

PRELIMINARY ENGINEERING AND LANDSCAPE PLANS

EDWARD ROSE & SONS

MIXED USE DEVELOPMENT

SE CORNER OF WEBER ROAD AND ROMEO ROAD

ROMEONVILLE, ILLINOIS 60446



UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
 VILLAGE OF ROMEONVILLE
 615 ANDERSON DRIVE,
 ROMEONVILLE, IL 60446
 TEL: (815) 886-1870
 CONTACT: JONATHAN ZABROCKI, P.E.

ROADWAY AUTHORITY
 VILLAGE OF ROMEONVILLE PUBLIC WORKS
 615 ANDERSON DRIVE
 ROMEONVILLE, IL 60446
 TEL: (815) 886-1870
 CONTACT: ERIC BJORK

SANITARY SEWER SERVICE
 VILLAGE OF ROMEONVILLE PUBLIC WORKS
 615 ANDERSON DRIVE
 ROMEONVILLE, IL 60446
 TEL: (815) 886-1870
 CONTACT: ERIC BJORK

POWER COMPANY
 COMED
 3 LINCOLN CENTER
 OAK BROOK TERRACE, IL 60181
 TEL: (630) 437-4130

STORM SEWER SERVICE
 VILLAGE OF ROMEONVILLE PUBLIC WORKS
 615 ANDERSON DRIVE
 ROMEONVILLE, IL 60446
 TEL: (815) 886-1870
 CONTACT: ERIC BJORK

NATURAL GAS COMPANY
 NICOR GAS COMPANY
 90 NORTH FINLEY ROAD
 GLEN ELLYN, IL 60137
 TEL: (888) 388-2112

WATER SERVICE
 VILLAGE OF ROMEONVILLE PUBLIC WORKS
 615 ANDERSON DRIVE
 ROMEONVILLE, IL 60446
 TEL: (815) 886-1870
 CONTACT: ERIC BJORK

TELEPHONE
 AT&T ILLINOIS
 1001 COMMERCE
 OAK BROOK, IL 60523
 TEL: (630) 573-6434

PROJECT TEAM

DEVELOPER
 EDWARD ROSE & SONS
 38525 WOODWARD AVENUE
 BLOOMFIELD HILLS, MI 48304
 TEL: (248) 550-7253
 CONTACT: KEN BULLIS

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD RD, SUITE 600
 WARRENVILLE, IL 60555
 TEL: (630) 487-5550
 EMAIL: TAYLOR.ESCHBACH@KIMLEY-HORN.COM
 CONTACT: TAYLOR ESCHBACH, P.E.

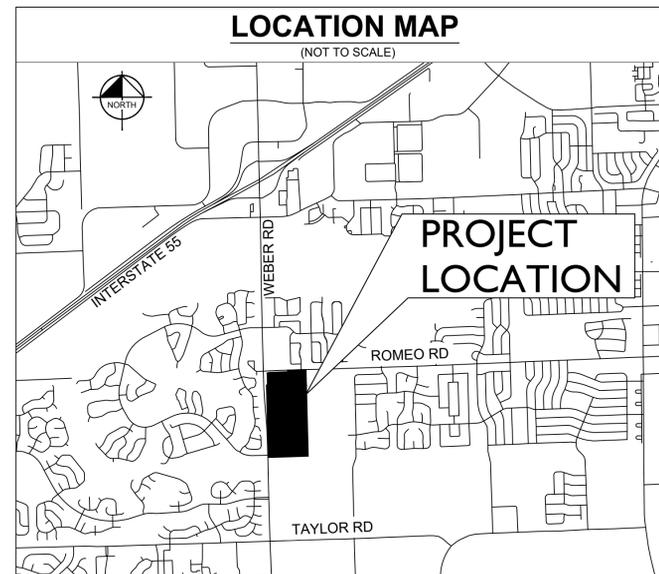
GEOTECH
 TESTING SERVICE CORPORATION
 360 S. MAIN PLACE
 CAROL STREAM, IL 60188
 TEL: (630) 784-4079
 CONTACT: TIMOTHY PECENIAK, PE

LANDSCAPE ARCHITECT
 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD RD, SUITE 600
 WARRENVILLE, IL 60555
 TEL: (630) 487-5550
 CONTACT: CHRIS WILSON, PLA

TRAFFIC ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD RD, SUITE 600
 WARRENVILLE, IL 60555
 TEL: (630) 487-5550
 CONTACT: RORY FANCLER, AICP, PTP

SURVEYOR
 COMPASS SURVEYING
 2613 GINGER WOODS PARKWAY
 AURORA, IL 60502
 TEL: (630) 820-9100
 CONTACT: SCOTT KREBS, PLS

ENVIRONMENTAL ENGINEER
 ENCAP, INC.
 2585 WAGNER COURT
 DEKALB, IL 60115
 TEL: (815) 739-0220
 CONTACT: SUSAN ROWLEY, PWS, CWS, LEED AP



Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.0	ALTA SURVEY (BY OTHERS)
C1.0	OVERALL SITE PLAN
C1.1	SITE DIMENSION PLAN
C1.2	SITE DIMENSION PLAN
C2.0	GRADING AND DRAINAGE PLAN
C2.1	GRADING AND DRAINAGE PLAN
C3.0	UTILITY PLAN
C3.1	UTILITY PLAN
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L1.5	LANDSCAPE PLAN
L1.6	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES & DETAILS

BENCHMARKS
SITE BENCHMARKS: (LOCATIONS SHOWN ON SURVEY)
SBM #1 NORTHEAST BONNET BOLT ON FIRE HYDRANT AT THE NORTHEAST CORNER OF WEBER AND ROMEO ROAD. ELEVATION=656.40
SBM #2 SOUTHEAST BONNET BOLT ON SECOND FIRE HYDRANT EAST OF THE INTERSECTION OF WEBER AND ROMEO ROAD. ELEVATION=661.58
SBM #3 SOUTHEAST FLAG BOLT ON 1ST FIRE HYDRANT EAST OF BIKE PATH AND ALONG THE SOUTH SIDE OF ROMEO ROAD. ELEVATION=670.85
SBM #4 RAILROAD SPIKE IN WEST FACE OF 3RD UTILITY POLE SOUTH OF ROMEO ROAD ALONG THE EAST SIDE OF WEBER ROAD. ELEVATION=660.35
SBM #5 RAILROAD SPIKE IN WEST FACE OF 5TH UTILITY POLE SOUTH OF ROMEO ROAD ALONG THE EAST SIDE OF WEBER ROAD. ELEVATION=658.86
SBM #6 RAILROAD SPIKE IN WEST FACE OF 7TH UTILITY POLE SOUTH OF ROMEO ROAD ALONG THE EAST SIDE OF WEBER ROAD. ELEVATION=660.94
WILL COUNTY BENCHMARK:
GPS 419 BENCHMARK PID: AE2556 ELEVATION=620.97 (NAVD 88)

LEGAL DESCRIPTION
PARCEL 4: THE WEST HALF, OF THE NORTHWEST QUARTER OF SECTION 5, IN TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE EAST 60 FEET OF SAID WEST HALF, ALSO EXCEPTING THEREFROM THE NORTH 1210.50 FEET OF SAID WEST HALF, AND ALSO EXCEPTING THEREFROM THE SOUTH 482 FEET OF THE WEST 804 FEET OF SAID WEST HALF, IN WILL COUNTY, ILLINOIS.
PARCEL 5: THE NORTH 1210.50 FEET OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 5, IN TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE EAST 60 FEET OF SAID WEST HALF, IN WILL COUNTY, ILLINOIS.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, TAYLOR ESCHBACH, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF EDWARD ROSE AND SONS BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 30TH DAY OF APRIL, A.D., 2024.

Taylor Eschbach

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-069246
 MY LICENSE EXPIRES ON NOVEMBER 30, 2025
 DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

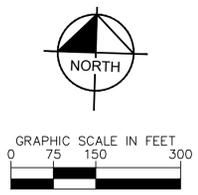


Date of Expiration: 11-30-25

<p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555 WWW.KIMLEY-HORN.COM</p>	REVISIONS No. DATE BY 1 04/30/24 TRW 2 03/01/24 TRW 3 05/12/23 TRW
	SCALE: AS NOTED DESIGNED BY: TRE DRAWN BY: TRW CHECKED BY: WAW
	COVER SHEET
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEONVILLE IL	ORIGINAL ISSUE: 02/10/2023 KHA PROJECT NO. 168511006 SHEET NUMBER C0.0

