

An Ordinance Approving a Special Use Permit for a Planned Unit Development – General Development Plan for Village Place Apartments by Edward Rose and Sons and S.R. Jacobson.

WHEREAS, Edward Rose and Sons and S.R. Jacobson (hereinafter referred to as "Developer") has requested the approval of a Special Use Permit for a Planned Unit Development - General Development Plan for Village Place Apartments; and,

WHEREAS, said request is for 12.8 acres located on the south side of Normantown Road, just east of Brunswick Lane; and,

WHEREAS, said request for General Development Plan includes the following exhibits:

- Preliminary Engineering Plans by Kimley Horn and Associates, Inc., last dated December 15, 2016 and attached as Exhibit A; and,
- GDP Floor Plans and Building Elevations prepared by Alexander V. Bogarts + Associates, P.C., last dated September 26, 2016 and attached as Exhibit B; and,
- Staff Review Letter, last dated January 17, 2017 and attached as Exhibit C; and,

WHEREAS, said request has met all of the procedural requirements of the Village of Romeoville, Village Board of Trustees, Planning & Zoning Commission, Development Review Committee, and the Code of Ordinances, as amended; and,

WHEREAS, the Planning & Zoning Commission held a Public Hearing on November 8, 2016 to discuss the proposal as outlined in the PZC Report attached as Exhibit D; and,

WHEREAS, said request meets with the approval of the Village of Romeoville and hereby authorizes Developer to proceed according to the Development Regulations, Zoning Code and various requests made by the Development Review Committee, Planning & Zoning Commission, and Village Board of Trustees.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES FOR THE VILLAGE OF ROMEOVILLE, WILL COUNTY, ILLINOIS:

Section 1: That the above recitals and referenced reports are hereby incorporated and made a part of this Ordinance;

Section 2: That approval of the Special Use Permit for a Planned Unit Development – General; Development Plan is hereby granted by the Village, in which the Village President is hereby authorized to sign, and the Village Clerk attest thereto, that the said General Development Plan has met all of the requirements as herewith attached and is authorized to proceed at the site legally described as follows:

PARCEL 1:

THE EAST 520 FEET OF THE WEST 586 FEET OF THE NORTH 838 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY DECREES ENTERED IN CASE NUMBER 89ED11 AND 89ED12, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED SEPTEMBER 12, 1989, AS DOCUMENT R89-46084, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

An Ordinance Approving a PUD – General Development Plan
Village Place Apartments (ORD 16-1327)

PARCEL 2:

THE EAST 260.00 FEET OF THE WEST 846.00 FEET OF THE NORTH 838.00 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY DECREES ENTERED IN CASE NUMBER 89ED11 AND 89ED12, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED MARCH 13, 1989, AS DOCUMENT R89-011180, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

TAX P.I.N.: 12-02-32-100-008; 12-02-32-100-006

Section 3: That the Planned Unit Development allows for the following exceptions and clarifications from the Development Regulations and Zoning Code:

1. Residential Density (Section 159.68). An increase in the maximum density from 12 units per acre to 16.9 units per acre, to permit the proposed 216 unit apartment development as depicted in the General Development Plan.
2. Tree Preservation and Removal Regulations (Section 159.30.C). Tree Preservation shall be accommodated as depicted in the General Development Plan. A waiver from the required 82 replacement trees not planted on site.
3. Setbacks (159.68.F.6). A reduction in the required 25-foot front yard setback for the parking.
4. Maximum Lot Coverage (159.68.F.8). An increase the maximum lot coverage from 50% to 55%.
5. Minimum Landscape Coverage (159.68.F.9). A reduction in the minimum landscape coverage from 50% to 45%.
6. Site Runoff and Storage Facility Design (160.035). i) a reduction in the required area for the Normal Water Level (NWL) from 1.0 acres to 0.65 acres; and ii) an increase in the maximum bounce from 4 feet to 5 feet for a 100-year storm event and from 1 foot to 1.5 feet for a two-year storm event.
7. Street Access (Section 159.017 and 159.60.E.5). The proposed development will have a single point of access to Normantown Road. A second point of access is provided at Kingsley Drive, but said access is a restricted emergency access. A stub is presently provided to the west and may result in a future third point of access.
8. Residential District Requirements – Building Design Guidelines (Section 159.60.H.1 and 159.60.H.3). The proposed development is designed such that all buildings are oriented internally around the central clubhouse and associated open space rather than the Normantown Road right-of-way. Elevations are approved consistent with the General Development Plan.
9. Fenestration (Section 159.60.H.4). The elevations attached as part of the General Development Plan are deemed to satisfy applicable requirements.
10. Parking/Garages (Section 159.60.H.5). Parking is provided via a combination of surface parking, detached garages and attached garages. The development will not provide a minimum of two attached garage spaces for each unit as depicted in the General Development Plan.
11. Special Signs (Section 159.129.K). Permanent Residential Development Entrance Signs. The developer will provide a permanent masonry or stone development sign identifying the name of the apartment community. The sign will not be greater than 8 feet in height, but will comply with all applicable sign regulations.
12. Curb and Gutter (Section 158.027). Integral curb and sidewalk shall be permitted as depicted in the General Development Plan.

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Village Place Apartments (ORD 16-1327)

13. Building Height (Section 159.068 F(5)). The height of the buildings shall be permitted as depicted in the General Development Plan with roof peaks, in some instances, exceeding forty feet (40').
14. Setbacks (Section 159.068 F(6)(f)). A reduction in the required contiguous lot area is permitted as depicted in the General Development Plan.

Section 4: That this Ordinance is contingent on compliance with all applicable Village ordinances and outstanding staff comments. This includes but is not limited to the staff comment letter attached as Exhibit C.

Section 5: That this Ordinance shall become effective upon its passage, approval and publication as provided by law.

PASSED this ____ day of _____, 2017 with ____ members voting aye, with ____ members voting nay, and with ____ members absent or passing, and said vote being:

Trustee Linda S. Palmiter _____

Trustee Ken Griffin _____

Trustee Dave Richards _____

Trustee Brian A. Clancy, Sr. _____

Trustee Jose (Joe) Chavez _____

Trustee Lourdes (Lou) Aguirre _____

DR. BERNICE HOLLOWAY, Village Clerk

APPROVED this ____ day of _____, 2017 .

JOHN NOAK, Mayor

Attest:

Village Clerk

Exhibit A:

Preliminary Engineering Plans

PRELIMINARY ENGINEERING PLANS VILLAGE PLACE APARTMENTS

20515 NORMANTOWN ROAD ROMEDEVILLE, ILLINOIS 60446



UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT

VILLAGE OF ROMEDEVILLE
615 ANDERSON DRIVE
ROMEDEVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: JONATHAN ZABROCKI, P.E.

SANITARY SEWER SERVICE

VILLAGE OF ROMEDEVILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEDEVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

STORM SEWER SERVICE

VILLAGE OF ROMEDEVILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEDEVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

WATER SERVICE

VILLAGE OF ROMEDEVILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEDEVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

ROADWAY AUTHORITY

VILLAGE OF ROMEDEVILLE PUBLIC WORKS
615 ANDERSON DRIVE
ROMEDEVILLE, IL 60446
TEL: (815) 886-1870
CONTACT: ERIC BJORK

POWER COMPANY

COVED
3 LINCOLN CENTER
OAK BROOK TERRACE, IL 60181
TEL: (630) 437-4130

NATURAL GAS COMPANY

NICOR GAS COMPANY
90 NORTH FINLEY ROAD
OLEN ELLYN, IL 60137
TEL: (888) 388-2112

TELEPHONE

AT&T ILLINOIS
1001 COMMERCE
OAK BROOK, IL 60523
TEL: (630) 573-8434

PROJECT TEAM

DEVELOPER

EDWARD ROADS & SONS
38525 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48303-2011
TEL: (248) 686-5582
CONTACT: NATHAN ANDERSON

S.R. JACOBSON DEVELOPMENT CORP.
32400 TELEGRAPH ROAD, SUITE 100
BIRMGHAM FARMS, MI 48025
TEL: (248) 842-4700
CONTACT: MANNY KIANICKY

GEOTECH

TESTING SERVICES CORPORATION
457 EAST GUNDERSEN DRIVE
CAROL STREAM, IL 60188
TEL: (630) 784-4086
CONTACT: MIKE MACHALENSKI

SURVEYOR

LANDMARK ENGINEERING, LLC
7808 W. 103RD ST
PALOS HILLS, IL 60465
TEL: (708) 599-3737
CONTACT: MARK LANDSTROM, P.E., PLS

ENVIRONMENTAL ENGINEER

CHRISTOPHER B. BURKE ENGINEERING, LTD
9575 W. HIGGINS RD, SUITE 600
ROSEMONT, IL 60018
TEL: (847) 823-0500
CONTACT: TRAVIS KESSLER, PWS

CIVIL ENGINEER

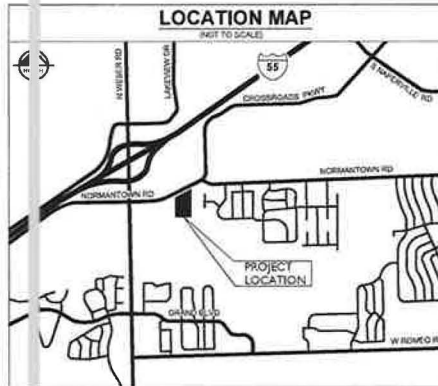
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
LISLE, IL 60532
TEL: (630) 487-5569
EMAIL: DREW.WALKER@KIMLEY-HORN.COM
CONTACT: DREW WALKER, P.E.

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
LISLE, IL 60532
TEL: (331) 481-7335
EMAIL: KEITH.DEMCHINSKI@KIMLEY-HORN.COM
CONTACT: KEITH DEMCHINSKI, P.L.A.

TRAFFIC ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
LISLE, IL 60532
TEL: (331) 481-7332
EMAIL: TIM.SJOGREN@KIMLEY-HORN.COM
CONTACT: TIM SJOGREN, P.E.



INDEX OF SHEETS	
Sheet Number	Sheet Title
C0.0	TITLE SHEET
V0.0	TOPOGRAPHIC SURVEY (BY OTHERS)
C1.0	OVERALL SITE PLAN
C2.0	GRADING PLAN
C3.0	OVERALL UTILITY PLAN
L1.0	TREE PRESERVATION PLAN
L1.1	TREE PRESERVATION PLAN
L2.0	PRELIMINARY LANDSCAPE PLAN
L3.0	LANDSCAPE NOTES AND DETAILS

BASE FLOOD ELEVATION

RFE = 616.70

LEGAL DESCRIPTION

PARCEL 1: THE EAST 520 FEET OF THE WEST 586 FEET OF THE NORTH 838 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY DECREE ENTERED IN CASE NUMBER 89D011 AND 89D012, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED SEPTEMBER 12, 1989, AS DOCUMENT R69-48804, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

PARCEL 2: THE EAST 260 FEET OF THE WEST 846 FEET OF THE NORTH 838 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER, EXCEPTING THEREFROM THAT PART VESTED IN THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY DECREE ENTERED IN CASE NUMBER 89D011 AND 89D012, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY INSTRUMENT RECORDED MARCH 13, 1989, AS DOCUMENT R69-01180, ALL IN SECTION 32, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SQUARE CUT ON LIGHT POLE BASE
ELEVATION=839.52

SQUARE CUT AT INTERSECTION OF CONCRETE WALKS
(KINGSLEY DRIVE)
ELEVATION: 627.18

PROFESSIONAL ENGINEER'S CERTIFICATION

I, WILLIAM A. WALKER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF EDWARD ROSE & SONS BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2016.

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-066048
MY LICENSE EXPIRES ON NOVEMBER 30, 2017

Kimley-Horn
A DIVISION OF KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350
LISLE, ILLINOIS 60532
WWW.KIMLEY-HORN.COM

STATION
VILLAGE PLACE APARTMENTS
NORMANTOWN ROAD
ROMEDEVILLE, IL 60446

TITLE SHEET

VILLAGE PLACE APARTMENTS
NORMANTOWN ROAD
ROMEDEVILLE, IL 60446

ORIGINAL ISSUE:
8/23/2016
KHA PROJECT NO:
188511008

SHEET NUMBER

C0.0

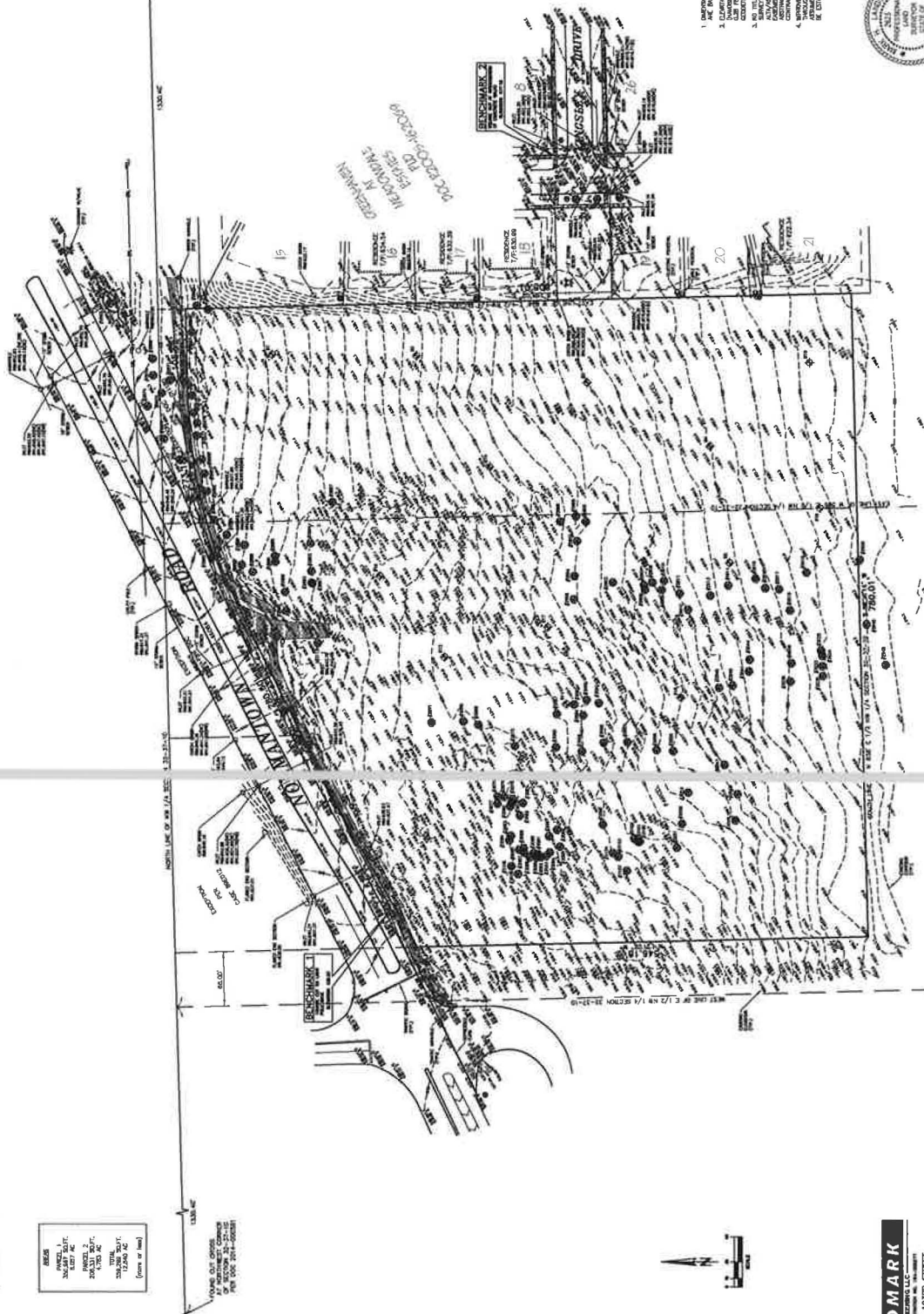
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WILL COUNTY PRINC
PARCEL 1
12-02-32-100-000
PARCEL 2
12-02-32-100-000

