deferred to Final Engineering** - Top and bottom of pipe information should be provided for all utility crossings. All water main crossings must meet the requirements set forth in the Standard Specifications for Water & Sewer Main Construction In Illinois, and appropriate details must be shown if applicable. Horizontal separation requirements must also be met for sewer and water pipes, and appropriate details included on the plans.
- 9.9 **Deferred to Final Engineering** - Village contact information should be included on the engineering plans: Mr. Jonathon A. Zabrocki, P.E., c/o Village of Romeoville, 615 Anderson Drive, Romeoville, IL 60446 (phone No. 815/886-1870).
- 9.10 A minimum of two benchmark references should be provided on the engineering plans. **The benchmarks must be tied to the Will County's vertical and horizontal datum.**
- 9.11 **Deferred to Final Engineering** - Two separate cost estimates must be provided for the project with final engineering. The first will contain all improvements that require financial security (i.e., publically dedicated, stormwater management, erosion and sediment control, and inspection manholes). From this estimate, a Letter of Credit in the amount of 125% of the estimate will be established. The letter of credit shall be posted with the village prior to Village Board approval of any final plat of subdivision or any final development plan. A second estimate containing all site-related improvements (including landscaping, paving, water, lighting, landscaping, storm, sanitary, etc) must be submitted. This estimate will be utilized to set the design fee for this project.
- 9.12 **Deferred to Final Engineering** - Upon completion of construction, record drawings for all public improvements must be provided to the Village on diskette in AutoCad (.dwg) format. Corrections to site design, utility placement, and elevations must be shown on the digital drawings by crossing out the original design information and adding the changes made.
- 9.13 **Deferred to Final Engineering** - Final plans shall be signed and sealed by a registered professional engineer.

This review is only for general conformance with the design criteria established by the Village and is subject to both the completeness of the information submitted by the developer's professional staff and also the actual ability of the plan to perform in accordance with its intent. Actual field conditions may vary and additional items may arise which are not readily apparent based on this submittal. The developer's design professionals are responsible for performing and checking all design computations, dimensions, and details relating to design, construction, compliance with all applicable codes and regulations, and obtaining all permits. Additionally, other bodies of government may have jurisdiction over various aspects of this development. The developer should be advised that additional measures may be required based on actual field conditions and formal approvals of the other agencies.

Normantown Rd Apartments
January 17, 2017
Page 12 of 12

Please note that this review does not include all site & landscaping issues as per the zoning Ordinance such as building setbacks, lot coverage, parking dimensions, etc. and the applicant shall refer to the Community Development Department for a complete review of such issues.

If you have any questions please feel free to contact me at 815-886-5024 or jpottter@romeoville.org

Sincerely,
Village of Romeoville



Josh Potter
Assistant Director of Community Development

An Ordinance Approving a PUD – General Development Plan
Village Place Apartments (ORD 16-1327)

Exhibit D:

Report of the Planning and Zoning Commission

DRAFT
Report of the Planning & Zoning Commission
Romeoville, Illinois

ORD 16-1326

An Ordinance Approving Annexation and Zoning for Village Place Apartments by
Edward Rose & Sons and S.R. Jacobson

ORD 16-1327

An Ordinance Approving a Special Use Permit for a Planned Unit Development –
General Development Plan for Village Place Apartments by Edward Rose & Sons and
S.R. Jacobson

**TO: Village President, Village Clerk & Board of Trustees
Village of Romeoville, Will County, Illinois**

**A motion was made by Commissioner Scieszka, seconded by Commissioner Pyle, that this Public
Hearing be Opened. The motion carried by a unanimous vote.**

Assistant Director of Community Development, Josh Potter, read the Project Compliance Report.

Edward Rose & Sons and S.R. Jacobson are proposing the development of a 216-unit apartment
community on 12.8 acres located on the south side of Normantown Road, just east of Brunswick Lane.

The subject property is currently vacant and unimproved. It was used in the past as a nursery known as
Kotnour's Landscape and Nursery. A portion of the property was originally annexed to the Village in 1989
~~and is zoned R-6 Attached Residential. The remaining property is located in unincorporated Will County.~~

The developer is requesting R-7, General Residential zoning for the subject property. The proposed R-7
zoning is suitable for the proposed land use. In addition, the proposed land use and zoning provides a
natural transition between the Greenhaven duplexes and Meadowdale townhomes, zoned R-6, Attached
Single Family Residential to the east and the commercial property, zoned B-3, Highway Regional
Shopping to the west.

The Development Review Committee recommends approval of Annexation and Zoning, contingent on
compliance with outstanding staff comments.

From the testimony and presentation made by the Petitioner / Applicant, Witnesses, General Public, and
Staff recommendation on the request, the Commission hereby finds the following:

1. The application complies with the provisions of the Comprehensive Plan (Chapter 157).
2. The application complies with the provisions of the Development Regulations (Chapter 158).
3. The application complies with the provisions of the Zoning Code.