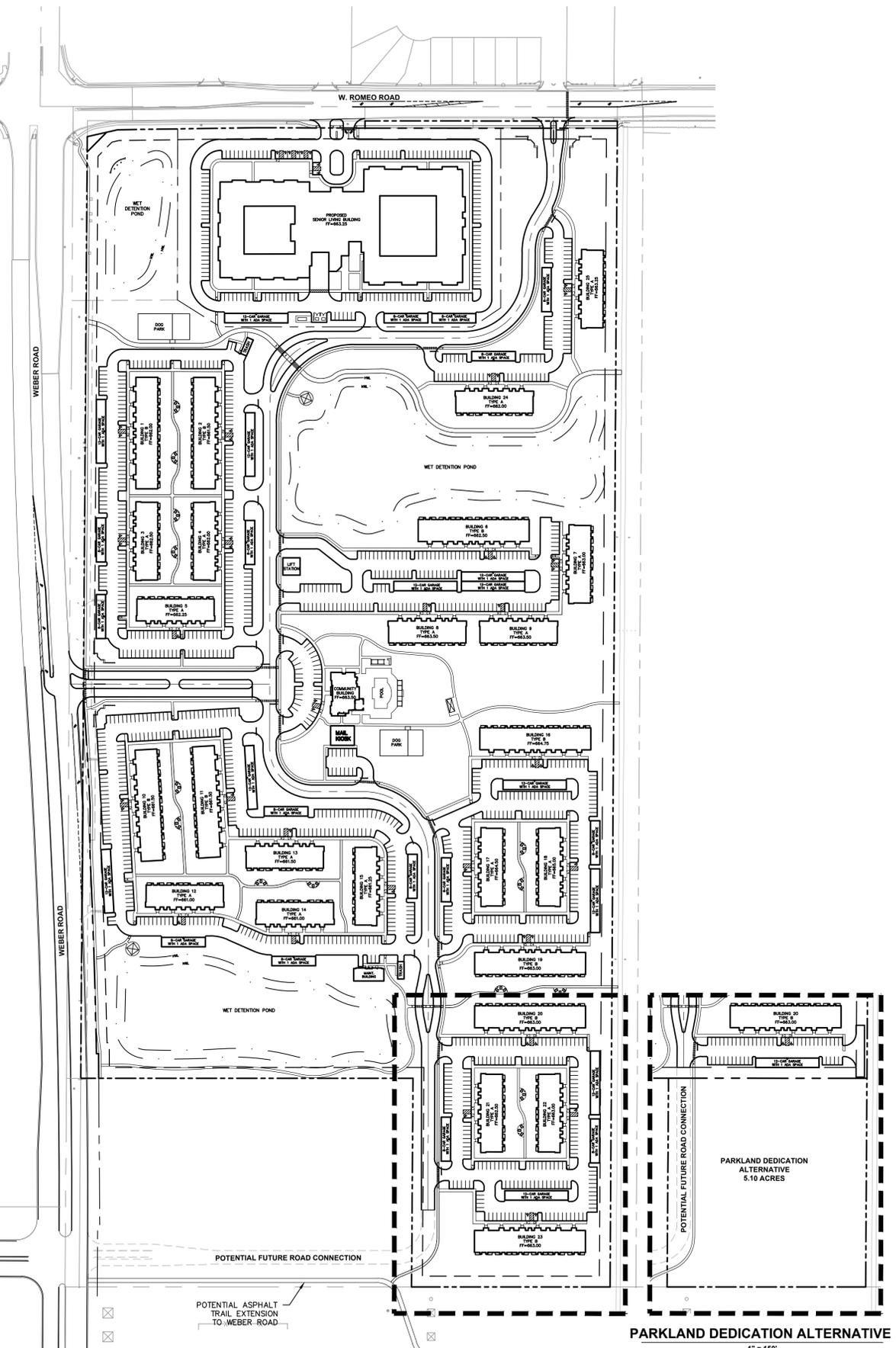
Drawing name: K:\CHS_LIVE\168511006_Edward Rose-Romeonville_IL - Weber and Romeo\2 Design\040\PlanSheets\C00 COVER SHEET.dwg COO Apr 30, 2024 4:42pm by Taylor.Westhoff
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Drawing name: K:\CHS\168511006_Edward Rose, Romeville, IL - Weber and Romeo\2_Design\CAD\PlanSheets\C1.0 OVERALL SITE PLAN.dwg C1.0 May 07, 2024 8:00pm by Taylor Westendorf
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



REVISED PER VILLAGE COMMENTS	DATE	BY
TRW	04/30/24	TRW
TRW	03/01/24	TRW
TRW	05/12/23	TRW
REVISIONS	DATE	BY

- ### GENERAL NOTES
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
 - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
 - ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.



PARKING DATA - NO PARK DEDICATION

PARKING REQUIREMENTS	
SENIOR LIVING BUILDING	= 169 TOTAL SPACES
(49) INDEPENDENT LIVING (1-BED) X 1.5 SPACES	= 74 SPACES
(31) INDEPENDENT LIVING (2-BED) X 2.0 SPACES	= 62 SPACES
(100) ASSISTED LIVING + MEMORY CARE BEDS X 1 SPACE/4 BEDS	= 25 SPACES
5% GUEST PARKING	= 8 SPACES
APARTMENTS	= 1,352 TOTAL SPACES
(306) 1 BDRM UNITS X 1.5 SPACES	= 459 SPACES
(352) 2 BDRM UNITS X 2.0 SPACES	= 704 SPACES
(50) 3 BDRM UNITS X 2.5 SPACES	= 125 SPACES
5% GUEST PARKING	= 64 SPACES
TOTAL PARKING REQUIRED	= 1,521 SPACES
PARKING PROVIDED	
SENIOR LIVING BUILDING	= 182 TOTAL SPACES
STANDARD PARKING SPACES PROVIDED	= 146 SPACES
STANDARD GARAGE SPACES PROVIDED	= 25 SPACES
ADA SPACES PROVIDED (GARAGE)	= 3 SPACES
ADA SPACES PROVIDED (SURFACE)	= 8 SPACES
ADA SPACES REQUIRED	= 6 SPACES
COMMUNITY BUILDING AND MAIL KIOSK	= 45 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 43 SPACES
ADA SPACES PROVIDED (SURFACE)	= 2 SPACES
ADA SPACES REQUIRED	= 2 SPACES
APARTMENTS 1-5	= 267 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 253 SPACES
ADA SPACES PROVIDED (GARAGE)	= 5 SPACES
ADA SPACES PROVIDED (SURFACE)	= 9 SPACES
ADA SPACES REQUIRED	= 7 SPACES
APARTMENTS 10-15	= 325 SPACES
STANDARDS PARKING SPACES PROVIDED	= 311 SPACES
ADA SPACES PROVIDED (GARAGE)	= 8 SPACES
ADA SPACES PROVIDED (SURFACE)	= 8 SPACES
ADA SPACES REQUIRED	= 8 SPACES
APARTMENTS 16-23	= 442 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 422 SPACES
ADA SPACES PROVIDED (GARAGE)	= 8 SPACES
ADA SPACES PROVIDED (SURFACE)	= 12 SPACES
ADA SPACES REQUIRED	= 9 SPACES
APARTMENTS 6-9	= 181 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 172 SPACES
ADA SPACES PROVIDED (GARAGE)	= 3 SPACES
ADA SPACES PROVIDED (SURFACE)	= 6 SPACES
ADA SPACES REQUIRED	= 6 SPACES
APARTMENTS 24-25	= 94 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 88 SPACES
ADA SPACES PROVIDED (GARAGE)	= 2 SPACES
ADA SPACES PROVIDED (SURFACE)	= 4 SPACES
ADA SPACES REQUIRED	= 4 SPACES
TOTAL PARKING SPACES PROVIDED	= 1536 SPACES

PARKING DATA - PARK DEDICATION

PARKING REQUIREMENTS	
SENIOR LIVING BUILDING	= 169 TOTAL SPACES
(49) INDEPENDENT LIVING (1-BED) X 1.5 SPACES	= 74 SPACES
(31) INDEPENDENT LIVING (2-BED) X 2.0 SPACES	= 62 SPACES
(100) ASSISTED LIVING + MEMORY CARE BEDS X 1 SPACE/4 BEDS	= 25 SPACES
5% GUEST PARKING	= 8 SPACES
APARTMENTS	= 1,192 TOTAL SPACES
(270) 1 BDRM UNITS X 1.5 SPACES	= 405 SPACES
(310) 2 BDRM UNITS X 2.0 SPACES	= 620 SPACES
(44) 3 BDRM UNITS X 2.5 SPACES	= 110 SPACES
5% GUEST PARKING	= 57 SPACES
TOTAL PARKING REQUIRED	= 1,361 SPACES
PARKING PROVIDED	
SENIOR LIVING BUILDING	= 182 TOTAL SPACES
STANDARD PARKING SPACES PROVIDED	= 146 SPACES
STANDARD GARAGE SPACES PROVIDED	= 25 SPACES
ADA SPACES PROVIDED (GARAGE)	= 3 SPACES
ADA SPACES PROVIDED (SURFACE)	= 8 SPACES
ADA SPACES REQUIRED	= 6 SPACES
COMMUNITY BUILDING AND MAIL KIOSK	= 45 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 43 SPACES
ADA SPACES PROVIDED (SURFACE)	= 2 SPACES
ADA SPACES REQUIRED	= 2 SPACES
APARTMENTS 1-5	= 267 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 253 SPACES
ADA SPACES PROVIDED (GARAGE)	= 5 SPACES
ADA SPACES PROVIDED (SURFACE)	= 9 SPACES
ADA SPACES REQUIRED	= 7 SPACES
APARTMENTS 10-15	= 325 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 311 SPACES
ADA SPACES PROVIDED (GARAGE)	= 8 SPACES
ADA SPACES PROVIDED (SURFACE)	= 8 SPACES
ADA SPACES REQUIRED	= 8 SPACES
APARTMENTS 16-20	= 274 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 261 SPACES
ADA SPACES PROVIDED (GARAGE)	= 5 SPACES
ADA SPACES PROVIDED (SURFACE)	= 8 SPACES
ADA SPACES REQUIRED	= 6 SPACES
APARTMENTS 6-9	= 181 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 172 SPACES
ADA SPACES PROVIDED (GARAGE)	= 3 SPACES
ADA SPACES PROVIDED (SURFACE)	= 6 SPACES
ADA SPACES REQUIRED	= 6 SPACES
APARTMENTS 24-25	= 94 TOTAL SPACES
STANDARDS PARKING SPACES PROVIDED	= 88 SPACES
ADA SPACES PROVIDED (GARAGE)	= 2 SPACES
ADA SPACES PROVIDED (SURFACE)	= 4 SPACES
ADA SPACES REQUIRED	= 4 SPACES
TOTAL PARKING SPACES PROVIDED	= 1368 SPACES