AREAS

PARCEL 1	
350,547 SQ.FT.	
8,027 AC	
PARCEL 2	
208,331 SQ.FT.	
4,763 AC	
TOTAL	
558,878 SQ.FT.	
12,790 AC	

(acres or less)

[illegible][illegible]

LANDMARK
ENGINEERING, LLC

SCHOOL FOR ARCHITECTURE AND DESIGN
7904 WEST 103RD STREET
PALOS HILLS, ILLINOIS 60448-1529
Phone (708) 598-3737
Survey Nos. 118-06-037-JL

VILLAGE PLACE
APARTMENTS
NORMANTOWN ROAD
ROME, IL 60446

GRADING PLAN

DESIGNED BY: [Firm Name]
CHECKED BY: [Firm Name]
DATE: 12/15/19

Kimley-Horn
1001 W. MONROE AVE., SUITE 200
MILWAUKEE, WI 53233
PHONE: 414-224-1100
WWW.KIMLEY-HORN.COM

GRADING NOTES

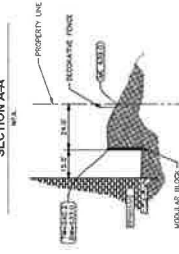
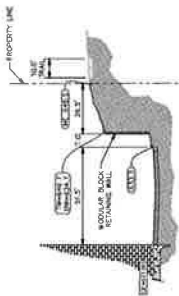
1. ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN ARE FINISHED GRADE UNLESS OTHERWISE NOTED.
3. NO ELEVATION SHALL BE GREATER THAN 2.0' UNLESS OTHERWISE NOTED.
4. ALL ELEVATIONS SHALL BE BASED ON THE MEAN SEA LEVEL DATUM.
5. MAXIMUM SLOPE SHALL NOT EXCEED 3% UNLESS OTHERWISE NOTED.
6. GRADE ELEVATIONS AT THE PROPERTY LINE SHALL BE BASED ON THE MEAN SEA LEVEL DATUM.

GRADING LEGEND

- ME = MEAN ELEVATION
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- GE = GRADE ELEVATION
- SE = SLOPE ELEVATION
- PE = PROPOSED ELEVATION
- DE = DRAINAGE ELEVATION
- CE = CENTERLINE ELEVATION
- SE = SLOPE ELEVATION
- PE = PROPOSED ELEVATION
- DE = DRAINAGE ELEVATION
- CE = CENTERLINE ELEVATION
- SE = SLOPE ELEVATION
- PE = PROPOSED ELEVATION
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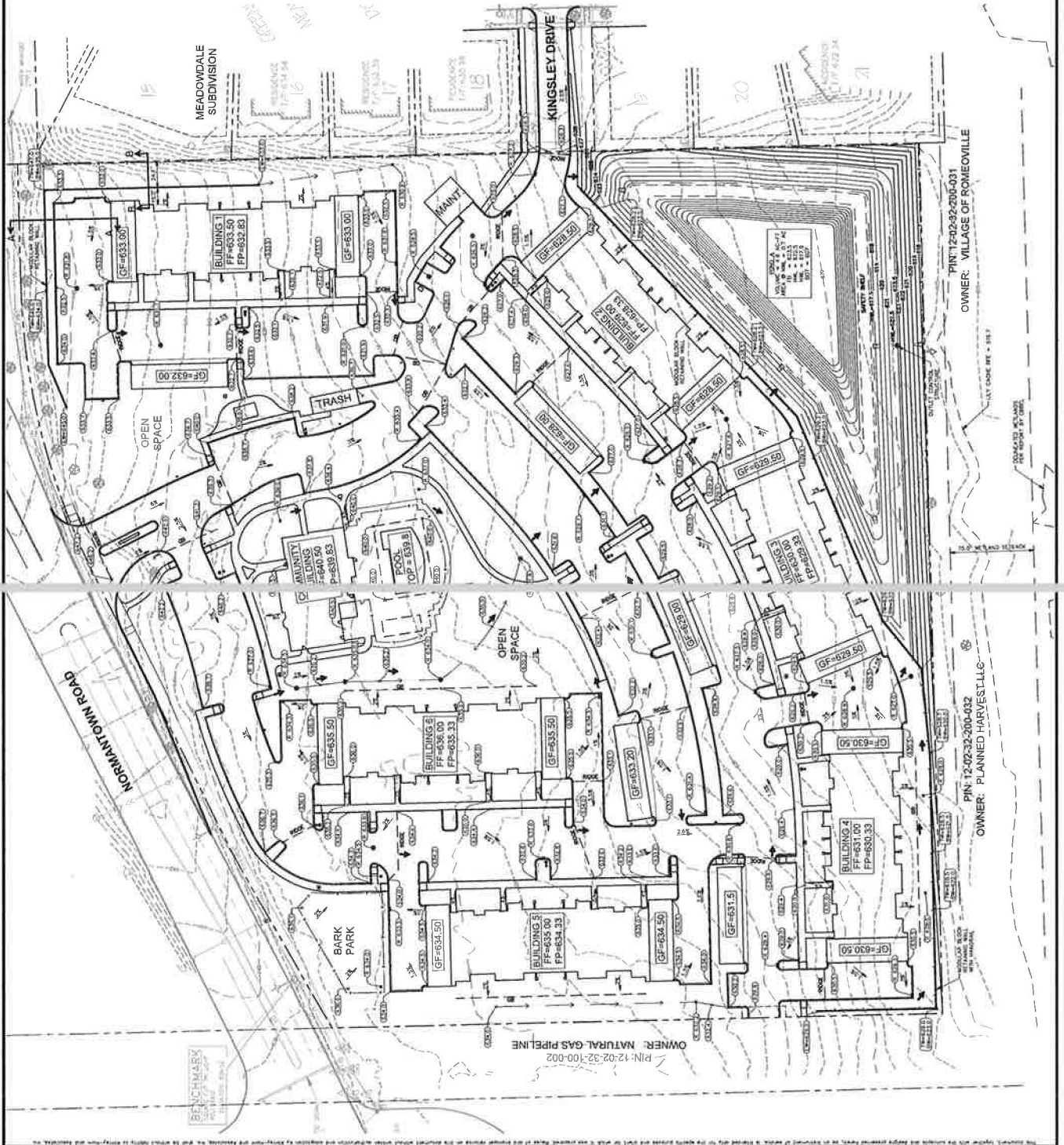
DETENTION SUMMARY

TOTAL DETENTION AREA = 12.0 ACRES
DETENTION REQUIREMENTS:
2-YEAR ALLOWABLE RELEASE RATE (0.04 CFS/AC) = 0.51 CFS
10-YEAR ALLOWABLE RELEASE RATE (0.15 CFS/AC) = 1.83 CFS
DETENTION STRUCTURE:
2-YEAR RELEASE RATE = 0.51 CFS
10-YEAR RELEASE RATE = 1.83 CFS
VOLUME PROVIDED = 4.0 AC-F



SECTION AA

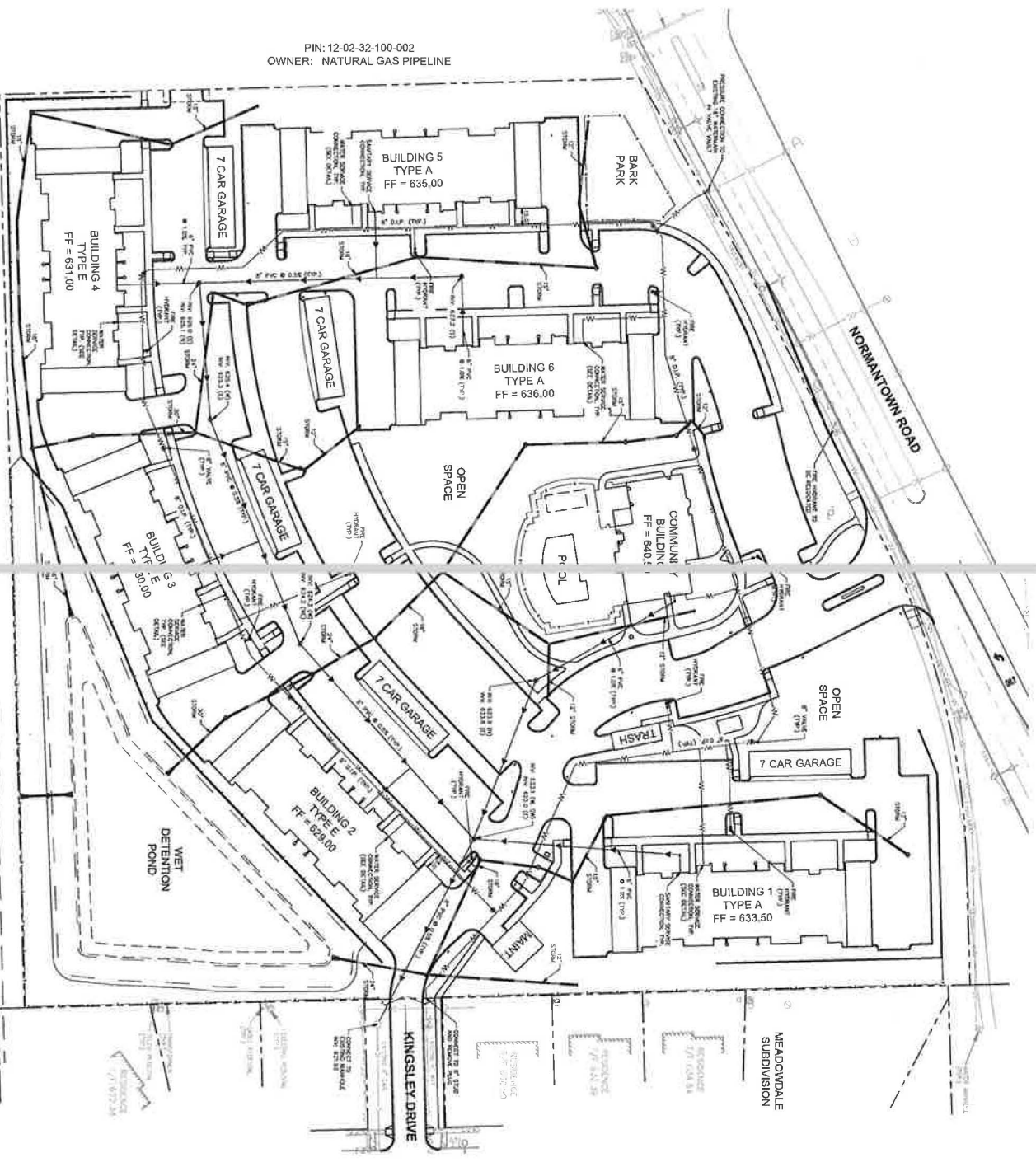
SECTION BB



PIN: 12-02-32-100-002
OWNER: NATURAL GAS PIPELINE

PIN: 12-02-32-200-032
OWNER: PLANNED HARVEST LLC

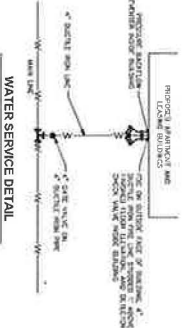
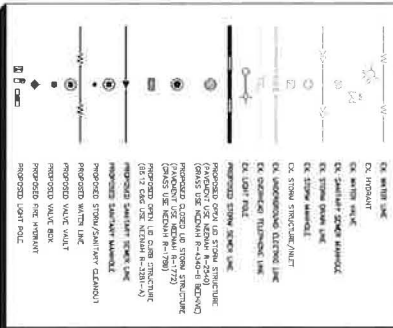
PIN: 12-02-32-200-031
OWNER: VILLAGE OF ROMEOVILLE



UTILITY NOTES

1. ALL UTILITY LINES SHALL BE SHOWN WITH THE FOLLOWING:
 - a. EXISTING UTILITY LINES SHALL BE SHOWN WITH A DASHED LINE.
 - b. PROPOSED UTILITY LINES SHALL BE SHOWN WITH A SOLID LINE.
2. ALL UTILITY LINES SHALL BE SHOWN WITH THE FOLLOWING:
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14. ALL UTILITY LINES SHALL BE SHOWN WITH THE FOLLOWING:
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UTILITY LEGEND