THEREFORE, the Planning & Zoning Commission of the Village of Romeoville hereby recommends to
the Village President and Board of Trustees the Approval of the following Ordinances:

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

ORD 16-1326 – An Ordinance Approving Annexation and Zoning for Village Place Apartments by Edward Rose & Sons and S.R. Jacobson

Motion by: Commissioner Scieszka
Seconded by: Commissioner Pyle

Roll call of the membership present the 8th day of November, 2016 with the following vote:

6 members voting AYE	0 members voting NAY		
0 members ABSTAINING	1 members ABSENT and not voting.		
David Venn	AYE	Steve Pyle	AYE
Richard Holloway	AYE	Jim McConachie	AYE
Paul Scieszka	ABSENT	Petra Burgess	ABSENT
Dan Repetowski	AYE		

MOTION Carried.

ORD 16-1327 – An Ordinance Approving a Special Use Permit for a Planned Unit Development – General Development Plan for Village Place Apartments by Edward Rose & Sons and S.R. Jacobson

A motion was made by Commissioner Scieszka, seconded by Commissioner Pyle, that this Public Hearing be Opened. The motion carried by a unanimous vote.

Assistant Director of Community Development, Josh Potter, read the Project Compliance Report.

A PUD - General Development Plan approves the preliminary site plans for the site. Final Development Plans with greater levels of detail will be provided shortly following the approval of the PUD - General Development Plan. The Final Development Plan will come back to the Planning and Zoning Commission for review to ensure they follow the approved General Development Plan.

The apartment development is proposed to be a high-end apartment community with desirable site amenities. The development plan includes a total of 316 apartment units in 6 three-story buildings. The unit mixture includes 90 one-bedroom units, 114 two-bedroom units and 12 three-bedroom units.

A 6,000 square foot clubhouse is proposed that includes a community room, exercise room and property management offices. A pool, sun deck and pergola will be located behind the clubhouse with an outdoor gathering area. Other site amenities include attached and detached garages, a carwash area, dog park, on-site professional management and a large amount of open space around the site.

The main entrance into the site is proposed through a new full access driveway from Normantown Road. Final studies are being prepared and will be reviewed, but it appears an eastbound to southbound deceleration lane will be required for the Normantown Road driveway. A secondary access point for emergency access is proposed on the east end of the site that will connect to Kingsley Drive. In addition, an internal driveway stub is provided to the west that will allow for future cross access with the adjacent commercial property.

There are a total of 417 parking spaces provided, including 107 garage spaces and 310 surface parking spaces. The total amount of parking provided exceeds the 413 parking spaces that are required by the Parking Code based on the proposed unit mixture. All of the buildings include 12 internal garages. In addition, 7-unit detached garages are provided near each building.

The principal exterior building materials include a large percentage of brick and horizontal

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

siding. The buildings include a number of architectural features including varying use of architectural accents and colors, a large percentage of windows, varied rooflines, and vertical and horizontal articulation. The architecture pattern is consistent throughout the site. The building architecture is consistent throughout the site.

The 3-story product allows over 45% of the site to be dedicated open space. A large open space area is provided behind the clubhouse and interconnected walkways are provided throughout the site. The site will also provide a connection to the existing path along Normantown Road and to a future north-south pathway to be located in the adjacent natural gas right-of-way.

The proposed Landscape plan meets the minimum planting requirements of the Landscape Code. Full planting screens are proposed on the east and west sides to provide solid screens from the Greenhaven subdivision to the east and the commercial property to the west. Enhanced landscaping is provided at the boulevard site entrance and along Normantown Road. In addition, the developer is providing a total of 135 trees above the minimum amount of trees required for the site. Parking lot landscaping is provided and all of the buildings include foundation planting areas. A decorative fence will be required at the east property line to delineate the subject property from the adjacent Greenhaven subdivision.

All of the site's stormwater runoff is managed through an on-site detention pond located at the southeast end of the site.

Signage plans have not been submitted yet. These plans will be required in the Final Development Plan submittal.

The following code exceptions and clarifications are included:

1. Residential Density (Section 159.068.A). The developer is asking to increase the maximum density from 12 units per acre to 16.9 units per acre. The proposed density is consistent with the other communities in the area, including:

Remington - 16.7 units per acre; High Point Serenity - 16.8 units per acre and Springs at 127th in Plainfield - 18.9 units per acre, and is consistent with the recent Springs at Weber Road project - 15.8 units per acre. Although this project has a slightly higher density, the proposed design allows for additional open space.

2. Tree Preservation and Removal Regulations (Section 159.30.C). The developer is asking for a waiver of 82 replacement trees. The developer is providing a total of 135 replacement trees, but is unable to fit the rest of the trees on the site.

3. Setbacks (159.68.F.6). A reduction in the required 25-foot front yard setback is requested for the parking. This reduction only amounts to a few feet at a few locations along the setback line. The sidewalk will also encroach into the setback.