SITE DATA - NO PARK DEDICATION

BUILDING DATA	R-7 ZONING REQUIREMENTS	PROPOSED SITE
BUILDING HEIGHT:	3.5 STORIES OR 40' MAX. PUD: 3.5 STORIES OR 50' MAX.	SENIOR LIVING: 39.0' TO ROOF 43.0' TO PARAPET APARTMENTS: 38.0'
SITE DATA		
GROSS DWELLING UNIT DENSITY:	12 UNITS PER ACRE	13.3 UNITS PER ACRE
SETBACKS:	FRONT: 25', SIDE: 20', REAR: 25' PUD: 25' MIN. ALL SIDES	PER SITE PLAN
BUILDING COVERAGE:	40% MAX	10.6 ACRES (15.9%)
LOT COVERAGE:	50% MAX.	33.2 ACRES (50%)
LANDSCAPE COVERAGE:	50% MIN.	33.4 ACRES (50%)
FLOOR AREA RATIO (FAR):	0.65 MAX.	0.42
EXISTING ZONING: B-3 HIGHWAY AND REGIONAL SHOPPING		
EXISTING SITE AREA = 69.09 AC		
PROPOSED ROW DEDICATION = 2.44 AC		
REMAINING SITE AREA = 66.65 AC		
	PROPOSED UNIT COUNT SUMMARY	AREA BREAKDOWN
	SENIOR LIVING: 180 TOTAL UNITS	94,000 SF
	80 - INDEPENDENT LIVING UNITS	(TOTAL) - 1 BUILDING
	49 - 1 BED UNITS	9,746 SF
	31 - 2 BED UNITS	(TOTAL) - 16 BUILDINGS
	70 - ASSISTED LIVING UNITS	13,880 SF
	30 - MEMORY CARE UNITS	(TOTAL) - 9 BUILDINGS
		2,205 SF
	APARTMENTS: 708 TOTAL UNITS	(TOTAL) - 15 BUILDINGS
	(16) - TYPE A, 24-UNIT BLDGS	3,198 SF
	16 X 9 = (144) 1-BED UNITS	(TOTAL) - 12 BUILDINGS
	16 X 13 = (208) 2-BED UNITS	2,065 SF
	16 X 2 = (32) 3-BED UNITS	COMMUNITY CENTER: 7,725 SF
	(9) - TYPE B, 36-UNIT BLDGS	
	9 X 18 = (162) 1-BED UNITS	
	9 X 16 = (144) 2-BED UNITS	
	9 X 2 = (18) 3-BED UNITS	

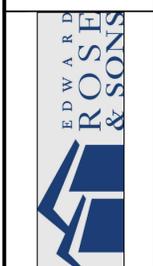
SITE DATA - PARK DEDICATION

BUILDING DATA	R-7 ZONING REQUIREMENTS	PROPOSED SITE
BUILDING HEIGHT:	3.5 STORIES OR 40' MAX. PUD: 3.5 STORIES OR 50' MAX.	SENIOR LIVING: 39.0' TO ROOF 43.0' TO PARAPET APARTMENTS: 38.0'
SITE DATA		
GROSS DWELLING UNIT DENSITY:	12 UNITS PER ACRE	13.1 UNITS PER ACRE
SETBACKS:	FRONT: 25', SIDE: 20', REAR: 25' PUD: 25' MIN. ALL SIDES	PER SITE PLAN
BUILDING COVERAGE:	40% MAX	9.5 ACRES (15.5%)
LOT COVERAGE:	50% MAX.	30.4 ACRES (49%)
LANDSCAPE COVERAGE:	50% MIN.	31.1 ACRES (51%)
FLOOR AREA RATIO (FAR):	0.65 MAX.	0.41
EXISTING ZONING: B-3 HIGHWAY AND REGIONAL SHOPPING		
EXISTING SITE AREA = 69.09 AC		
PROPOSED ROW DEDICATION = 2.44 AC		
PROPOSED PARK DEDICATION = 5.10 AC		
REMAINING SITE AREA = 61.55 AC		
	PROPOSED UNIT COUNT SUMMARY	AREA BREAKDOWN
	SENIOR LIVING: 180 TOTAL UNITS	94,000 SF
	80 - INDEPENDENT LIVING UNITS	(TOTAL) - 1 BUILDING
	49 - 1 BED UNITS	9,746 SF
	31 - 2 BED UNITS	(TOTAL) - 14 BUILDINGS
	70 - ASSISTED LIVING UNITS	13,880 SF
	30 - MEMORY CARE UNITS	(TOTAL) - 8 BUILDINGS
		2,205 SF
	APARTMENTS: 624 TOTAL UNITS	(TOTAL) - 13 BUILDINGS
	(14) - TYPE A, 24-UNIT BLDGS	3,198 SF
	14 X 9 = (126) 1-BED UNITS	(TOTAL) - 11 BUILDINGS
	14 X 13 = (182) 2-BED UNITS	2,065 SF
	14 X 2 = (28) 3-BED UNITS	COMMUNITY CENTER: 7,725 SF
	(8) - TYPE B, 36-UNIT BLDGS	
	8 X 18 = (144) 1-BED UNITS	
	8 X 16 = (128) 2-BED UNITS	
	8 X 2 = (16) 3-BED UNITS	

PARKLAND DEDICATION ALTERNATIVE
 1" = 150'

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600,
 WARRENVILLE, IL 60555
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
 DESIGNED BY: TRW
 DRAWN BY: TRW
 CHECKED BY: WAW



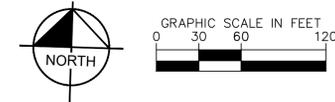
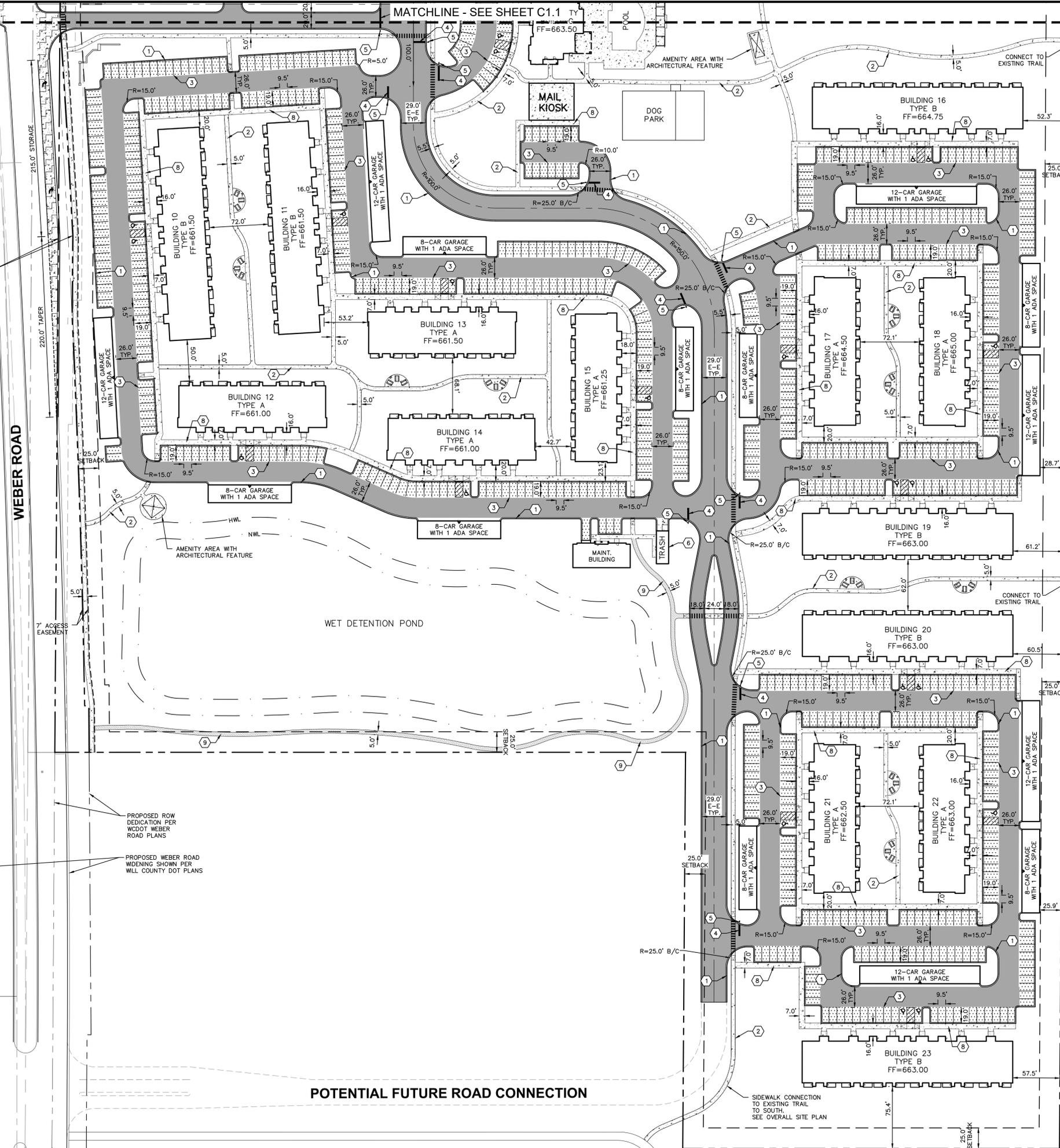
OVERALL SITE PLAN