TREE INVENTORY AND REMOVALS SCHEDULE

TAG #	COMMON NAME	BOTANICAL NAME	SIZE CAL. *	CONDI- TION	FORM	REQUIRED REPLACEMENT TREES
2863	Malin Sp.	Malus Sp.	10	1	1	
2865	Little Leaf Linden	Tilia cordata	6	1	1	
2866	Siberian Elm	Ulmus pumila	6	3	3	
2868	Little Leaf Linden	Tilia cordata	6	1	1	
2869	Austrian Pine	Pinus nigra	8	1	1	
2870	Austrian Pine	Pinus nigra	7	1	1	
2871	Austrian Pine	Pinus nigra	7	1	1	
2872	Austrian Pine	Pinus nigra	6	1	1	
2873	Little Leaf Linden	Tilia cordata	7	1	1	
2874	Honey Locust	Gleditsia triacanthos	5	1	1	
2875	Austrian Pine	Pinus nigra	7	1	1	
2876	Austrian Pine	Pinus nigra	7	1	1	
2877	Austrian Pine	Pinus nigra	5	2	1	
2878	Honey Locust	Gleditsia triacanthos	4	1	1	
2879	Honey Locust	Gleditsia triacanthos	4	1	1	
2880	Austrian Pine	Pinus nigra	8	1	1	
2881	Austrian Pine	Pinus nigra	8	1	1	
2882	Little Leaf Linden	Tilia cordata	6	1	1	
2883	Swamp White Oak	Quercus bicolor	7	1	1	
2884	Malin Sp.	Malus Sp.	4	2	2	
2885	Honey Locust	Gleditsia triacanthos	5	1	1	4
2886	Malin Sp.	Malus Sp.	4	2	2	
2887	Malin Sp.	Malus Sp.	4	2	2	4
2888	Silver Maple	Acer saccharinum	10, 8, 2	2	2	0
2889	Green Ash	Fraxinus pennsylvanica	10	5	5	0
2890	River Birch	Betula nigra	7, 4	2	2	
2891	Red Oak	Quercus rubra	21	1	1	5
2892	Red Oak	Quercus rubra	18	1	1	5
2893	Red Oak	Quercus rubra	19	1	1	5
2894	Red Oak	Quercus rubra	25	4	4	5
2895	Green Ash	Fraxinus pennsylvanica	8	5	5	0
2896	Green Ash	Fraxinus pennsylvanica	8	5	5	0
2897	White Mulberry	Morus alba	4	2	2	0
2898	Red Oak	Quercus rubra	17	1	1	5
2899	Red Oak	Quercus rubra	19	1	1	5
2900	Red Oak	Quercus rubra	17	1	1	5
2901	Red Oak	Quercus rubra	17	1	1	5
2902	White Mulberry	Morus alba	4, 4	2	2	0
2903	White Mulberry	Morus alba	4	3	3	0
2904	White Mulberry	Morus alba	4	3	3	0
2905	Corkscrew Willow	Salix matsudana	15, 13, 10, 14, 6	4	4	0
2906	Catalpa	Catalpa sp.	5	2	2	4
2907	Catalpa	Catalpa sp.	4	2	2	4
2908	Catalpa	Catalpa sp.	4	2	2	4
2909	White Mulberry	Morus alba	4	2	2	0
2910	Catalpa	Catalpa sp.	5, 4	1	1	4
2911	Cottonwood	Populus deltoides	7	2	4	0
2912	Sweet Cherry	Prunus avium	10, 7, 5, 5	2	2	4
2913	Silver Maple	Acer saccharinum	30	2	2	0
2914	Silver Maple	Acer saccharinum	20	2	2	0
2915	Silver Maple	Acer saccharinum	9	2	2	4
2916	Silver Maple	Acer saccharinum	16, 13	2	2	0
2917	Silver Maple	Acer saccharinum	16	2	2	0
2918	Silver Maple	Acer saccharinum	26	2	2	0
2919	White Mulberry	Morus alba	4	2	2	0
2920	Cottonwood	Populus deltoides	23, 21	2	2	
2916	Silver Maple	Acer saccharinum	14, 12, 10	2	1	
2949	Silver Maple	Acer saccharinum	11	2	2	
3032	Silver Maple	Acer saccharinum	15	2	1	0
3034	Silver Maple	Acer saccharinum	30	1	1	0
3034	Silver Maple	Acer saccharinum	2, 5	1	1	0
3035	Silver Maple	Acer saccharinum	14	1	1	0
3036	Silver Maple	Acer saccharinum	12, 12	1	1	0
3038	Silver Maple	Acer saccharinum	20	2	1	0
3041	Hackberry	Celtis occidentalis	4, 4	2	2	4
3044	River Birch	Betula papyrifera	2, 2	1	1	4
3045	Honey Locust	Gleditsia triacanthos	19	2	2	5
3046	White Mulberry	Morus alba	15	2	2	0
3047	Red Cedar	Juniperus virginiana	8	2	2	4
3048	Catalpa	Catalpa sp.	5	2	1	4
3049	White Mulberry	Morus alba	4	2	1	0
3051	Malin Sp.	Malus Sp.	6	1	2	4

TOTAL REQUIRED REPLACEMENT TREES

217

TAG #	COMMON NAME	BOTANICAL NAME	SIZE CAL. *	CONDI- TION	FORM	REQUIRED REPLACEMENT TREES
3052	White Mulberry	Morus alba	4	2	2	0
3053	Honey Locust	Gleditsia triacanthos	14	1	2	0
3055	Tree of Heaven	Ailanthus altissima	3	1	1	0
3056	White Mulberry	Morus alba	5	2	2	0
3057	Apple	Malus Sp.	16, 8	2	2	4
3058	Malin Sp.	Malus Sp.	14, 4	2	2	4
3059	White Mulberry	Morus alba	4	2	2	0
3060	Box Elder	Acer negundo	13	2	1	0
3061	Silver Maple	Acer saccharinum	11	1	2	0
3062	Silver Maple	Acer saccharinum	11	1	1	0
3063	Silver Maple	Acer saccharinum	8	1	1	0
3064	Honey Locust	Gleditsia triacanthos	16	1	1	5
3067	Honey Locust	Gleditsia triacanthos	16	2	2	5
3069	White Mulberry	Morus alba	4	1	1	0
3070	White Mulberry	Morus alba	4	1	1	0
3071	Weeping Willow	Salix babylonica	28, 17	4	1	0
3072	White Pine	Pinus strobus	11	1	1	4
3075	Prunus Sp.	Prunus Sp.	5	1	1	4
3076	Prunus Sp.	Prunus Sp.	4	1	1	4
3077	Prunus Sp.	Prunus Sp.	14, 1	1	1	4
3078	Prunus Sp.	Prunus Sp.	4	1	1	4
3079	Prunus Sp.	Prunus Sp.	4	1	1	4
3080	Prunus Sp.	Prunus Sp.	4	1	1	4
3081	Hackberry	Celtis occidentalis	5	2	2	4
3082	White Mulberry	Morus alba	4	1	1	0
3083	White Pine	Pinus strobus	11	2	1	4
3084	White Pine	Pinus strobus	9	1	1	0
3085	White Pine	Pinus strobus	9	1	1	4
3086	White Pine	Pinus strobus	11	1	1	4
3087	White Pine	Pinus strobus	2	1	1	4
3088	White Pine	Pinus strobus	11, 10	1	1	4
3089	White Pine	Pinus strobus	6	1	1	4
3090	White Pine	Pinus strobus	7	1	1	4
3091	White Pine	Pinus strobus	8	1	1	4
3092	White Pine	Pinus strobus	11	1	1	4
3093	White Pine	Pinus strobus	11	1	1	5
3094	White Pine	Pinus strobus	10	1	1	4
3095	White Pine	Pinus strobus	8	1	1	4
3096	White Mulberry	Morus alba	5	1	1	0
3097	White Mulberry	Morus alba	5	1	1	0
3099	Box Elder	Acer negundo	14	1	1	0
3100	White Mulberry	Morus alba	6	1	1	0
3101	White Mulberry	Morus alba	5	1	1	0
3102	Hackberry	Celtis occidentalis	4	2	1	4
3103	Malus Sp.	Malus Sp.	9	1	1	4
3104	Malus Sp.	Malus Sp.	16, 8	4	4	0
3107	Persimmon	Diospyros virginiana	2	2	2	4
3108	Prunus Sp.	Prunus Sp.	6, 4	1	1	4
3109	White Mulberry	Morus alba	8	1	1	0
3113	Little Leaf Linden	Tilia cordata	22, 17	2	2	5

TREE TO BE PRESERVED ☐

TREE TO BE REMOVED ☐

TREE CONDITION AND FORM KEY:
 1 - EXCELLENT CONDITION
 2 - ABOVE AVERAGE
 3 - TYPICAL CONDITION
 4 - POOR CONDITION
 5 - POORWORST

TREE REPLACEMENT SCHEDULE		
TYPE OF TREE REMOVED	SIZE (DBH)	NUMBER OF REPLACEMENT TREES REQUIRED
DECIDUOUS OR EVERGREEN	10 OR GREATER	1
	12-24	1
	4-12	1
	PRIVATE, DESTROYED BY STORMS, DISEASE OR INFESTATION	1

Kimley-Horn
 6000 E. 11th Ave. Suite 100
 Denver, CO 80231
 PHONE: 303.733.1100
 FAX: 303.733.1101
 WWW.KIMLEY-HORN.COM

SCALE
 AS SHOWN
 EXISTING BY THE
 OWNER
 NEW BY THE
 ENGINEER

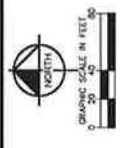
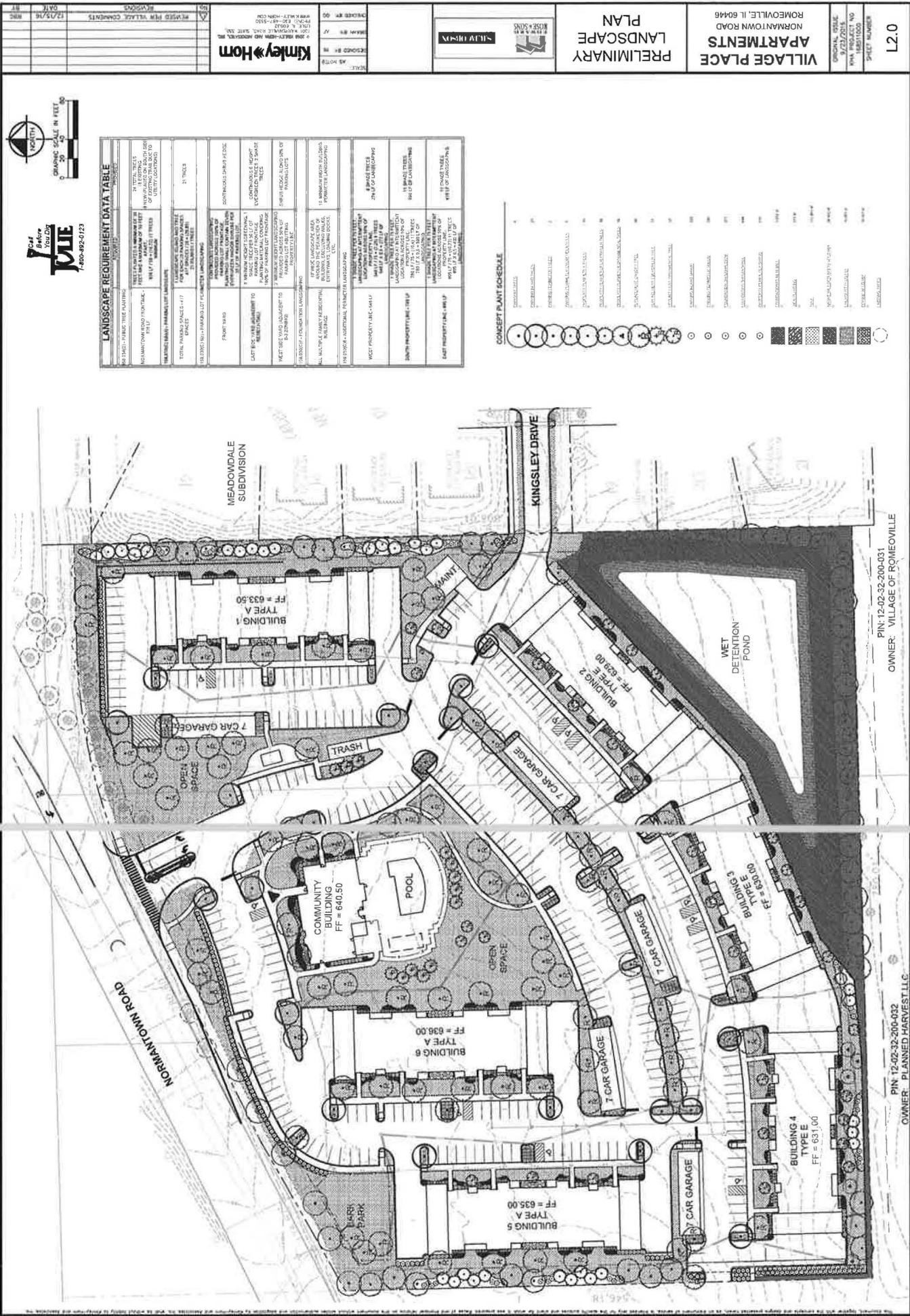
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 1000 N. 10th St.
 Suite 100
 Minneapolis, MN 55412
 PHONE: 612.338.1100
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TREE PRESERVATION PLAN

VILLAGE PLACE APARTMENTS
 NORMANTOWN ROAD
 ROMEVILLE, IL 60446

ORIGINAL ISSUE
 9/23/2016
 KHA PROJECT NO
 160510000
 SHEET NUMBER

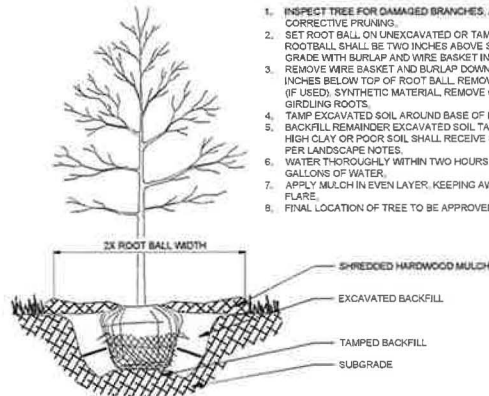
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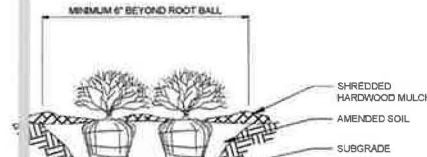
Before
You Dig
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800-482-4123

NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOTBALL. REMOVE ALL TWINE AND (IF USED) SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL. TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



1 TREE PLANTING



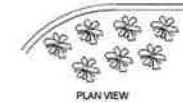
NOTES:

- APPLY CORRECTIVE PRUNING. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER FIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

2 SHRUB PLANTING

NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCULING ROOTS. CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE. WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUISBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUND COVER EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



SECTION

3 PERENNIAL PLANTING

LANDSCAPE MATERIALS SELECTION LIST

(SUBJECT TO CHANGE DURING FINAL DESIGN)

COMMON NAME	BOTANICAL NAME	SIZE & COND.
— DECIDUOUS CANOPY TREES —		
STATE STREET MAPLE	ACER MIYABEI 'MORTON'	2.5" CAL. BAB
HONEYLOCUST	GLIEDTSIA TRIACANTHOS VAR. INERMIS	2.5" CAL. BAB
HACKBERRY	CELTIS OCCIDENTALIS	2.5" CAL. BAB
KENTUCKY COFFEETREE	GYMNOCALAUUS DIOICUS	2.5" CAL. BAB
SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL. BAB
BUR OAK	QUERCUS MACROCARPA	2.5" CAL. BAB
RED OAK	QUERCUS RUBRA	2.5" CAL. BAB
REDMOND AMERICAN LINDEN	TLIA AMERICANA 'REDMOND'	2.5" CAL. BAB
ACCOLADE ELM	ULMUS JAPONICA X WILSONIANA 'MORTON'	2.5" CAL. BAB
— DECIDUOUS ORNAMENTAL TREES —		
NORWAY SPRUCE	PICEA ABIES	6" HEIGHT, BAB
VANDERWOLF'S PYRAMID LAMBER PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	6" HEIGHT, BAB
WHITE PINE	PINUS STROBUS	6" HEIGHT, BAB
— EVERGREEN TREES —		
APPLE SERVICEBERRY	AMELANCHIER X GRANDIFLORA	6" HEIGHT, BAB
THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUGALLI VAR. INERMIS	6" HEIGHT, BAB
ADIRONDACK CRABAPPLE	MALUS 'ADIRONDACK'	6" HEIGHT, BAB
— DECIDUOUS SHRUBS —		
BRIGHTANT RED CHOKEBERRY	ARONIA ARBUTIFOLIA 'BRIGHTANTISSIMA'	36" HEIGHT
CARDINAL REDTWO DOGWOOD	CORNUS SERICEA 'CARDINAL'	36" HEIGHT
DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	36" HEIGHT
ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	36" HEIGHT
GROW LOW SUMAC	RHUS AROMATICA 'GROW LOW'	24" HEIGHT
MISS KIM MANCHURIAN LILAC	SYRINGA PATULA 'MISS KIM'	36" HEIGHT
BLUE MUFFIN ARROWWOOD VIBURNUM	VIBURNUM DENTATUM 'CHRISTOM'	36" HEIGHT
— EVERGREEN SHRUBS —		
KALLAY'S COMPACT JUNIPER	JUNIPERUS CHINENSIS 'KALLAY'S COMPACT'	24" HEIGHT
SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	24" HEIGHT
DENSE YEW	TAXUS X MEDIA 'DENSIFORMIS'	24" HEIGHT
DWARF MUGO PINE	PINUS MUGO VAR. PUMILO	24" HEIGHT
— ORNAMENTAL GRASSES —		
KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 QT., 24" O.C.
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	1 QT., 24" O.C.
PRAIRIE DROPSIDE	SPOROBOLUS HETEROLEPIS	1 QT., 18" O.C.
— PERENNIALS —		
MEADOW ANEMONE	ANEMONE CANADENSIS	1 QT., 18" O.C.
RED SENTINEL ASTILBE	ASTILBE X ARENDSII 'RED SENTINEL'	1 QT., 18" O.C.
ZAGREB COREOPSIS	COREOPSIS VERTICILLATA 'ZAGREB'	1 QT., 18" O.C.
PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 QT., 18" O.C.
ROSEY RETURNS DAYLILY	HEMEROCALLIS 'ROSEY RETURNS'	1 QT., 18" O.C.
PURPLE LEAF CORAL BELLS	HEUCHERA VILLOSA 'PURPUREA'	1 QT., 18" O.C.
AUTUMN JOY SEDUM	HYLOTELEPHUM 'HERBSTFREUDE'	1 QT., 18" O.C.
WALKER'S LOW CATMINT	NEPETA FASSEENI 'WALKER'S LOW'	1 QT., 18" O.C.

LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 8 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEED/1000 LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/1000 ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/1000 MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNERS REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

NATURAL AREA NOTES

1. ALL WORK DEEMED NATURAL AREA TO BE SEED OR PLANTED SHALL BE PERFORMED BY A NATURAL AREA CONTRACTOR WITH AT LEAST 5 YEARS OF DOCUMENTED EXPERIENCE IN SELECTIVE BRUSH CLEARING, PLANTING OF NATIVE SPECIES, AND NATURAL AREAS MANAGEMENT FOR THE PURPOSE OF ECOLOGICAL RESTORATION, AND SHALL BE ABLE TO DEMONSTRATE THERE KNOWLEDGE THROUGH REFERENCES AND IN THE FIELD.
2. SEED LIMIT LINES ARE APPROXIMATE. THE NATURAL AREAS CONTRACTOR SHALL SEED ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED MIXES. SEED MIXES ARE TO BE SOURCED RESPECTIVELY THROUGH THE SPECIFIED COMPANY ON PLANS. REQUESTS FOR COMPARABLE SEED MIXES ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
3. SEED, LIVE PLUGS, OR BARE ROOT PLANTS SHALL BE OBTAINED FROM SOURCES SPECIALIZING IN NATIVE SPECIES. SEED AND PLANT STOCK SHALL BE SOURCED NO MORE THAN 350 MILES FROM THE JOB SITE.
4. ALL SEED MIXES SHALL BE INSTALLED WITH A GRANULAR FORM OF ENDOWMYCORPHAZAL INOCULUM PER THE SUPPLIERS SPECIFICATIONS. COVER CROP IS TO BE APPLIED TO ALL SEED MIXES CONSISTING ONLY OF ARENDA SATIVA (SEED OATS) FOR SPRING INSTALLATIONS OR REGREEN (WHEAT HYBRID) FOR FALL PLANTINGS. NO OTHER COVER CROP IS TO BE USED ON SITE.
5. STANDARD EROSION CONTROL BLANKET SHALL BE APPLIED TO ALL SEEDED AREAS WITH SINGLE TO DOUBLE NET STRAW AND DOUBLE NET STRAW/COCOA/T BLANKET. HYDROSEEDING IS UNACCEPTABLE.
6. LIVE PLUGS AND BARE ROOT INSTALLATION SHALL BE ACCOMPANIED BY GOOSE EXCLOSURE FOR UP TO 12 MONTHS AFTER INSTALLATION. NATURAL AREAS CONTRACTOR TO REMOVE AT OWN EXPENSE AFTER 12 MONTHS.
7. STEWARDSHIP OF THE NATURAL AREA SHALL BE CONDUCTED BY A NATURAL AREAS CONTRACTOR TO BEGIN IMMEDIATELY AFTER INSTALLATION FOR THREE YEARS.

Kimley-Horn
P.O. BOX 10000, SUITE 200
LITTLE ROCK, AR 72202
WWW.KIMLEY-HORN.COM

AS NOTED
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 12/15/16

LANDSCAPE NOTES AND DETAILS

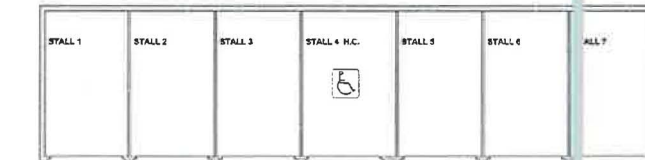
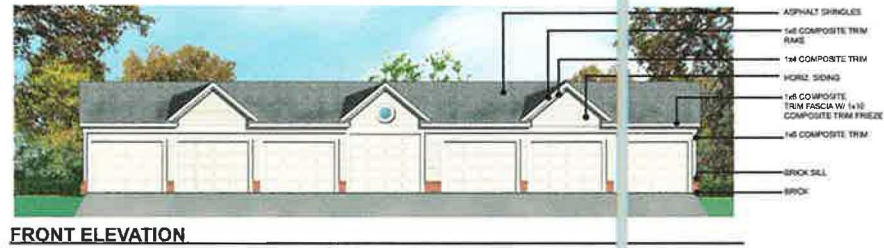
VILLAGE PLACE APARTMENTS
NORMANTOWN ROAD
ROMEDEVILLE, IL 60446

ORIGINAL ISSUE: 9/23/2016
RMA PROJECT NO: 16011000
SHEET NUMBER: L3.0

Exhibit B:

Building Elevations

NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



GARAGES

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEDEVILLE, ILLINOIS

Alexander W. Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
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NOTE: FLOOR PLANS ARE CONCEPTUAL

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NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

COMMUNITY BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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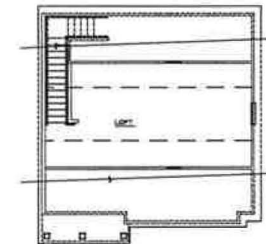
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RIGHT SIDE ELEVATION



REAR ELEVATION



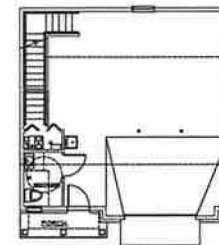
SECOND FLOOR PLAN



LEFT SIDE ELEVATION



FRONT ELEVATION



FIRST FLOOR PLAN

MAINTENANCE BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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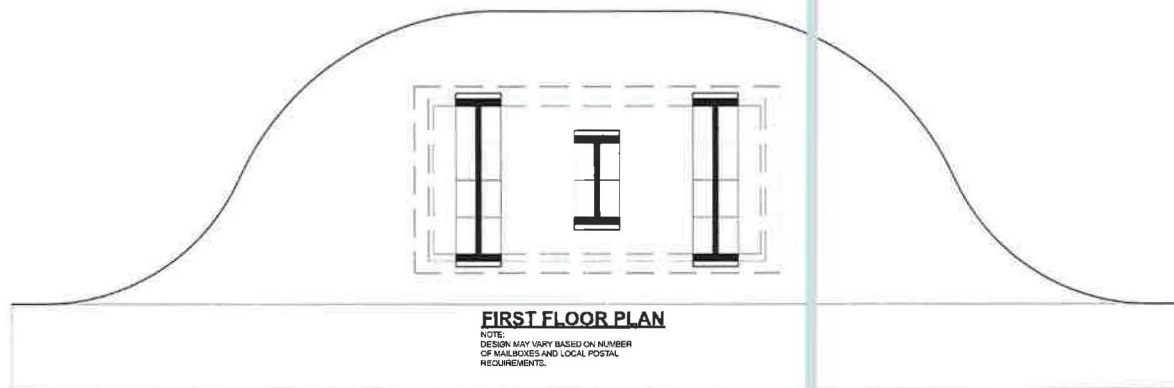


NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



LEFT SIDE ELEVATION
RIGHT SIDE ELEVATION SIM.

FRONT ELEVATION
REAR ELEVATION SIM.



FIRST FLOOR PLAN

NOTE:
DESIGN MAY VARY BASED ON NUMBER
OF MAILBOXES AND LOCAL POSTAL
REQUIREMENTS.

MAIL KIOSK

SCALE: 1/4" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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NOTE:
MATERIALS LISTED TO MATCH
APARTMENT BUILDINGS.



REAR ELEVATION

LEFT SIDE ELEVATION



FRONT ELEVATION

RIGHT SIDE ELEVATION



FLOOR PLAN

TRASH COMPACTOR

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

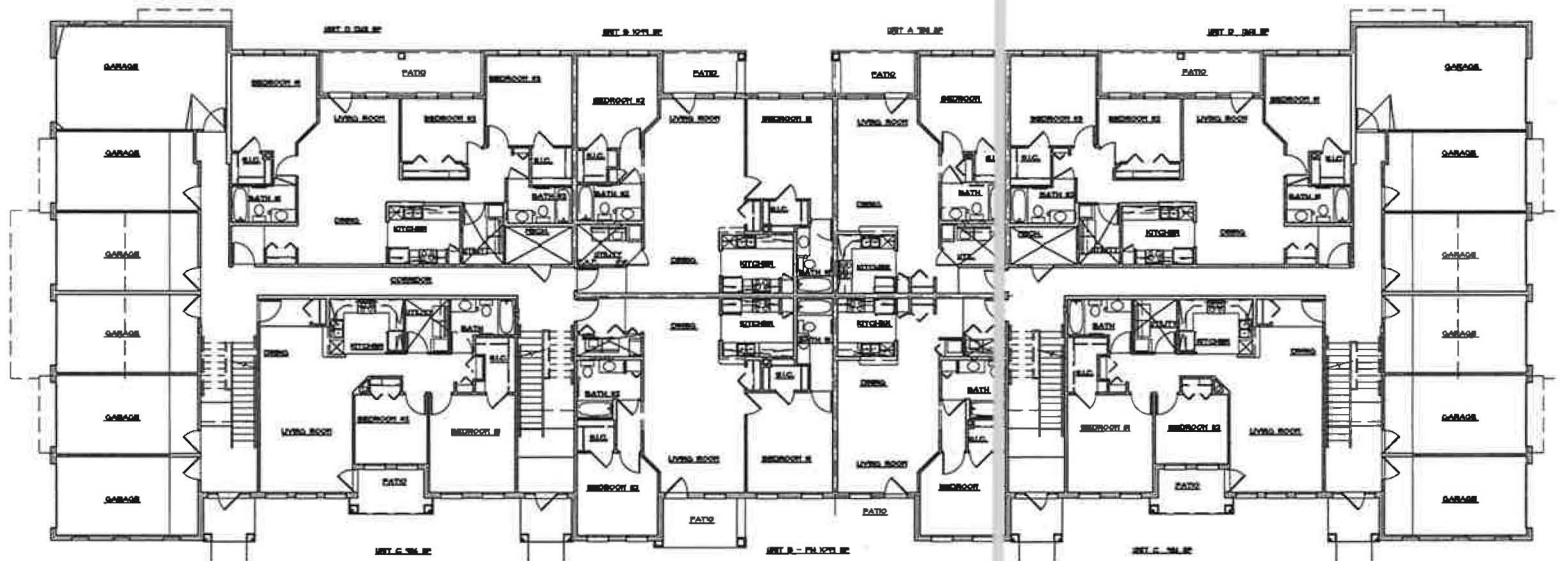
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FIRST FLOOR BUILDING PLAN - BUILDING TYPE 'E'