4. Maximum Lot Coverage (159.68.F.8). To increase the maximum lot coverage from 50% to 55%.

5. Minimum Landscape Coverage (159.68.F.9). To reduce the minimum landscape coverage from 50% to 45%. The proposed Landscape Plan provides landscaping significantly above the minimum planting requirements.

6. Site Runoff and Storage Facility Design (160.035). Developer is providing the required detention volume for the development, but due to constraints with the elevation of Property, seeks code exceptions to: i) reduce the required area for the Normal Water Level (NWL) from 1.0 acres to 0.65 acres; and ii) to increase the maximum bounce from 4 feet to 5 feet for a 100-year storm event and from 1 feet to 1.5 feet

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

for a two-year storm event.

7. Street Access (Section 159.017 and 159.60.E.5). The proposed development will have a single point of access to Normantown Road. A second point of access is provided at Kingsley Drive, but said access is a restricted emergency access. A stub is presently provided to the west and may result in a future third point of access.

8. Residential District Requirements - Building Design Guidelines (Section 159.60.H.1 and 159.60.H.3). The proposed development is designed such that all buildings are oriented internally around the central clubhouse and associated open space rather than the Normantown Road right-of-way.

9. Fenestration (Section 159.60.H.4). A high percentage of windows are incorporated across each façade of the buildings. Developer has, to date, not confirmed the surface area of the windows or maximum linear distance between windows, but suggests, based on the proposed Elevations, that the elevations meet the fenestration requirement.

10. Parking/Garages (Section 159.60.H.5). Parking is provided via a combination of surface parking, detached garages and attached garages. The development will not provide a minimum of two attached garage spaces for each unit.

11. Special Signs (Section 159.129.K). Permanent Residential Development Entrance Signs. The developer will provide a permanent masonry or stone development sign identifying the name of the apartment community. The sign will not be greater than 8 feet in height, but will comply with all applicable sign regulations.

Mr. Russ Whitaker, 30 W. Jefferson, Ste. 200 Naperville, IL - Sworn.

Mr. Whitaker wanted to remind everyone that the entities behind this project, Edward Rose & Sons and S.R. Jacobson, are well established and are going to be involved in this project long term.

Mr. Whitaker stated that they have been working with staff on the project since the last meeting to address the comments from the last meeting.

Building one has been shifted to the east to put more space/buffer between the adjacent development.

The access onto Brunswick Lane will be an ongoing issue. The Village is working to help secure easement rights over the Natural Gas Pipeline.

Chairman Venn asked if there would be an aerator in the pond.

Mr. Whitaker stated that the developer has designed it to be a wet basin detention pond and may require an aerator.

Chairman Venn asked if the pond was sufficient size for all the run off on the site.

Assistant Director Josh Potter stated that it was, pending final approval of Final Engineering Plans.

Commissioner Scieszka asked staff to explain the setback for the front of the property and asked if it will affect the bike path.

Assistant Director Josh Potter showed on the aerial photo of the site where the encroachment on the setback would be (it is a very minimal area). There will still be 17 ft. to 18 ft. of greenspace buffer between the parking lot and the bike path.

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

Commissioner Hoffman asked about the lighting on the rear of building one.

Mr. Whitaker explained that there is no security lighting on the back of the buildings, each unit would have a porch light on the exterior space. Also, due to the elevation change of the developments and the distance with landscaping/berm wall between them the porch lights should not be an issue.

Chairman Venn asked about the materials that will be used in the berm wall.

Mr. Whitaker stated that it will be a combination of materials.

Commissioner Pyle asked about the size of the retaining wall.

Assistant Director Josh Potter showed the retaining wall on the aerial of the site.

Assistant Director Josh Potter stated the Development Review Committee recommends approval of the GDP, contingent upon compliance with all outstanding staff comments.

From the testimony and presentation made by the Petitioner / Applicant, Witnesses, General Public, and Staff recommendation on the request, the Commission hereby finds the following:

1. The application complies with the provisions of the Comprehensive Plan (Chapter 157).
2. The application complies with the provisions of the Development Regulations (Chapter 158).
3. The application complies with the provisions of the Zoning Code, as amended by the PUD.

Motion by: Commissioner Pyle

Seconded by: Commissioner Repetowski

Roll call of the membership present the 8th day of November, 2016 with the following vote:

6 members voting AYE
0 members ABSTAINING

0 members voting NAY
1 members ABSENT and not voting.

David Venn

AYE

Steve Pyle

AYE

Richard Holloway

AYE

Jim McConachie

AYE

Paul Scieszka

ABSENT

Petra Burgess

ABSENT

Dan Repetowski

AYE

MOTION Carried.

Respectfully submitted on November 8, 2016.

CHAIRMAN, Planning & Zoning Commission

Attested by:

SECRETARY, Planning & Zoning Commission