EDWARD ROSE & SONS - MIXED USE DEVELOPMENT
 SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL

ORIGINAL ISSUE: 02/10/2023
 KHA PROJECT NO. 168511006
 SHEET NUMBER

C1.0

Drawing name: K:\CHE_LDEV\168511006_Edward Rose_Romeo\168511006_Edward Rose_Romeo\168511006_Site Plan.dwg C1.2 Apr 30, 2024 4:42pm by Taylor Westhoff
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



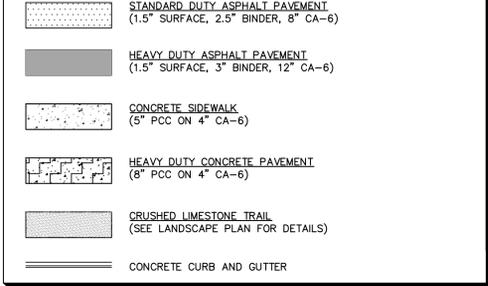
GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

KEY NOTES

- 1 B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2 CONCRETE SIDEWALK, TYP. (7" WIDE WHEN ADJACENT TO CURB AND GUTTER, ALL OTHER 5" WIDE UNLESS OTHERWISE NOTED.)
- 3 4" WIDE PAINTED SOLID LINE, TYP.
- 4 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- 5 STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- 6 TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 7 MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 8 INTEGRAL CURB AND SIDEWALK
- 9 CRUSHED LIMESTONE TRAIL (SEE LANDSCAPE PLANS FOR DETAILS)

PAVING AND CURB LEGEND



DESIGNED BY: TRW	REVISIONS
DRAWN BY: TRW	DATE
CHECKED BY: WAW	BY
SCALE: AS NOTED	NO.
DESIGNED BY: TRW	04/30/24
DRAWN BY: TRW	03/01/24
CHECKED BY: WAW	05/12/23

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600,
 WARRENVILLE, IL 60555
 WWW.KIMLEY-HORN.COM

EDWARD ROSE & SONS

SITE DIMENSION PLAN

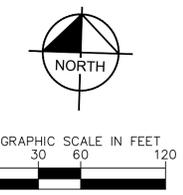
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT
 SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL

ORIGINAL ISSUE: 02/10/2023
 KHA PROJECT NO. 168511006
 SHEET NUMBER

C1.2

Drawing name: K:\CHS_LDEV\168511006_Edward Rose-Romeoville_IL - Weber and Romeo\2_Design\CAD\PlanSheets\C2.0 GRADING PLAN.dwg C2.0 Apr 30, 2024 4:42pm by: Taylor Westenhoff
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

W. ROMEO ROAD
 588'11.16" W(M) - 1262.56'(M)



Call Before You Dig
TOLIE
 1-800-892-0123

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

- ### GRADING LEGEND
- TP = TOP OF PAVEMENT
 - EP = EDGE OF PAVEMENT
 - FL = FLOW LINE
 - TC = TOP OF CURB
 - ME = MATCH ELEVATION
 - TF = TOP OF FOUNDATION
 - R = RIM ELEVATION
 - EFG = EXTERIOR FINISHED GRADE
 - FF = FINISHED FLOOR ELEVATION
 - FD = FRONT DOOR ELEVATION
 - XXX---
 - RIDGE
 - X.XXX
 - ↑
 - ↑
 - ←
- EXISTING CONTOUR
 RIDGE LINE
 SLOPE AND FLOW DIRECTION
 100-YEAR OVERLAND OVERFLOW ROUTE
 DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
 PROPOSED SWALE

DETENTION SUMMARY

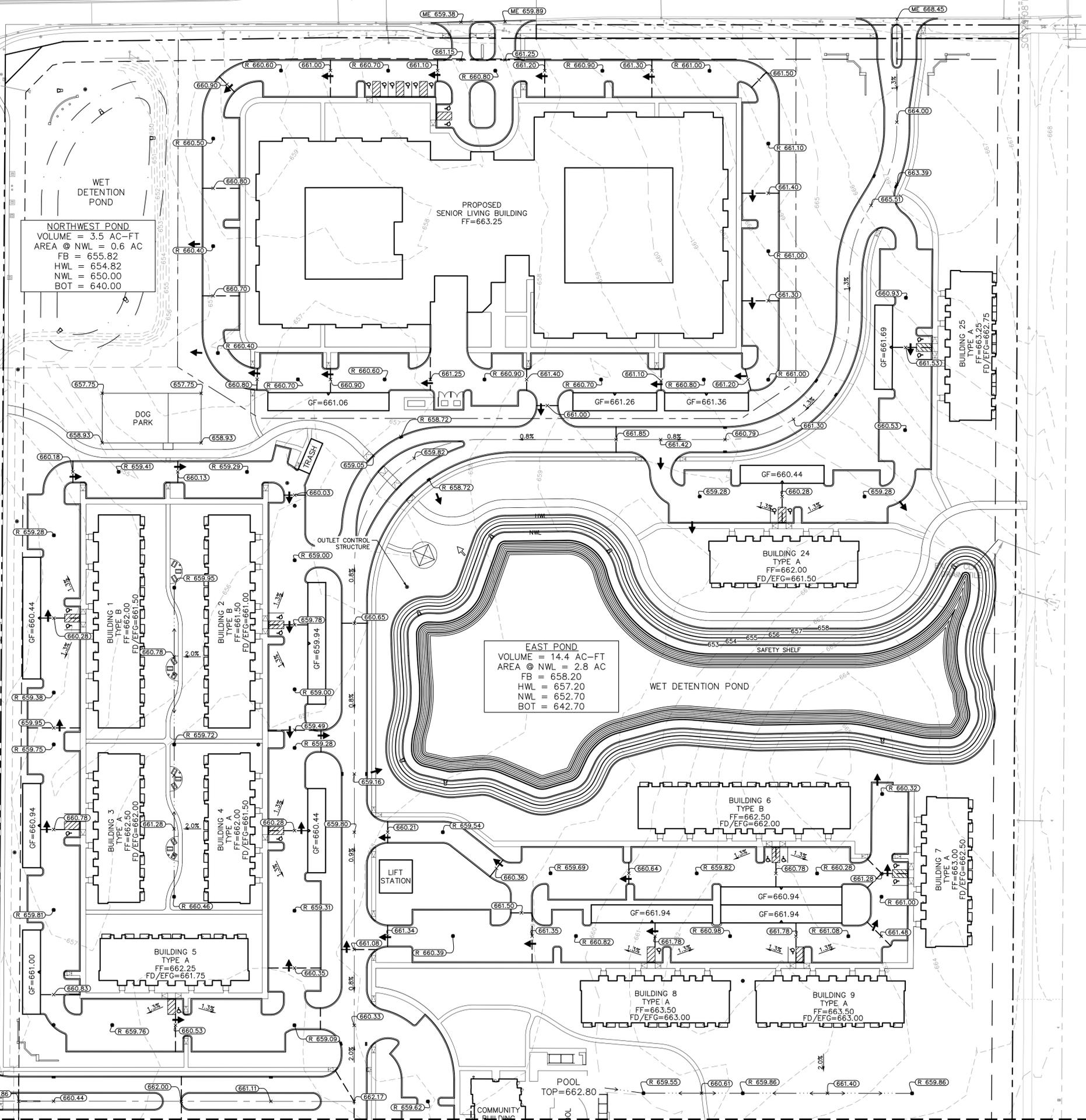
TOTAL TRIBUTARY AREA = 66.64 ACRES

DETENTION REQUIREMENTS
 2-YEAR ALLOWABLE RELEASE RATE (0.04 CFS/ACRE) = 2.67 CFS
 100-YEAR ALLOWABLE RELEASE RATE (0.15 CFS/ACRE) = 10.00 CFS
 VOLUME REQUIRED = 30.7 AC-FT