36 UNIT BUILDING

SCALE: 1/8" = 1'-0"

NOTE: FLOOR PLANS ARE CONCEPTUAL

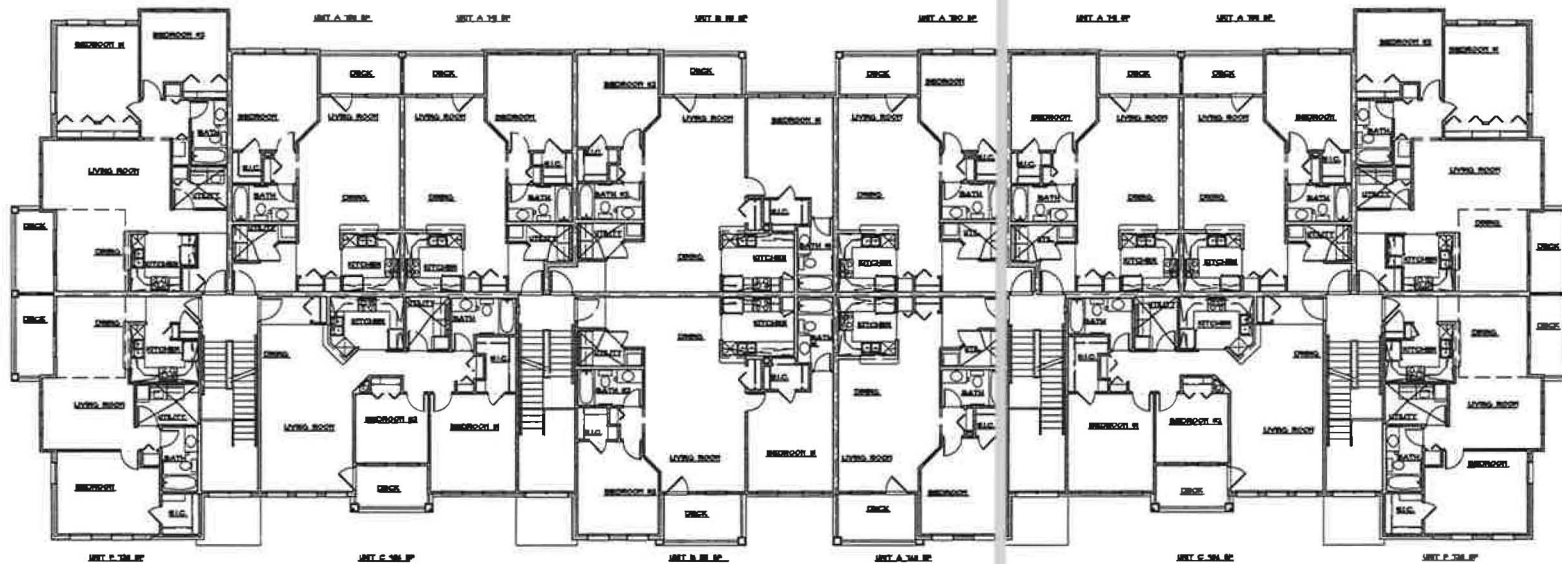
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SECOND FLOOR BUILDING PLAN - BUILDING TYPE 'E'

36 UNIT BUILDING

SCALE: 1/8" = 1'-0"

NOTE: FLOOR PLANS ARE CONCEPTUAL

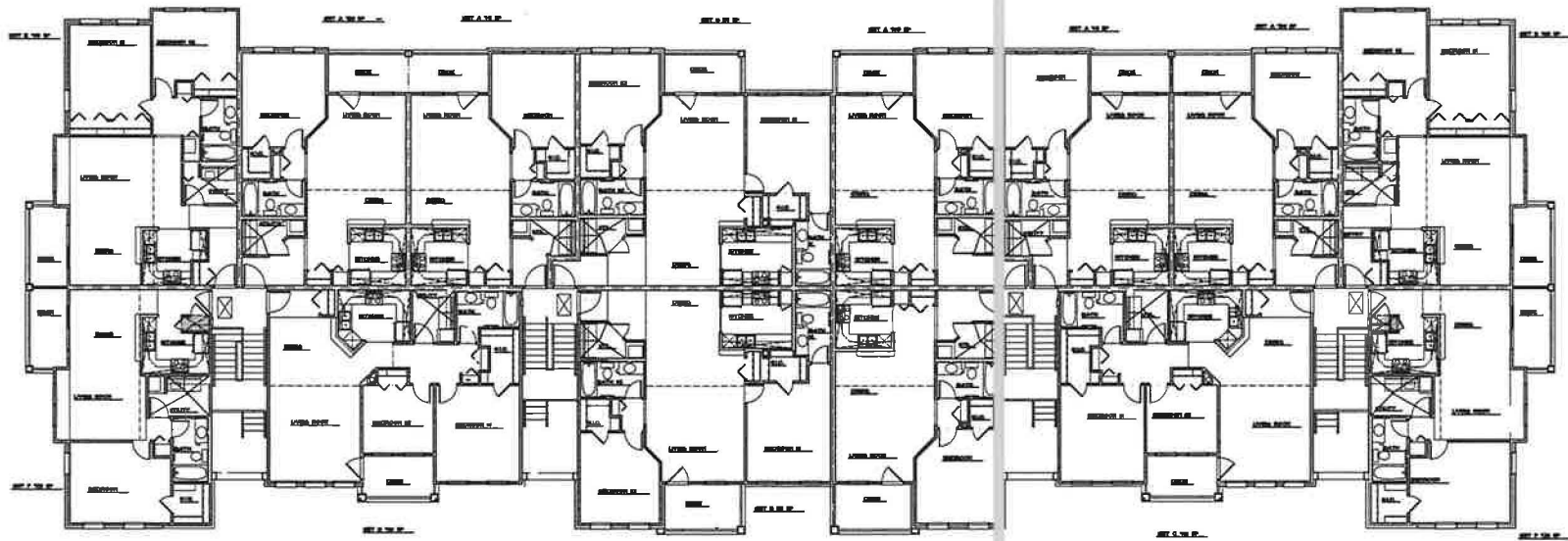
PROPOSED VILLAGE PLACE APARTMENTS

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THIRD FLOOR BUILDING PLAN - BUILDING TYPE 'E'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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FRONT ELEVATION - BUILDING TYPE 'E'

36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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RIGHTSIDE ELEVATION - BUILDING TYPE 'E'

LEFT SIDE OPPOSITE HAND - 36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

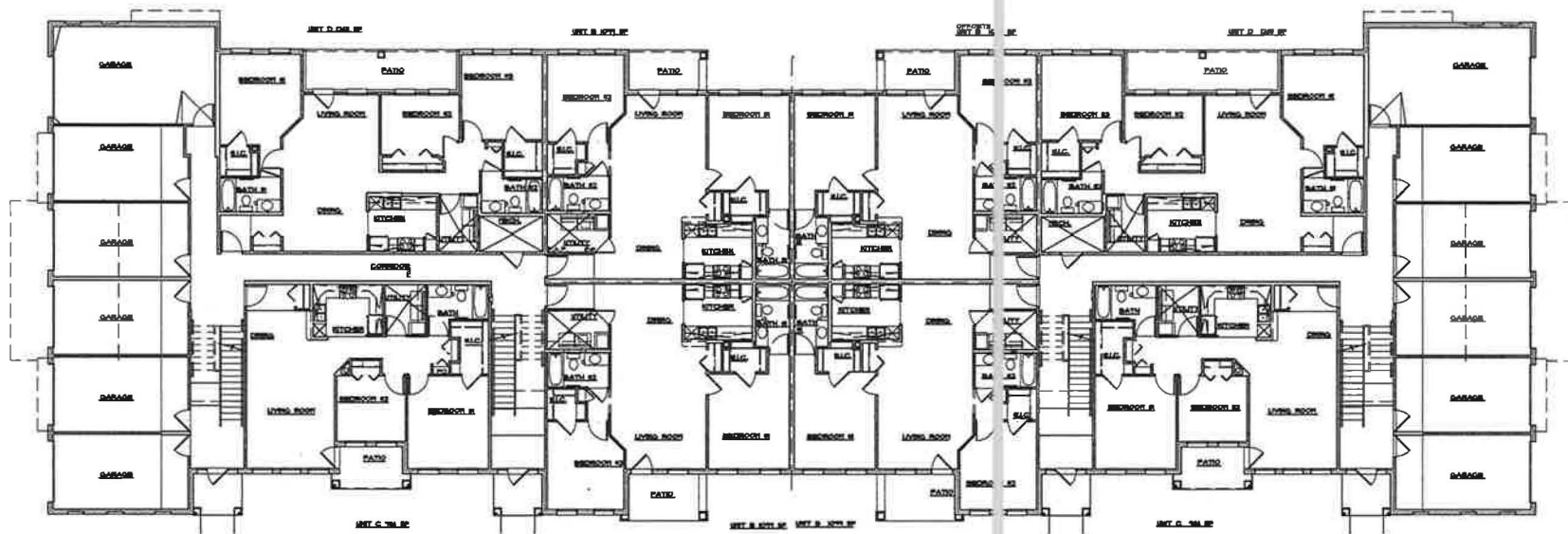
PROPOSED VILLAGE PLACE APARTMENTS

ROMEDEVILLE, ILLINOIS

Alexander V. Bogaerts + Associates, P.C.
Architecture • Planning • Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000



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FIRST FLOOR BUILDING PLAN - BUILDING TYPE 'A'

36 UNIT BUILDING

SCALE: 1/8" = 1'-0"

NOTE: FLOOR PLANS ARE CONCEPTUAL

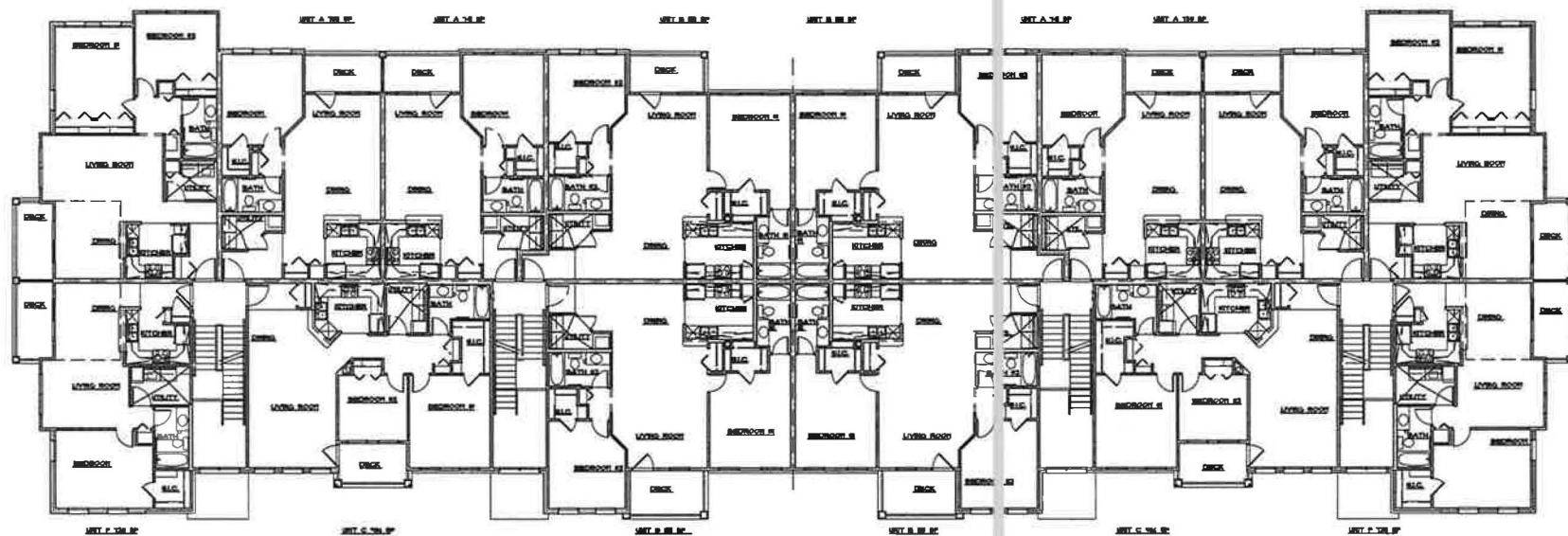
PROPOSED VILLAGE PLACE APARTMENTS

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SECOND FLOOR BUILDING PLAN - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