DETENTION PROVIDED
 2-YEAR RELEASE RATE = 2.60 CFS
 100-YEAR RELEASE RATE = 9.94 CFS
 VOLUME PROVIDED = 32.9 AC-FT

NORTHWEST POND
 VOLUME = 3.5 AC-FT
 AREA @ NWL = 0.6 AC
 FB = 655.82
 HWL = 654.82
 NWL = 650.00
 BOT = 640.00

EAST POND
 VOLUME = 14.4 AC-FT
 AREA @ NWL = 2.8 AC
 FB = 658.20
 HWL = 657.20
 NWL = 652.70
 BOT = 642.70



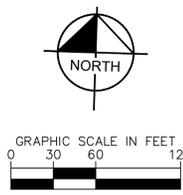
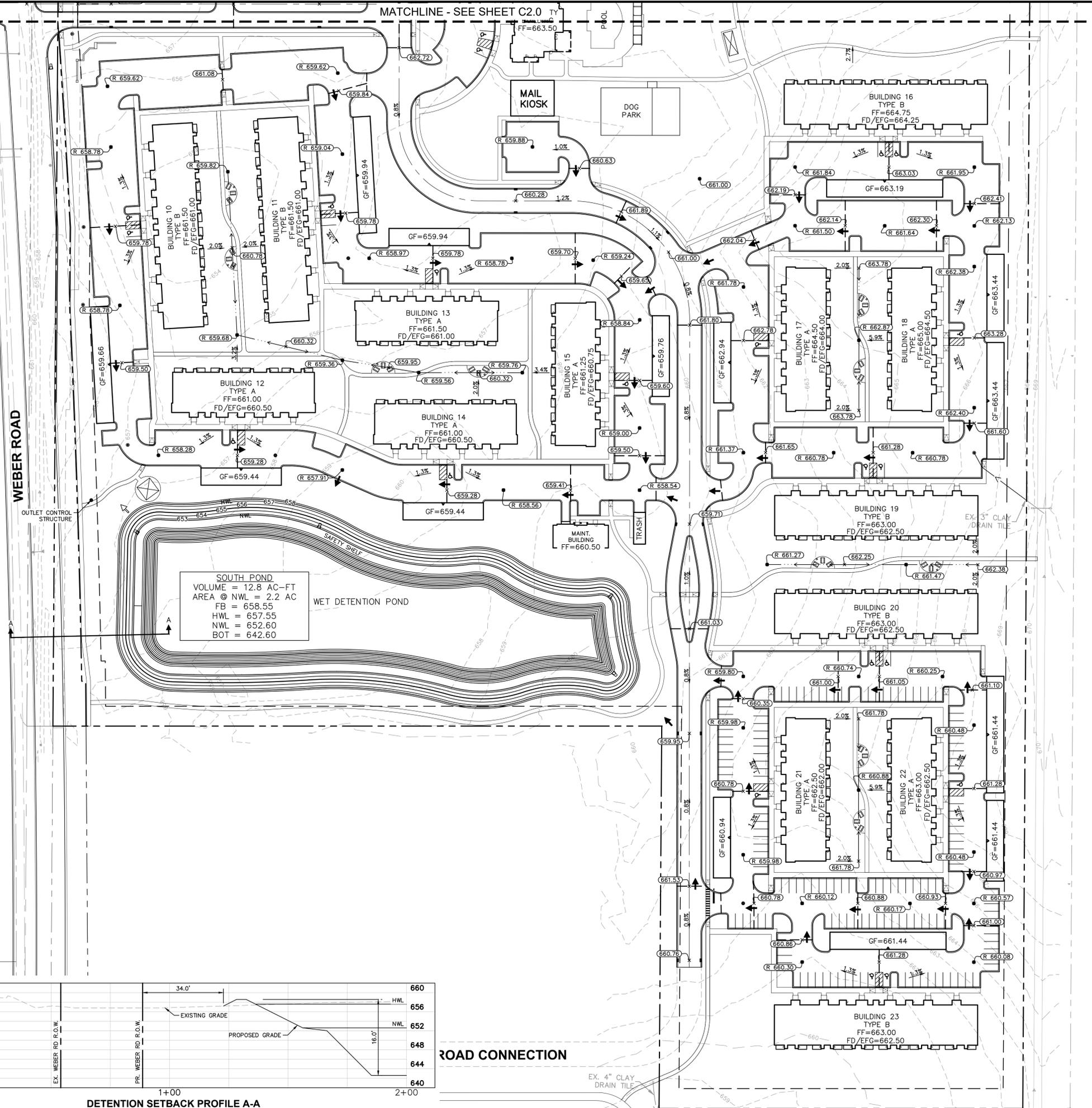
DESIGNED BY: TRE	SCALE: AS NOTED	<p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555 WWW.KIMLEY-HORN.COM</p>
DRAWN BY: TRW	REVISIONS	
CHECKED BY: WAW	DATE	
	BY	

REVISED PER VILLAGE COMMENTS	04/30/24	TRW
REVISED PER VILLAGE COMMENTS	03/01/24	TRW
REVISED PER VILLAGE COMMENTS	05/12/23	TRW

EDWARD ROSE & SONS
 GRADING AND DRAINAGE PLAN
 SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL

ORIGINAL ISSUE: 02/10/2023
 KHA PROJECT NO. 168511006
 SHEET NUMBER C2.0

Drawing name: K:\CHS_LDEV\168511006_Edward Rose_Romeville_IL - Weber and Romeville\2 Design\CAD\PlanSheets\C2.0 GRADING PLAN.dwg C2.1 Apr 30, 2024 4:42pm by: Taylor Westehner
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Call Before You Dig
TULIE
 1-800-892-0123

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

- ### GRADING LEGEND
- TP = TOP OF PAVEMENT
 - EP = EDGE OF PAVEMENT
 - FL = FLOW LINE
 - TC = TOP OF CURB
 - ME = MATCH ELEVATION
 - TF = TOP OF FOUNDATION
 - R = RIM ELEVATION
 - EFG = EXTERIOR FINISHED GRADE
 - FF = FINISHED FLOOR ELEVATION
 - FD = FRONT DOOR ELEVATION
 - XXX---
 - RIDGE—
 - X.XX%
 - ←
 - ↖
 - ←
- EXISTING CONTOUR
 - RIDGE LINE
 - SLOPE AND FLOW DIRECTION
 - 100-YEAR OVERLAND OVERFLOW ROUTE
 - DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
 - PROPOSED SWALE

DETENTION SUMMARY

TOTAL TRIBUTARY AREA = 66.64 ACRES

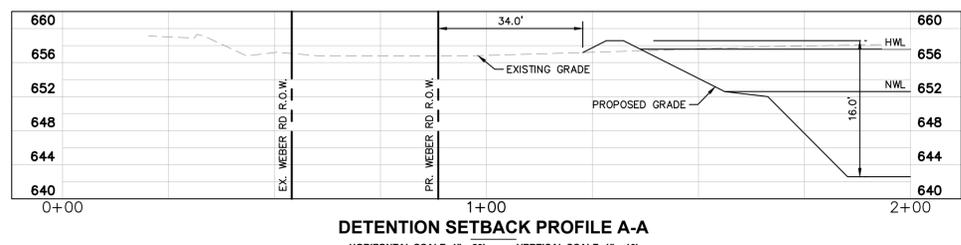
DETENTION REQUIREMENTS

2-YEAR ALLOWABLE RELEASE RATE (0.04 CFS/ACRE) = 2.67 CFS
 100-YEAR ALLOWABLE RELEASE RATE (0.15 CFS/ACRE) = 10.00 CFS
 VOLUME REQUIRED = 30.7 AC-FT

DETENTION PROVIDED

2-YEAR RELEASE RATE = 2.60 CFS
 100-YEAR RELEASE RATE = 9.94 CFS
 VOLUME PROVIDED = 32.9 AC-FT

SOUTH POND
 VOLUME = 12.8 AC-FT
 AREA @ NWL = 2.2 AC
 FB = 658.55
 HWL = 657.55
 NWL = 652.60
 BOT = 642.60



ROAD CONNECTION

SCALE:	AS NOTED
DESIGNED BY:	TRE
DRAWN BY:	TRW
CHECKED BY:	WAW

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600,
 WARRENVILLE, IL 60555
 WWW.KIMLEY-HORN.COM

EDWARD ROSE & SONS

GRADING AND DRAINAGE PLAN

SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL

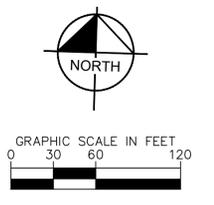
ORIGINAL ISSUE: 02/10/2023
 KHA PROJECT NO. 168511006
 SHEET NUMBER

C2.1

REVISED PER VILLAGE COMMENTS	04/30/24	TRW
REVISED PER VILLAGE COMMENTS	03/01/24	TRW
REVISED PER VILLAGE COMMENTS	05/12/23	TRW
REVISIONS	DATE	BY

Drawing name: K:\CHS\LEVA\168511006\Edward Rose-Romeoville_IL - Weber and Romeo\2_Design\CAD\PlanSheets\C3.0 UTILITY PLAN.dwg C3.0 Apr 30, 2024 4:42pm by Taylor Westhoff
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

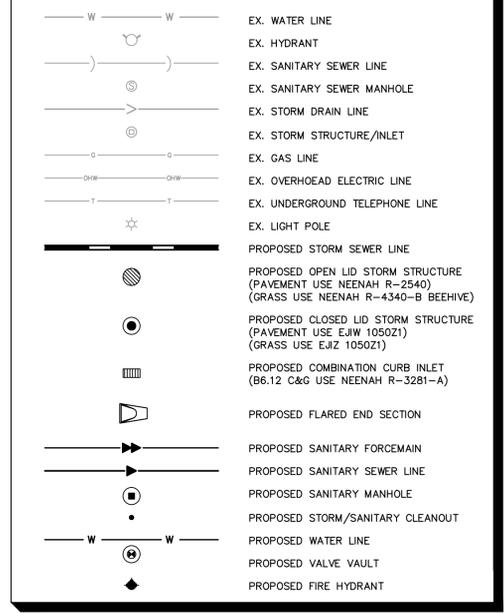
W. ROMEO ROAD



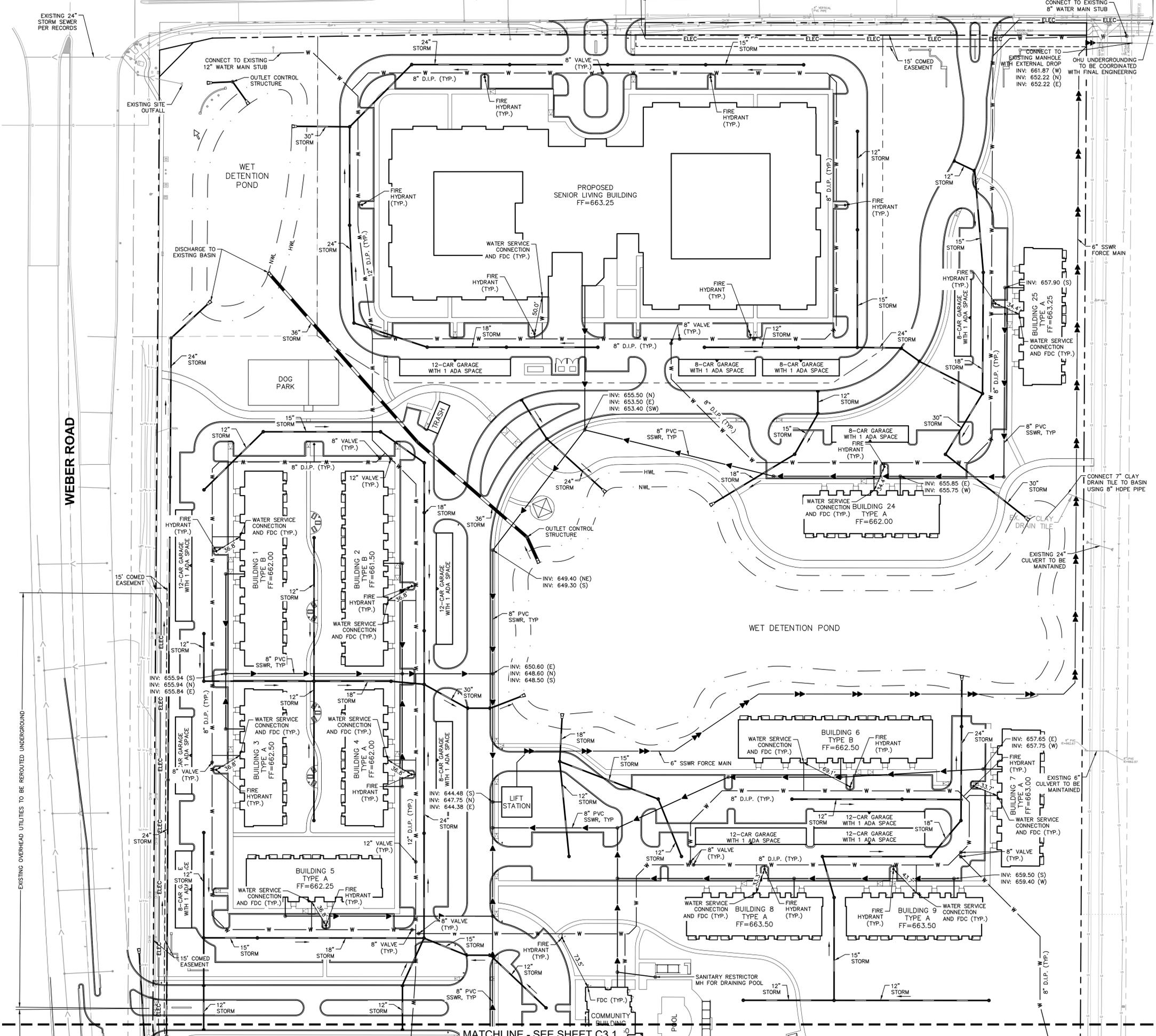
UTILITY NOTES

- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
- ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.

UTILITY LEGEND



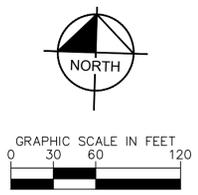
REVISIONS	DATE	BY
REVISED PER VILLAGE COMMENTS	04/30/24	TRW
REVISED PER VILLAGE COMMENTS	03/01/24	TRW
REVISED PER VILLAGE COMMENTS	05/12/23	TRW
NO.		
SCALE:	AS NOTED	
DESIGNED BY:	TRW	
DRAWN BY:	TRW	
CHECKED BY:	WAW	
UTILITY PLAN		
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT		
SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL		
ORIGINAL ISSUE:	02/10/2023	
KHA PROJECT NO.	168511006	
SHEET NUMBER	C3.0	



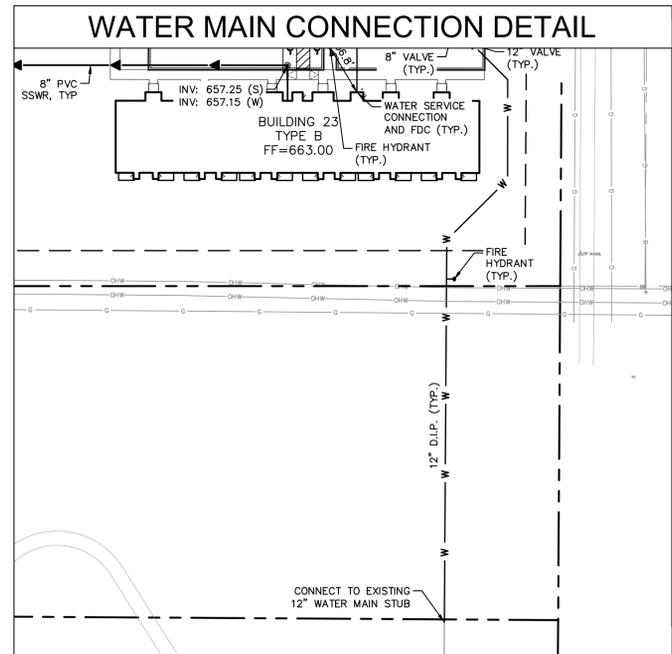
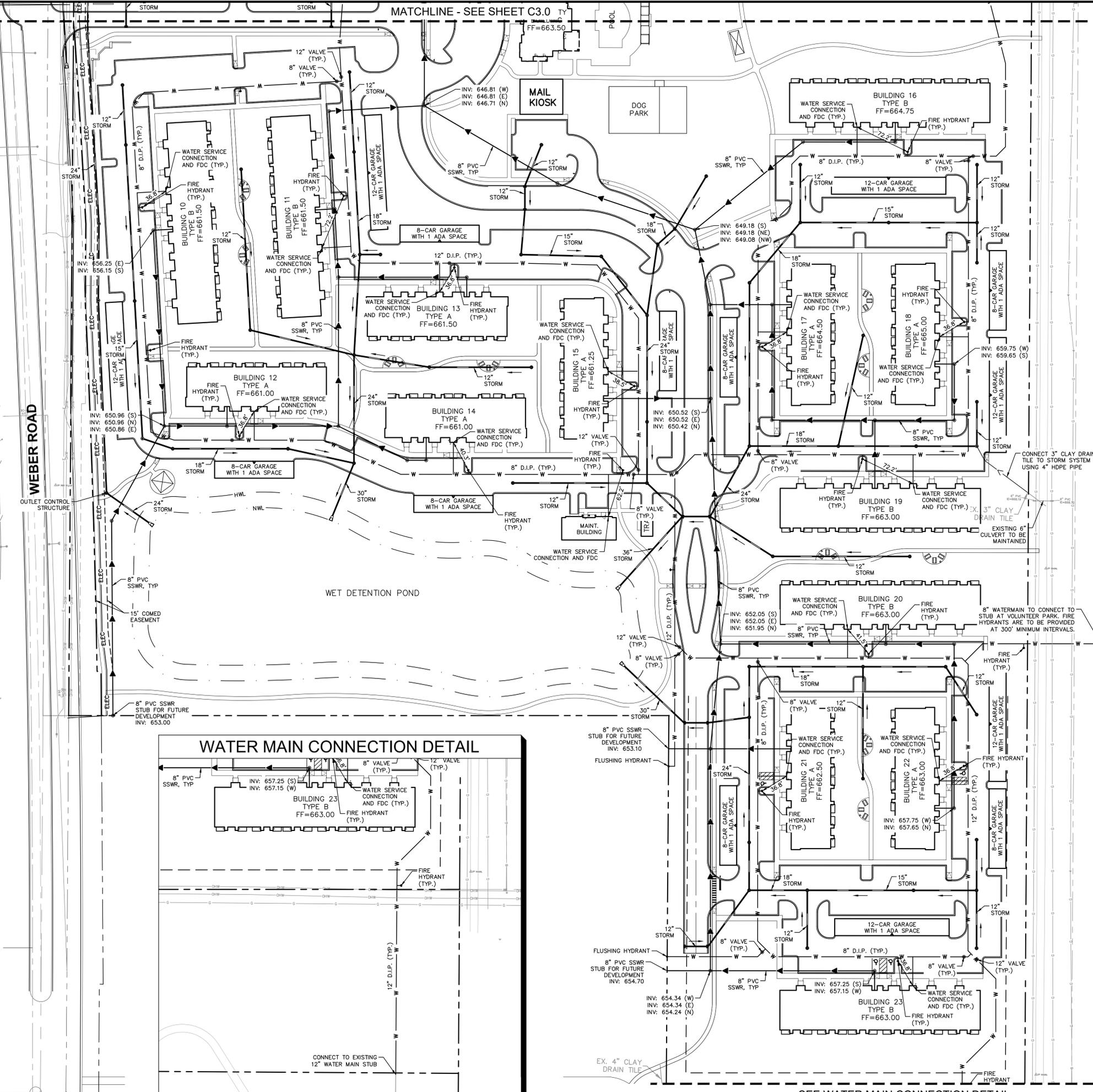
MATCHLINE - SEE SHEET C3.1

Drawing name: K:\CHE_LDEV\168511006_Edward Rose_Romeo\Drawings\C3.0_UTILITY_PLAN.dwg C3.1 Apr 30, 2024 4:42pm by Taylor Westendorf
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

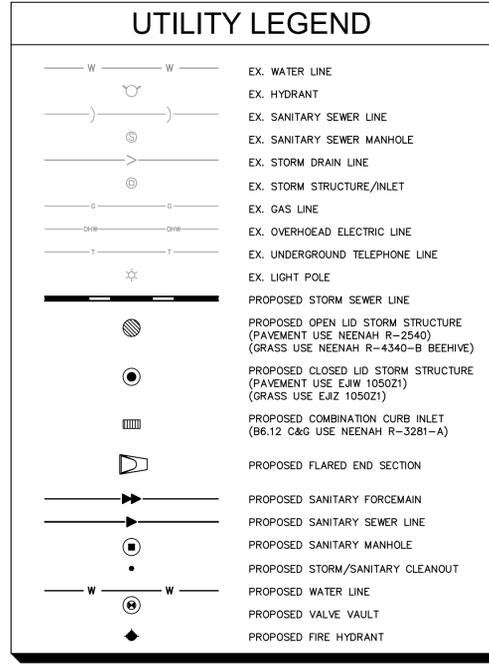
EXISTING OVERHEAD UTILITIES TO BE RELOCATED UNDERGROUND TO SOUTHWEST CORNER OF ADJACENT 8.9-ACRE PARCEL.
 WORK ACROSS ADJACENT PROPERTY SHALL HAVE A RECAPTURE AGREEMENT PER THE ANNEXATION AGREEMENT.