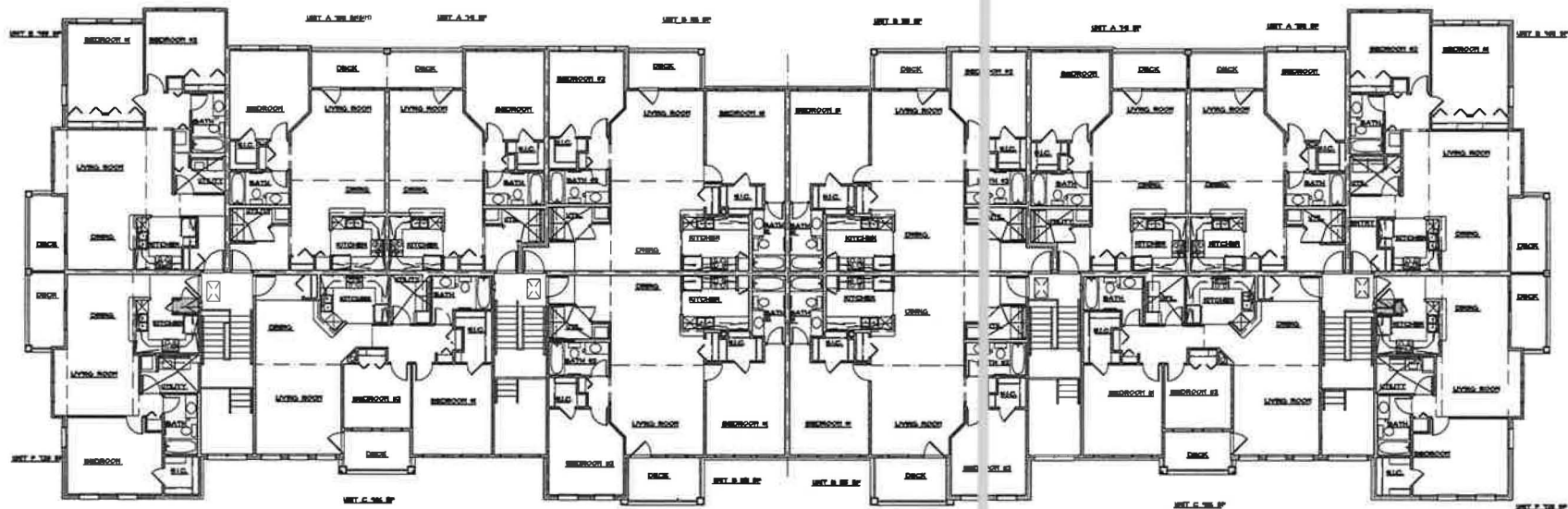
PROPOSED VILLAGE PLACE APARTMENTS

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THIRD FLOOR BUILDING PLAN - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: FLOOR PLANS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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FRONT ELEVATION - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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RIGHTSIDE ELEVATION - BUILDING TYPE 'A'

LEFT SIDE OPPOSITE HAND - 36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

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REAR ELEVATION - BUILDING TYPE 'A'

36 UNIT BUILDING

NOTE: BUILDING ELEVATIONS ARE CONCEPTUAL

SCALE: 1/8" = 1'-0"

PROPOSED VILLAGE PLACE APARTMENTS

ROMEIOVILLE, ILLINOIS

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Exhibit C:

Staff Review Letter

Village of Romeoville

Where Community Matters

Community Development

Mayor

John Noak

Clerk

Dr. Bernice E. Holloway

Trustees

Linda S. Palmiter

Jose (Joe) Chavez

Brian A. Clancy Sr.

Dave Richards

Sue A. Micklevitz

Ken Griffin

Director

Steven W. Rockwell CECD

Via E-Mail Only

January 17, 2017

Mr. Manny Kianicky, P.E.
Vice President, S.R. Jacobson Companies
32400 Telegraph Road, Suite 100
Bingham Farms, MI 48025

RE: VILLAGE PLACE APARTMENTS/GENERAL DEVELOPMENT PLAN REVIEW #2

Dear Mr. Kianicky,

We have received the following documents:

- Plat of Subdivision prepared by Landmark Engineering, dated 10/27/16
- Preliminary Engineering Plans prepared by Kimley Horn with latest revision date of 12/15/16
- Bus Turning Movement Exhibit prepared by Kimley Horn, dated 11/01/16
- Garbage Truck Turning Movement Exhibit prepared by Kimley Horn, dated 11/01/16
- Traffic Impact Study prepared by Kimley Horn, dated November 2016
- Sanitary Sewer data and capacity calculations prepared by Kimley Horn, dated 12/10/16

Based on the information provided by the applicant and the available records at this time, we offer the following comments and concerns.

Many of the comments contained within this letter relate to final development plans, and they have been provided to assist the applicant during the preparation of their final development plans submittal.

General

1. Please provide a "response to comments" cover letter with resubmittals. 4 full-size plan sets are required for final development plans resubmittal. Electronic copies of the final approved set should be sent electronically in PDF form via email or provided on disk or drive.

Fire

1. Item three on review 1 mentioned the following - Indicate on plans FDC connection locations for all buildings, and indicate hydrant locations per Village of Romeoville Code of Ordinances, Chapter 91 Section 91.46 , and Section 91.56 . Current plans do not show hydrants, water service connections or Fire Department Connection for any of the detached garages, maintenance building or possible pool building.

Village of Romeoville Code of Ordinances, Chapter 91 Section 91.52 – Water sprinkler systems are required in all use groups regardless of the square footage.

2. Any FDC shall be within 75ft of a hydrant.
3. All other items have been addressed and there are no issues or concerns.

Planning and Zoning

1. **Compliant.**
2. **New Comment and Deferred to PUD – Final Development Plan.** A darker palate of colors is desired for the proposed building materials, particularly the proposed siding. Please investigate.
3. **New Comment and Deferred to PUD – Final Development Plan.** Signage Plans must be included in the PUD submittal. The development sign should include an accent wall consisting of masonry materials and must be fully landscaped in order to enhance the appearance of the site entrance. Staff will be providing a concept plan to be included in the Annexation Agreement that shows the desired entrance treatment.
4. **Deferred to PUD – Final Development Plan.** Site Lighting Plans must be included in the PUD submittal.
5. **Compliant.**
6. **Compliant** – A payment in lieu of constructing the path will be accepted.
7. **Deferred to PUD – Final Development Plan.** A detailed summary of the project amenities, including interior finishes, must be provided with the PUD submittal. This document should include images from relevant developments and will be incorporated as an exhibit to the PUD.
8. **Compliant.**
9. **Compliant.**
10. **Partially Compliant.** Please clearly identify the proposed fence on the Site Plan and include a detail in the PUD – Final Development Plan.
11. **Compliant.**
12. **Compliant.**
13. The fees for the Planning, Zoning, and Engineering review for this project are as follows:
 - a. Annexation agreement – As per the Village's professional services agreement.
 - b. Annexation - \$956.00 (\$200 per acre)

- c. Rezoning - \$1,000.00
- d. *PUD Concept Plan - \$750.00 (Already Paid)*
- e. PUD – General Development Plan \$2500.00
- f. PUD – Final Development Plan \$2500.00
- g. Landscape Plan - \$750.00
- h. Engineering – 4.5% of the approved engineer's cost estimate
- i. Tree Replacement - \$28,700.00 (82 replacement trees) – **Pending**
Waiver Approval

- 14. Approval of an Annexation Agreement is required for this development.
- 15. ***Partially Compliant*** – Please clearly label the decorative fence on the Site Plan and include a detail on the Final Development Plan.
- 16. ***Pending Waiver Approval*** – The Planning and Zoning Commission recommended approval of a waiver on tree replacement requirements. This request is pending final GDP Ordinance action by the Village Board.
- 17. ***Complaint.***

Landscape Plan

- 1. ***Compliant.*** The Preliminary Landscape Plan included in the GDP is acceptable with the exception of the entrance sign comments noted in Comment #3 under Planning and Zoning comment section.
- 2. ***Deferred to PUD – Final Development Plan.*** Please note the final landscape plan shall include or have attached thereto the following information: The location of existing and proposed improvements; including, but not limited to, buildings, all utilities, lighting, walls and fences, parking areas; spot elevations and contours, existing and proposed berms, existing and proposed plant material, paved surfaces, sign locations, public rights-of-way and easements, refuse disposal areas, property lines, and other exterior landscape amenities.

Public Works & Engineering

1. Street and Parking Improvements

- 1.1. The roadway connection to the west is still an open item that needs to be covered in the Annexation Agreement.
- 1.2. Fee in Lieu of for the bike path. Bike path should be 489' x 10' wide (not 8') and constructed out of 1.5" surface/2.25" binder/4" aggregate cross section. The fee in lieu would be \$37,624.96, based on 125% of the engineering estimate of \$30,099.97.
- 1.3. ***Compliant*** - Planning accepts this arrangement.
- 1.4. ***Compliant.***
- 1.5. ***Compliant.***
- 1.6. ***Compliant.***
- 1.7. ***Complaint.***
- 1.8. ***Conditionally Compliant*** – Final location and number of "No Parking Fire Lane" signs will be evaluated during final engineering.
- 1.9. ***Compliant.***

- 1.10. **Conditionally Compliant** - A detail for the handicap ramp must be shown on the final engineering plans. Proper signage must be provided for each handicapped parking stall. Details must be provided for handicapped stall pavement markings and signage. Additional curb ramps may be necessary in front of the parking stalls to allow access to the building.
- 1.11. **Conditionally Compliant** - The integral C&G was approved as part of the GDP – however, just for clarification, there needs to be a curb section and accommodations need to be made for ADA compliance in front of the handicap parking stalls.
- 1.12. **Conditionally Compliant** - With final engineering, sight triangle exhibits (IDOT methodology) will need to be submitted for the access onto Normantown Road. We note that an intersection sight triangle is partially shown on the Overall Site Plan. Include the calculations/assumptions with final engineering and show the sight triangles on the landscape plan. It appears that some existing parkway trees might have to be relocated.
- 1.13. **Deferred to Final Engineering** - The proposed retaining walls are greater than 4 feet in height, so all supporting design calculations (including geogrid design), construction details, etc. need to be originally signed and sealed by an Illinois Registered Professional Structural Engineer
- 1.14. **Compliant.**
- 1.15. **Compliant.**
- 1.16. **Compliant** - The engineer of record is comfortable with the sight distances at corners where garages are close to internal intersections.
- 1.17. **Compliant.** – The comments pertaining to the traffic impact study have been addressed.
2. **Water Distribution System Improvements** – Limited utility information was included in the preliminary plan documents. These comments are included for the designer's use in final site engineering.
 - 2.1. **Deferred to Final Engineering** – Because of the presence of existing fire hydrants along Normantown Road, it appears that much of the water main on the north side of the site could be eliminated if an additional pressure connection to the Normantown Road water main is made near the site driveway. Building 6 could be fed of the north-south run. Hydrants could be spaced off of proposed mains.
 - 2.2. **Deferred to Final Engineering** - The water main is less than 15 feet from small bump outs on buildings 2,3,4,5 and the garage on the north side of building 6 as well as the garage west of building 1. Please make adjustments during FSLE.
 - 2.3. **Deferred to Final Engineering** - All existing water, sanitary, and storm utility features (with sizes labeled) must be shown on the final engineering plans.
 - 2.4. **Compliant.**
 - 2.5. **Deferred to Building Department** – Edward Rose will be managing the property and paying for utilities (water/sewer) – it won't be by the individual units. Internal plumbing and metering needs to accommodate this setup.
 - 2.6. **Compliant.**
 - 2.7. **Deferred to Final Engineering** - Watermain must have a minimum cover depth of 5'-6", which must be shown on a Typical Watermain Detail. All watermains must be wrapped in polyethylene using Method B. All joints must be restrained with megalugs (EBAA Iron) only. Appropriate details will be included in FSLE.

- 2.8. **Deferred to Final Engineering** - Label bends and other fittings required on the engineering plans.
- 2.9. **Deferred to Final Engineering** - Provide details for all water main appurtenances. The manufacturer and model must be shown on each applicable detail. Hydrants must be East Jordan Water Master 5BR250, with 6" plain-end shoe with attached 6" resilient wedge mechanical joint valve, and must include Storz pumper connection along with two 2-1/2" hose connections. Valves must be American Flow or East Jordan (Flowmaster). All sizes should be Resilient-Seated Gate Valves.
- 2.10 **Deferred to Final Engineering** - The following notes should be added to the plan notes and/or valve vault detail:
- All valve vaults shall be a minimum of 5' diameter.
 - Frame and cover shall be East Jordan #1022Z3 embossed with 1020A HD "Water" and "Village of Romeoville."
 - All joints need to be externally wrapped with MacWrap or equal.
 - Rubber gasketed boots are required for all penetrations through the manhole wall.
 - Internal/External Chimney seals are required.
 - Minimum of two adjusting rings (min 6" adjusting height) and maximum of three rings (max 10" adjusting height). No 1" or 2" concrete rings are allowed. Under paved areas, top ring should be rubber. Use one (1) EJIW Infra-Riser rubber Composite Adjustment Risers (1" to 3" max ht. of stacked risers).
- 2.11 **Deferred to Final Engineering** - The following notes for precast concrete manholes for water valve installations must be included on the engineering plans if a valve vault is required.
- a. Manholes must conform to the latest requirements of ASTM C478.
 - b. Never transport sections to the site until they have cured for at least ten (10) days.
 - c. Mark each piece plainly with manhole numbers and date of manufacture so it can be installed in the proper location, as shown on the plans.
 - d. Make sure factory-installed cutouts in the bottom section are appropriate for the pipe being laid.
 - e. Pipe connections at manhole - Cutouts should be equipped with rubber boots to ensure a watertight connection. Material shall be equal to Kor-N-Seal connector, as manufactured by NPC, Inc.
 - f. Joint Sealant - Flexible rubber sealant for joints in pre-cast manhole sections shall provide permanently flexible watertight joints, shall remain workable over a wide temperature range and shall not shrink, harden or oxidize upon aging. Material shall be equal to Tylox Superseal and shall meet ASTM C 443 and ASTM C 361 requirements.
 - g. The frame for the lid shall be installed when cone section is cast.
 - h. Heat-Shrinkable Encapsulation for external wrapping of all joints: Wrapid Seal as manufactured by Canusa CPS, BIDCO External Joint Wrap as manufactured by NPC, or approved equal.
- 2.12 **Deferred to Final Engineering** - Include the Village's chlorination requirements on the plans.
- 2.13. **Deferred to Final Engineering** - There are a few locations where inlets are close to or on top of watermain - north parking lot. Please relocate accordingly. Also, try to get all crossings of watermain at 90-degree angles. Lastly, the hydrant lead in the southeast corner occurs right where the sanitary line comes across - please clean this up in final engineering.

- 2.14 ***Deferred to Final Engineering*** - Please include specification and general notes on the final engineering plans, and please include these specific water specifications:
- “Please be conscious of damaging the paint on the hydrants during installation. The Village of Romeoville has found that the paint on the hydrants can be damaged during backfilling. If requested by the Village of Romeoville Water Superintendent, any hydrants exhibiting excessive rock damage will be sand blasted and repainted by an approved contractor prior to acceptance.”
 - “A minimum of 48 hours prior to any water usages (i.e. flushes, fills, etc.), the contractor must call the Village of Romeoville’s Water Department at 815-886-1870 to get approval of said usage. Any unauthorized usages will result in penalties.”
 - “All valves and hydrants shall be submitted to the Village of Romeoville Water Department for written approval prior to ordering.”
- 3 **Sanitary Sewer Improvements** - Limited utility information was included in the preliminary plan documents. These comments are included for the designer’s use in final site engineering.
- 3.1. ***Compliant.***
- 3.2. ***Deferred to Final Engineering*** - Shallow sanitary sewer (less than 5 feet of cover) will need to be insulated. Provide justification for minimum burial depth.
- 3.3. ***Deferred to Building Department*** - Historically, the village has not allowed a single feed running the length of the building as a blockage in 1 unit would cause all units to be out of service.
- 3.4. ***Deferred to Final Engineering*** - When utility structure adjustment is necessary, a minimum of two adjusting rings (min 6” adjusting height) and maximum of three rings (max 10” adjusting height). No 1” or 2” concrete rings are allowed. Under paved areas, top ring should be rubber. Use one (1) EJIW Infra-Riser rubber Composite.
- 3.5. ***Deferred to Final Engineering*** - Pipes must have a minimum cover depth of 5 feet. Pipes must be PVC SDR 26 when less than 15 feet deep, PVC SDR 21 when 15-20 feet deep, and PVC SDR 18 when over 20 feet deep.
- 3.6. ***Deferred to Final Engineering*** - Copies of the IEPA Sanitary Sewer Permit Application, if necessary, must be provided for the Village’s review and execution.
- 3.7. ***Deferred to Final Engineering*** - All manholes located in areas subject to inundation must have waterproof, bolt-down frames and lids.
- 3.8. ***Deferred to Final Engineering*** - Please use an Internal/External Adaptor Seal on sanitary manholes. The “I/E A” Seal stops inflow between the manhole frame and the top adjusting ring and it also seals the manhole chimney from the frame to the corbel. One vendor of this seal is Adaptor Inc.
- 3.9. ***Deferred to Final Engineering*** - Sanitary manhole frame and cover shall be East Jordan 1022Z3 embossed with “Sanitary” and Village of Romeoville.” All joints need to be externally wrapped with MacWrap or equal. Rubber gasketed boots are required for the main at the manhole wall
- 3.10. ***Deferred to Final Engineering*** - The following information should be included in the sanitary sewer notes: “All sanitary manhole castings, adjusting rings and manhole section shall be set in butyl rope or approved equal. Each manhole cone and barrel section joint shall also be externally sealed with a 6” wide sealing band of rubber and mastic. The band shall have an outer

layer of rubber or polyethylene with an under layer of rubberized mastic meeting the requirements of ASTM C-877-02 (Standard Specification for External Sealing Bands for Concrete Pipe, Manholes, and Precast Box Sections). Pipe connection to new and existing manholes through openings (cast or core-drilled) shall be provided with a flexible rubber watertight connector conforming to ASTM C-923 (Standard Specifications for Resilient Connections Between Reinforced Concrete Manhole Structures and Pipes)".

- 3.11. **Deferred to Final Engineering** - Include the Village of Romeoville's final acceptance and testing of sanitary sewer requirements (copy enclosed).
- 3.12. **New Comment** – The services from the buildings will need to be connected into the main at manholes, not blind connections.
- 3.13. **New Comment** – The onsite sanitary sewer will be private and maintained by the HOA. However, the Village will need easements in order to make repairs should the owner not do so in a timely manner.
4. **Storm Sewer Improvements** – Limited storm sewer information was included in the preliminary plan documents. Many of these comments are included for the designer's use in final site engineering.
 - 4.1. **Deferred to Final Engineering** - Provide storm sewer calculations for the development (including drainage area exhibit, storm sewer sizing, HGL calculations [with rim elevations adjacent], and inlet capacity calculations) with engineering submittals. Please note that Section 201.2 (f) of the Romeoville ordinance requires the 10-year HGL to be fully contained within the pipe and that all public pipe must be RCP (see the Village's development code for requirements of non-RCP pipe materials).
 - 4.2. **Deferred to Final Engineering** - Consider the impact of off-site drainage to the property when designing improvements.
 - 4.3. **Deferred to Final Engineering** - The locations, sizes and slopes of any downspouts/roof drains must be shown on the plans. Roof drains must be accounted for in the design calculations.
 - 4.4. **Deferred to Final Engineering** - Storm sewer joints must be flexible gasket o-rings per ASTM C361, ASTM C433, and ASTM C1619
 - ~~4.5. **Deferred to Final Engineering** - Village requires submission of recorded video inspections of all public storm sewer.~~
 - 4.6. **Deferred to Final Engineering** - For closed lid structures, frame and cover shall be East Jordan 1022Z3 embossed with "Storm" and Village of Romeoville."
5. **Storm Water Management Improvements.** A preliminary Stormwater Management Report has not yet been submitted.
 - 5.1. **Conditionally Compliant** - Per the LOMR dated 7/30/10, we believe the BFE to be 616.7 in the vicinity of the project, on the NGVD29 datum. The elevation has been added to the cover sheet – please verify the datum.
 - 5.2. **Compliant.**
 - 5.3. **Conditionally Compliant** - With Final Engineering, include the offsite wetland documentation.
 - 5.4. **Deferred to Final Engineering** - With final engineering, provide a stormwater management report with narrative and all pertinent design calculations for storm sewer and detention facility. The engineer should review the Village's stormwater ordinance for basin sizing and configuration requirements. Best Management Practices, such as rain gardens and bioswales, for stormwater quality should be incorporated into landscape and stormwater management design.

- 5.5. A specific list of variance requests need to be prepared by the applicant – we cannot accept “requested variances as shown on the Preliminary Engineering Plans”. The applicant should continue to augment their list of variances from the code for the proposed pond design.
- 5.6. **Deferred to Final Engineering** - Include an inundation exhibit in the final stormwater management report. Take into account off-site areas that will be tributary to the proposed site/pond.
- 5.7. **Deferred to Final Engineering** - During final engineering, show the on-site and off-site emergency overland flood routes on the grading plan. Provide appropriate weir calculations at all “pinch points.” Ponding depth requirements are spelled out in the grading comments below. This will include tributary areas from the north. A minimum of 1’ of freeboard is needed between the HWL of the overland drainage flow and the openings into structures (garages and units).
- 5.8. **Deferred to Final Engineering** - The following Drainage Certification must be provided on the plans and signed and sealed by an Illinois Registered Professional Engineer:
- “I, _____, hereby certify that adequate storm water storage and drainage capacity has been provided for this development, such that surface water from the development will not be diverted onto and cause damage to adjacent property for storms up to and including the one hundred (100) year event, and that the design plans are in compliance with all applicable State, County, and Village ordinances.”
- 6 **Grading, Sedimentation, and Erosion Control Comments** – Preliminary grading and no erosion control information was not included in the concept plan documents. These comments are included for the designer’s use in final site engineering.
- 6.1 **Deferred to Final Engineering** - The following comments pertain to site grading:
- Much more detail will be required during Final Engineering. In general, spot elevations must be provided throughout the site to demonstrate that the Village’s minimum requirements of 2% slope for all grassy areas and 0.5% slope for paved areas have been met. Also, with Final Engineering, provide a 1’ contour lines throughout the site that tie into the adjacent parcels.
 - Maximum ponding depth is 9 inches in parking areas and 12 inches in grassy areas (with flexibility in bioswale designs).
 - Rim elevations for all structures should be included on the grading plan.
 - The longitudinal slope of regular pitch curb and gutter must be at least 0.5%.
 - Identify areas of regular pitch and reverse pitch curb and gutter.
 - The proposed grading of any drive entrances cannot allow minor runoff from portions of the parking lot to drain onto the streets – these flows should be intercepted by the storm sewer.
 - Proposed grading must tie into existing grading around the perimeter of the site. We noted that it appears that the grading around the inlet in the green space southeast of building 1 might not work with the existing grading.
- 6.2 **Deferred to Final Engineering** - An Erosion Control Schedule must be included on the plans, showing the proposed phasing for the development including: the expected date that clearing will begin, the estimated duration of exposure of cleared areas, the sequence of installation of temporary sediment control measures, clearing and grading and temporary soil stabilization

measures, installation of storm drainage, paving of parking areas, final grading and establishment of permanent vegetative cover, and the removal of temporary measures.

6.3 **Deferred to Final Engineering** - The location of any proposed topsoil and/or trench spoil stockpiles must be shown on the plans, including a row of silt fence around the perimeter of the stockpiles.

6.4 **Deferred to Final Engineering** - The following is a partial list of notes that should be included in the Erosion Control Plan mentioned above:

- "All access to and from the construction site is to be restricted to the construction entrance."
- "All temporary and permanent erosion and sediment control practices must be maintained and repaired as needed to assure effective performance of their intended function."
- "Major amendments of the site development or erosion and sedimentation control plans shall be submitted to the Department of Community Development to be approved in the same manner as the original plans."
- "Any sediment reaching a public or private road shall be removed by shoveling or street cleaning (not flushing) before the end of each workday and transported to a controlled sediment disposal."
- "All temporary erosion and sediment control measures shall be disposed of within 30 days after the final site stabilization is achieved with permanent soil stabilization measures."
- "Disturbed areas shall be stabilized with temporary or permanent measures within 7 calendar days following the end of active disturbance or redisturbance."
- "If dewatering devices are used, discharge locations shall be protected from erosion. All pumped discharges shall be routed through appropriately designed sediment traps or basins."

6.5 **Deferred to Final Engineering** - A description of dust control measures must be provided.

6.6 **Deferred to Final Engineering** - Provisions for maintenance of erosion control measures, including type and frequency of maintenance must be provided.

6.7 **Deferred to Final Engineering** - Identification (name, address, and telephone) of the person(s) or entity that will have legal responsibility for maintenance of erosion control structures and measures, during and after development, must be provided on the plans.

6.8 **Deferred to Final Engineering** - A Storm Water Pollution Prevention Plan (SWPPP) must be prepared, and must meet the following requirements as a minimum. It should be noted that the SWPPP must be a separate, stand-alone document from the Erosion and Sediment Control Plan.

6.9 **Deferred to Final Engineering** - The following notes must be added to the SWPPP:

- "The Contractor shall take the necessary steps to control waste such as discarded building materials, concrete truck washout, chemicals, litter and sanitary waste at the construction site that may cause adverse impacts to water quality."
- "All storm sewer frames and grates/lids shall be marked with "Dump No Waste" and "Drains to Creek". This note must also be included on all drainage structure details."
- "A Notice of Intent (NOI) must be submitted to the NPDES permitting authority and postmarked at least 30 days before commencement of any work on-site for all construction sites over one acre. Included in the NOI shall be the Stormwater Pollution Prevention Plan (SWPPP), which includes the appropriate BMP's to minimize the discharge of pollutants from the construction site."
- "An Incident of Non-Compliance (ION) must be completed and submitted to the IEPA if, at any time, an erosion or sediment control device fails."
- "A Notice of Termination (NOT) must be completed and submitted to the IEPA when all permanent erosion control measures are in place with a 70% establishment of vegetation."

6.10 ***Deferred to Final Engineering*** - The following Certificate must be signed and dated by an Illinois Registered Professional Engineer: "This erosion control plan was prepared by me or under my direct supervision, and complies with the Urban Soil Erosion Control and Standards in Illinois manual (latest edition) and the generally recognized methods in use in the area."

7 Engineering Landscaping Plan Comments – Preliminary landscape plan was submitted. These comments are included for the designer's use in final design.

7.1 ***Deferred to Final Engineering*** - A Final Landscape Plan should be prepared over a background including the site layout and proposed utility improvements, so that we can verify that there are no conflicts. All proposed and existing utility lines and structures (sanitary manholes, fire hydrants, valve vaults, etc.) must be shown. The light poles, water main, and water appurtenances are not shown on the plan. All large landscaping items must be located a minimum of 10 feet from all utility structures and 5 feet from underground utility mains and services.

7.2 ***Compliant.***

7.3 ***Deferred to Final Engineering*** - The proposed screening for any garbage enclosures should be shown on the landscape plan.

7.4 ***Deferred to Final Engineering*** - Consider sight distance when locating trees and other landscape features near driveways and intersections.

8. Plat Comments

8.1 A Blanket Public Utility Easement is proposed for all public utilities. Long-term maintenance of water and sewer in tight areas like this has been placed on the developer. We would expect the same to occur in this development. Easement provisions will need to be revised accordingly.

8.2 ***Deferred to Final Engineering*** - Stormwater management easements should be dedicated for the proposed stormwater management facility and the emergency overland flow routes through the site.

8.3 ***Deferred to Final Engineering*** - Use the standard Village of Romeoville Easement Provisions.

8.4 ***Deferred to Final Engineering*** - Label easements consistent with the titles of the provisions.

9. General Comments

9.1 These parcel has several recaptures (Ryan, In-Land) associated with them. Specifics of these recaptures can be gotten thru the Community Development Department. The proposed form release that has been provided to the Village is acceptable.

9.2 If applicable, provide a list of code exception requests that reference the applicable code section and provides justification for the granting of said request.

9.3 ***Deferred to Final Engineering*** - With the final engineering submittal, product catalog cuts and a Photometric Plan must be submitted showing the height, number and orientation of proposed luminaires. The Photometric Plan must also show the proposed lighting levels in foot-candles at ground level, and include a summary table demonstrating that the lighting is in conformance with the levels included in the Village's ordinance. Show light pole locations on the utility plan.

9.4 ***Deferred to Final Engineering*** - A Copy of the NPDES NOI form for the proposed improvements must be provided to the Village.