Call Before You Dig
JULIE
 1-800-892-0123



- ### UTILITY NOTES
- ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
 - ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
 - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND HIS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
 - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 - STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.



SCALE:	AS NOTED
DESIGNED BY:	TRW
DRAWN BY:	TRW
CHECKED BY:	WAW
REVISIONS:	DATE
BY	DATE
TRW	04/30/24
TRW	03/01/24
TRW	05/12/23
BY	DATE

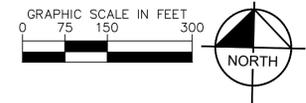
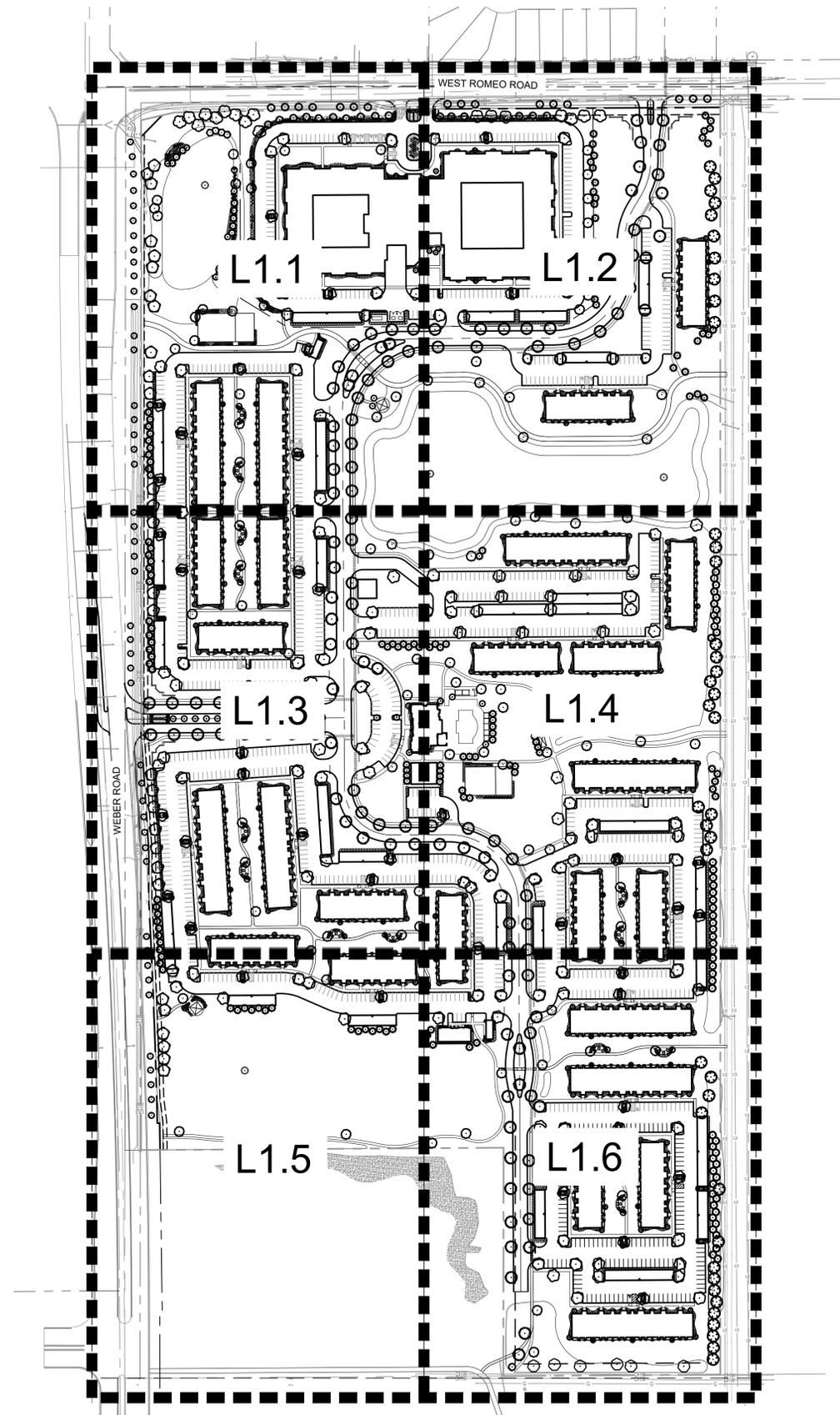
Kimley-Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600,
 WARRENVILLE, IL 60555
 WWW.KIMLEY-HORN.COM