- 9.5 ***Deferred to Final Engineering*** - Granular trench backfill is required when the trench is within two feet of pavement or curb. The limits of all granular (CA-6) trench backfill must be shown on the plans for all applicable pipe runs and should also be accounted for in the cost estimate.
- 9.6 ***Deferred to Final Engineering*** - As noted above, when utility structure adjustment is necessary, a minimum of two adjusting rings (min 6" adjusting height) and maximum of three rings (max 10" adjusting height). No 1" or 2" concrete rings are allowed. Under paved areas, top ring should be rubber. Use one (1) EJIW Infra-Riser rubber Composite. Please add a note to the plans to this effect.
- 9.7 ***Compliant.***
- 9.8 ***Deferred to Final Engineering*** - Top and bottom of pipe information should be provided for all utility crossings. All water main crossings must meet the requirements set forth in the Standard Specifications for Water & Sewer Main Construction In Illinois, and appropriate details must be shown if applicable. Horizontal separation requirements must also be met for sewer and water pipes, and appropriate details included on the plans.
- 9.9 ***Deferred to Final Engineering*** - Village contact information should be included on the engineering plans: Mr. Jonathon A. Zabrocki, P.E., c/o Village of Romeoville, 615 Anderson Drive, Romeoville, IL 60446 (phone No. 815/886-1870).
- 9.10 A minimum of two benchmark references should be provided on the engineering plans. **The benchmarks must be tied to the Will County's vertical and horizontal datum.**
- 9.11 ***Deferred to Final Engineering*** - Two separate cost estimates must be provided for the project with final engineering. The first will contain all improvements that require financial security (i.e., publically dedicated, stormwater management, erosion and sediment control, and inspection manholes). From this estimate, a Letter of Credit in the amount of 125% of the estimate will be established. The letter of credit shall be posted with the village prior to Village Board approval of any final plat of subdivision or any final development plan. A second estimate containing all site-related improvements (including landscaping, paving, water, lighting, landscaping, storm, sanitary, etc) must be submitted. This estimate will be utilized to set the design fee for this project.
- 9.12 ***Deferred to Final Engineering*** - Upon completion of construction, Record Drawings for all public improvements must be provided to the Village on diskette in AutoCad (.dwg) format. Corrections to site design, utility placement, and elevations must be shown on the digital drawings by crossing out the original design information and adding the changes made.
- 9.13 ***Deferred to Final Engineering*** - Final plans shall be signed and sealed by a registered professional engineer.

This review is only for general conformance with the design criteria established by the Village and is subject to both the completeness of the information submitted by the developer's professional staff and also the actual ability of the plan to perform in accordance with its intent. Actual field conditions may vary and additional items may arise which are not readily apparent based on this submittal. The developer's design professionals are responsible for performing and checking all design computations, dimensions, and details relating to design, construction, compliance with all applicable codes and regulations, and obtaining all permits. Additionally, other bodies of government may have jurisdiction over various aspects of this development. The developer should be advised that additional measures may be required based on actual field conditions and formal approvals of the other agencies.

Normantown Rd Apartments
January 17, 2017
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Please note that this review does not include all site & landscaping issues as per the zoning Ordinance such as building setbacks, lot coverage, parking dimensions, etc. and the applicant shall refer to the Community Development Department for a complete review of such issues.

If you have any questions please feel free to contact me at 815-886-5024 or jpotter@romeoville.org

Sincerely,
Village of Romeoville

A handwritten signature in black ink, appearing to read "Josh Potter". The signature is stylized with a large initial "J" and a cursive "P".

Josh Potter
Assistant Director of Community Development

Exhibit D:

Report of the Planning and Zoning Commission

DRAFT
Report of the Planning & Zoning Commission
Romeoville, Illinois

ORD 16-1326

An Ordinance Approving Annexation and Zoning for Village Place Apartments by
Edward Rose & Sons and S.R. Jacobson

ORD 16-1327

An Ordinance Approving a Special Use Permit for a Planned Unit Development –
General Development Plan for Village Place Apartments by Edward Rose & Sons and
S.R. Jacobson

TO: Village President, Village Clerk & Board of Trustees
Village of Romeoville, Will County, Illinois

A motion was made by Commissioner Scieszka, seconded by Commissioner Pyle, that this Public Hearing be Opened. The motion carried by a unanimous vote.

Assistant Director of Community Development, Josh Potter, read the Project Compliance Report.

Edward Rose & Sons and S.R. Jacobson are proposing the development of a 216-unit apartment community on 12.8 acres located on the south side of Normantown Road, just east of Brunswick Lane.

The subject property is currently vacant and unimproved. It was used in the past as a nursery known as Kotnour's Landscape and Nursery. A portion of the property was originally annexed to the Village in 1989 and is zoned R-6, Attached Residential. The remaining property is located in unincorporated Will County.

The developer is requesting R-7, General Residential zoning for the subject property. The proposed R-7 zoning is suitable for the proposed land use. In addition, the proposed land use and zoning provides a natural transition between the Greenhaven duplexes and Meadowdale townhomes, zoned R-6, Attached Single Family Residential to the east and the commercial property, zoned B-3, Highway Regional Shopping to the west.

The Development Review Committee recommends approval of Annexation and Zoning, contingent on compliance with outstanding staff comments.

From the testimony and presentation made by the Petitioner / Applicant, Witnesses, General Public, and Staff recommendation on the request, the Commission hereby finds the following:

1. The application complies with the provisions of the Comprehensive Plan (Chapter 157).
2. The application complies with the provisions of the Development Regulations (Chapter 158).
3. The application complies with the provisions of the Zoning Code.

THEREFORE, the Planning & Zoning Commission of the Village of Romeoville hereby recommends to the Village President and Board of Trustees the Approval of the following Ordinances:

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

ORD 16-1326 – An Ordinance Approving Annexation and Zoning for Village Place Apartments by Edward Rose & Sons and S.R. Jacobson

Motion by: Commissioner Scieszka
Seconded by: Commissioner Pyle

Roll call of the membership present the 8th day of November, 2016 with the following vote:

6 members voting AYE
0 members ABSTAINING

0 members voting NAY
1 members ABSENT and not voting.

David Venn AYE
Richard Holloway AYE
Paul Scieszka ABSENT
Dan Repetowski AYE

Steve Pyle AYE
Jim McConachie AYE
Petra Burgess ABSENT

MOTION Carried.

ORD 16-1327 – An Ordinance Approving a Special Use Permit for a Planned Unit Development – General Development Plan for Village Place Apartments by Edward Rose & Sons and S.R. Jacobson

A motion was made by Commissioner Scieszka, seconded by Commissioner Pyle, that this Public Hearing be Opened. The motion carried by a unanimous vote.

Assistant Director of Community Development, Josh Potter, read the Project Compliance Report.

A PUD - General Development Plan approves the preliminary site plans for the site. Final Development Plans with greater levels of detail will be provided shortly following the approval of the PUD - General Development Plan. The Final Development Plan will come back to the Planning and Zoning Commission for review to ensure they follow the approved General Development Plan.

The apartment development is proposed to be a high-end apartment community with desirable site amenities. The development plan includes a total of 216 apartment units in 6 three-story buildings. The unit mixture includes 90 one-bedroom units, 114 two-bedroom units and 12 three-bedroom units.

A 6,000 square foot clubhouse is proposed that includes a community room, exercise room and property management offices. A pool, sun deck and pergola will be located behind the clubhouse with an outdoor gathering area. Other site amenities include attached and detached garages, a carwash area, dog park, on-site professional management and a large amount of open space around the site.

The main entrance into the site is proposed through a new full access driveway from Normantown Road. Final studies are being prepared and will be reviewed, but it appears an eastbound to southbound deceleration lane will be required for the Normantown Road driveway. A secondary access point for emergency access is proposed on the east end of the site that will connect to Kingsley Drive. In addition, an internal driveway stub is provided to the west that will allow for future cross access with the adjacent commercial property.

There are a total of 417 parking spaces provided, including 107 garage spaces and 310 surface parking spaces. The total amount of parking provided exceeds the 413 parking spaces that are required by the Parking Code based on the proposed unit mixture. All of the buildings include 12 internal garages. In addition, 7-unit detached garages are provided near each building.

The principal exterior building materials include a large percentage of brick and horizontal

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

siding. The buildings include a number of architectural features including varying use of architectural accents and colors, a large percentage of windows, varied rooflines, and vertical and horizontal articulation. The architecture pattern is consistent throughout the site. The building architecture is consistent throughout the site.

The 3-story product allows over 45% of the site to be dedicated open space. A large open space area is provided behind the clubhouse and interconnected walkways are provided throughout the site. The site will also provide a connection to the existing path along Normantown Road and to a future north-south pathway to be located in the adjacent natural gas right-of-way.

The proposed Landscape plan meets the minimum planting requirements of the Landscape Code. Full planting screens are proposed on the east and west sides to provide solid screens from the Greenhaven subdivision to the east and the commercial property to the west. Enhanced landscaping is provided at the boulevard site entrance and along Normantown Road. In addition, the developer is providing a total of 135 trees above the minimum amount of trees required for the site. Parking lot landscaping is provided and all of the buildings include foundation planting areas. A decorative fence will be required at the east property line to delineate the subject property from the adjacent Greenhaven subdivision.

All of the site's stormwater runoff is managed through an on-site detention pond located at the southeast end of the site.

Signage plans have not been submitted yet. These plans will be required in the Final Development Plan submittal.

The following code exceptions and clarifications are included:

1. Residential Density (Section 159.068.A). The developer is asking to increase the maximum density from 12 units per acre to 16.9 units per acre. The proposed density is consistent with the other communities in the area, including:

Remington - 16.7 units per acre; High Point Serenity - 16.8 units per acre and Springs at 127th in Plainfield - 18.9 units per acre, and is consistent with the recent Springs at Weber Road project - 15.8 units per acre. Although this project has a slightly higher density, the proposed design allows for additional open space.

2. Tree Preservation and Removal Regulations (Section 159.30.C). The developer is asking for a waiver of 82 replacement trees. The developer is providing a total of 135 replacement trees, but is unable to fit the rest of the trees on the site.

3. Setbacks (159.68.F.6). A reduction in the required 25-foot front yard setback is requested for the parking. This reduction only amounts to a few feet at a few locations along the setback line. The sidewalk will also encroach into the setback.

4. Maximum Lot Coverage (159.68.F.8). To increase the maximum lot coverage from 50% to 55%.

5. Minimum Landscape Coverage (159.68.F.9). To reduce the minimum landscape coverage from 50% to 45%. The proposed Landscape Plan provides landscaping significantly above the minimum planting requirements.

6. Site Runoff and Storage Facility Design (160.035). Developer is providing the required detention volume for the development, but due to constraints with the elevation of Property, seeks code exceptions to: i) reduce the required area for the Normal Water Level (NWL) from 1.0 acres to 0.65 acres; and ii) to increase the maximum bounce from 4 feet to 5 feet for a 100-year storm event and from 1 foot to 1.5 feet

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

for a two-year storm event.

7. Street Access (Section 159.017 and 159.60.E.5). The proposed development will have a single point of access to Normantown Road. A second point of access is provided at Kingsley Drive, but said access is a restricted emergency access. A stub is presently provided to the west and may result in a future third point of access.

8. Residential District Requirements - Building Design Guidelines (Section 159.60.H.1 and 159.60.H.3). The proposed development is designed such that all buildings are oriented internally around the central clubhouse and associated open space rather than the Normantown Road right-of-way.

9. Fenestration (Section 159.60.H.4). A high percentage of windows are incorporated across each façade of the buildings. Developer has, to date, not confirmed the surface area of the windows or maximum linear distance between windows, but suggests, based on the proposed Elevations, that the elevations meet the fenestration requirement.

10. Parking/Garages (Section 159.60.H.5). Parking is provided via a combination of surface parking, detached garages and attached garages. The development will not provide a minimum of two attached garage spaces for each unit.

11. Special Signs (Section 159.129.K). Permanent Residential Development Entrance Signs. The developer will provide a permanent masonry or stone development sign identifying the name of the apartment community. The sign will not be greater than 8 feet in height, but will comply with all applicable sign regulations.

Mr. Russ Whitaker, 30 W. Jefferson, Ste. 200 Naperville, IL - Sworn.

Mr. Whitaker wanted to remind everyone that the entities behind this project, Edward Rose & Sons and S.R. Jacobson, are well established and are going to be involved in this project long term.

Mr. Whitaker stated that they have been working with staff on the project since the last meeting to address the comments from the last meeting.

Building one has been shifted to the east to put more space/buffer between the adjacent development.

The access onto Brunswick Lane will be an ongoing issue. The Village is working to help secure easement rights over the Natural Gas Pipeline.

Chairman Venn asked if there would be an aerator in the pond.

Mr. Whitaker stated that the developer has designed it to be a wet basin detention pond and may require an aerator.

Chairman Venn asked if the pond was sufficient size for all the run off on the site.

Assistant Director Josh Potter stated that it was, pending final approval of Final Engineering Plans.

Commissioner Scieszka asked staff to explain the setback for the front of the property and asked if it will affect the bike path.

Assistant Director Josh Potter showed on the aerial photo of the site where the encroachment on the setback would be (it is a very minimal area). There will still be 17 ft. to 18 ft. of greenspace buffer between the parking lot and the bike path.

Report of the Planning and Zoning Commission - Romeoville, Illinois
Village Place Apartments

Commissioner Hoffman asked about the lighting on the rear of building one.

Mr. Whitaker explained that there is no security lighting on the back of the buildings, each unit would have a porch light on the exterior space. Also, due to the elevation change of the developments and the distance with landscaping/berm wall between them the porch lights should not be an issue.

Chairman Venn asked about the materials that will be used in the berm wall.

Mr. Whitaker stated that it will be a combination of materials.

Commissioner Pyle asked about the size of the retaining wall.

Assistant Director Josh Potter showed the retaining wall on the aerial of the site.

Assistant Director Josh Potter stated the Development Review Committee recommends approval of the GDP, contingent upon compliance with all outstanding staff comments.

From the testimony and presentation made by the Petitioner / Applicant, Witnesses, General Public, and Staff recommendation on the request, the Commission hereby finds the following:

1. The application complies with the provisions of the Comprehensive Plan (Chapter 157).
2. The application complies with the provisions of the Development Regulations (Chapter 158).
3. The application complies with the provisions of the Zoning Code, as amended by the PUD.

Motion by: Commissioner Pyle

Seconded by: Commissioner Repetowski

Roll call of the membership present the 8th day of November, 2016 with the following vote:

6 members voting AYE
0 members ABSTAINING

0 members voting NAY
1 members ABSENT and not voting.

David Venn	AYE
Richard Holloway	AYE
Paul Scieszka	ABSENT
Dan Repetowski	AYE

Steve Pyle	AYE
Jim McConachie	AYE
Petra Burgess	ABSENT

MOTION Carried.

Respectfully submitted on November 8, 2016.

CHAIRMAN, Planning & Zoning Commission

Attested by:

SECRETARY, Planning & Zoning Commission