EDWARD ROSE & SONS
 UTILITY PLAN

EDWARD ROSE & SONS - MIXED USE DEVELOPMENT
 SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEVILLE, IL

ORIGINAL ISSUE: 02/10/2023
 KHA PROJECT NO. 168511006
 SHEET NUMBER C3.1

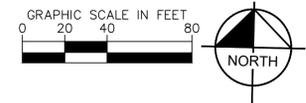
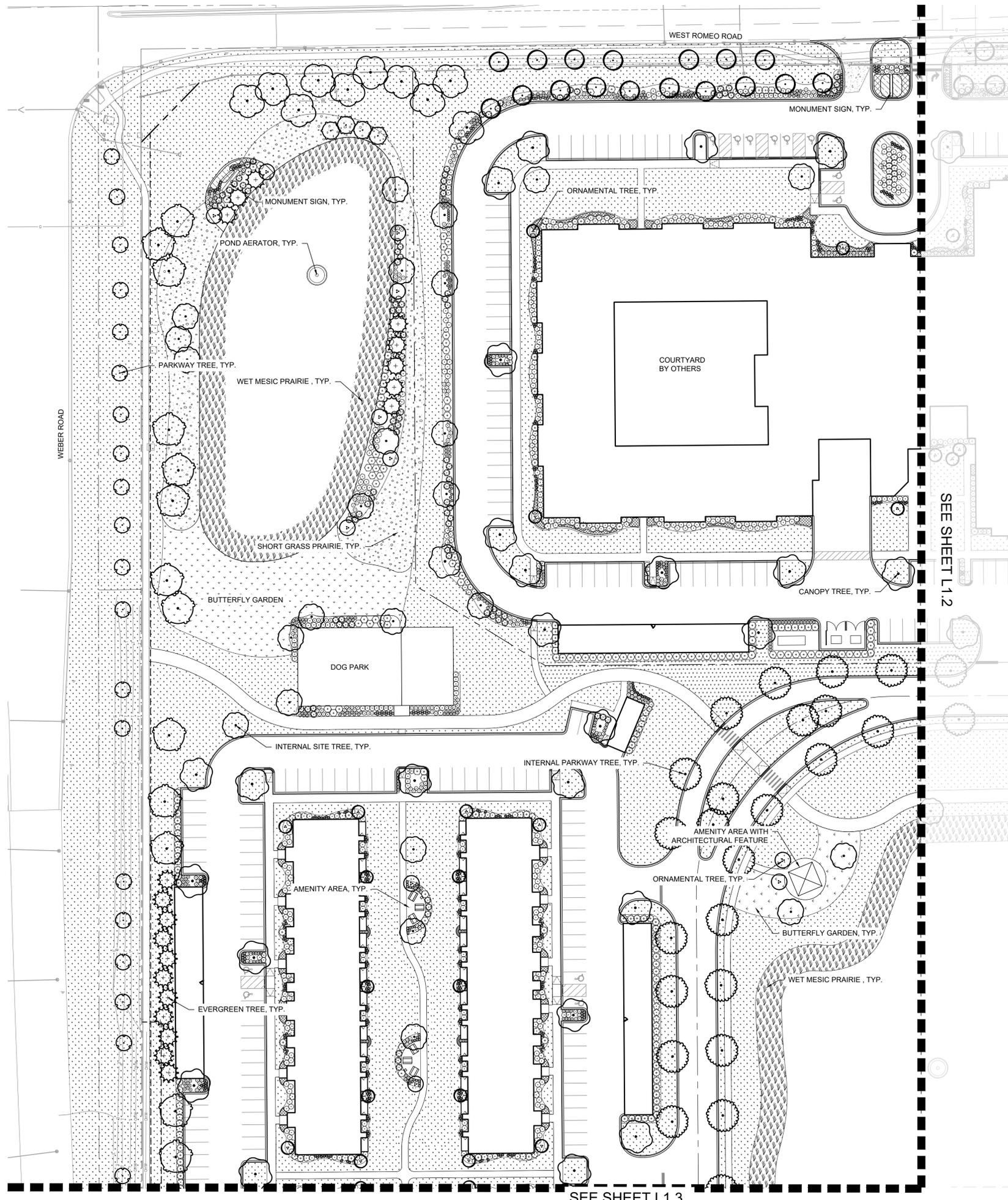
Drawing name: K:\CDS\LEDA\16851006_Edward Rose-Romeoville_IL - Weber and Romeo\2_Design\CAD\PlanSheets\L1.0_LANDSCAPE_PLAN.dwg L1.0 Apr 30, 2024 4:42pm by: Taylor Weisshoff
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ROMEDEVILLE, IL - LANDSCAPE CODE REQUIREMENTS		
ZONING ORDINANCE	REQUIRED	PROPOSED
SECTION 158.034 (D) - PUBLIC TREE PLANTING		
ALL PARKWAY OR PUBLIC RIGHT-OF-WAYS SHALL BE PLANTED WITH TREES A MINIMUM OF 30 FEET AND A MAXIMUM OF 50 FEET APART.	LENGTH ALONG ROMEO ROAD (NORTH, EXCLUDING DRIVEWAYS) = 1,077.96 LF 1,077.96 LF / 50 LF = 21.55 22 PARKWAY TREES REQUIRED ALONG ROMEO ROAD	32 TREES PROVIDED ADJACENT TO ROMEO ROAD.
	LENGTH ALONG WEBER ROAD (WEST, EXCLUDING DRIVEWAYS) = 2,115.05 LF 2,115.05 LF / 50 LF = 42.30 42 PARKWAY TREES REQUIRED ALONG WEBER ROAD	46 PARKWAY TREES PROVIDED ADJACENT TO WEBER ROAD.
SECTION 159.30 (D6) - ADDITIONAL PARKING LOT LANDSCAPING REQUIREMENTS		
INTERIOR PARKING LOT: THERE SHALL BE NO MORE THAN 20 CONTINUOUS PARKING SPACES WITHOUT A LANDSCAPE ISLAND. EACH LANDSCAPE ISLAND SHALL CONTAIN AT LEAST 1 CANOPY TREE.	TOTAL NUMBER OF PARKING SPACES = 1,293 PARKING SPACES 1,293 SPACES / 20 SPACES = 64.65 65 PARKING LOT TREES REQUIRED	148 PARKING LOT TREES PROVIDED THROUGHOUT THE SITE.
PARKING LOT PERIMETER - FRONT AND CORNER SIDE YARDS (ADJACENT TO RESIDENTIAL): CONTINUOUS LANDSCAPE SHALL BE PROVIDED ALONG NOT LESS THAN 100% OF THE PARKING LOT FRONTAGE. SUCH LANDSCAPING SHALL CONSIST OF ANY COMBINATION OF BERMS, SHADE AND ORNAMENTAL TREES, EVERGREENS, SHRUBBERY, HEDGES, AND/OR OTHER LIVE PLANTING MATERIAL.	FRONT YARD (ALONG ROMEO ROAD, NORTH) LENGTH OF PARKING PERIMETER = 189.11 LF 260.5 x 100% = 260.5 LF 261 LF OF PARKING LOT SCREENING REQUIRED	261 LF OF CONTINUOUS LANDSCAPE SCREENING PROPOSED
	FRONT YARD (ADJACENT TO WEBER ROAD, WEST) LENGTH OF PARKING PERIMETER = 1,323.77 LF 1,323.77 LF x 100% = 1,323.77 LF 1,487 LF OF PARKING LOT SCREENING REQUIRED	1,487 LF OF CONTINUOUS LANDSCAPE SCREENING PROPOSED
PARKING LOT PERIMETER - FRONT AND CORNER SIDE YARDS (NOT ADJACENT TO RESIDENTIAL): CONTINUOUS LANDSCAPE SHALL BE PROVIDED ALONG NOT LESS THAN 60% OF THE PARKING LOT FRONTAGE. SUCH LANDSCAPING SHALL CONSIST OF ANY COMBINATION OF BERMS, SHADE AND ORNAMENTAL TREES, EVERGREENS, SHRUBBERY, HEDGES, AND/OR OTHER LIVE PLANTING MATERIAL.	FRONT YARD (ADJACENT TO ROMEO ROAD, NORTH) LENGTH OF PARKING PERIMETER = 210.56 LF 222.58 LF x 60% = 133.5 LF 134 LF OF PARKING LOT SCREENING REQUIRED	223 LF OF LANDSCAPE SCREENING PROPOSED
	REAR YARD (SOUTH) LENGTH OF PARKING PERIMETER = 359.08 LF 281.2 LF x 50% = 140.6 LF 141 LF OF PARKING LOT SCREENING REQUIRED	282 LF OF EVERGREEN AND ORNAMENTAL TREE SCREENING.
PARKING LOT PERIMETER - REAR AND SIDE YARDS (NOT ADJACENT TO RESIDENTIAL): LANDSCAPING SHALL BE PROVIDED ACROSS NOT LESS THAN 50% OF THE PORTION OF THE PARKING LOT ABUTTING THE PROPERTY LINE. SUCH LANDSCAPING SHALL CONSIST OF ANY COMBINATION OF BERMS, SHADE AND ORNAMENTAL TREES, EVERGREENS, SHRUBBERY, HEDGES, AND/OR OTHER LIVE PLANTING MATERIAL.	REAR YARD (EAST) LENGTH OF PARKING LOT PERIMETER = 969.89 LF 856.6 LF x 50% = 428.3 LF 428 LF OF PARKING LOT SCREENING REQUIRED	824 LF OF CONTINUOUS LANDSCAPE SCREENING PROPOSED
	REAR YARD (WEST) LENGTH OF PARKING LOT PERIMETER = 969.89 LF 856.6 LF x 50% = 428.3 LF 428 LF OF PARKING LOT SCREENING REQUIRED	824 LF OF CONTINUOUS LANDSCAPE SCREENING PROPOSED
SECTION 159.30 (D8) - ADDITIONAL PERIMETER LANDSCAPING REQUIREMENTS		
MULTIPLE FAMILY RESIDENTIAL PROPERTY ABUTTING ANY ZONING DISTRICT: SHADE TREE SHALL BE PROVIDED AT THE EQUIVALENT OF NOT LESS THAN 1 FOR EACH 75 FEET OF FRONTAGE ALONG THE ABUTTING PROPERTY LINE. TREES MAY BE CLUSTERED BUT NOT SPACED MORE THAN 40 FEET APART. OTHER LANDSCAPING MATERIAL SHALL BE PROVIDED AT INTERMITTENT LOCATIONS ACROSS 50% OF THE ABUTTING PROPERTY LINE. SHRUBS SHALL BE PLACED IN CLUSTERS CONTAINING AT LEAST 7 PER CLUSTER, SPACED AT INTERVALS OF APPROXIMATELY 35 FEET ALONG THE ABUTTING PROPERTY LINE.	LENGTH OF NORTH PROPERTY LINE = 1,248.11 LF 1,248.11 LF / 75 LF = 16.64 = 17 SHADE TREES REQUIRED 1,248.11 LF x 0.50 = 624.05 = 624 LF OF LANDSCAPE REQUIRED	17 SHADE TREES PROVIDED ALONG NORTH BUFFER. 636 LF OF OTHER LANDSCAPE MATERIAL PROVIDED ON NORTH BUFFER
	LENGTH OF SOUTH PROPERTY LINE = 460.58 LF 460.58 LF / 75 LF = 6.14 = 6 SHADE TREES REQUIRED 460.58 LF x 50% = 230.29 = 230 LF OF LANDSCAPE REQUIRED	6 SHADE TREES PROVIDED 407 LF OF OTHER VEGETATION AND MEADOW MIX PROVIDED ON SOUTH BUFFER.
	LENGTH OF EAST PROPERTY LINE = 2,693.38 LF 2,693.38 LF / 75 LF = 35.91 = 36 SHADE TREES REQUIRED 2,693.38 LF x 50% = 1,346.69 = 1,347 LF OF LANDSCAPE REQUIRED	40 SHADE TREES PROVIDED ALONG EAST BUFFER. 1,870 LF OF OTHER VEGETATION AND MEADOW MIX PROVIDED ON EASTERN BUFFER
	LENGTH OF WEST PROPERTY LINE = 2,175.25 LF 2,175.25 LF / 75 = 29.0 = 29 SHADE TREES REQUIRED 2,175.25 LF x 50% = 1,087.62 = 1,088 LF OF LANDSCAPE REQUIRED	30 SHADE TREES PROVIDED ALONG WEST BUFFER. 1,088 LF OF OTHER LANDSCAPE MATERIAL PROVIDED ON WEST BUFFER

SCALE: AS NOTED	DESIGNED BY: TRW	DRAWN BY: TRW	CHECKED BY: WAW	NO.	DATE
				REVISED PER VILLAGE COMMENTS	04/30/24
				REVISED PER VILLAGE COMMENTS	03/01/24
				REVISED PER VILLAGE COMMENTS	05/12/23
				REVISIONS	BY
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, PHONE: 430-487-5550 WWW.KIMLEY-HORN.COM					
EDWARD ROSE & SONS					
OVERALL LANDSCAPE PLAN					
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEDEVILLE, IL					
ORIGINAL ISSUE: 02/10/2023					
KHA PROJECT NO. 16851006					
SHEET NUMBER					
L1.0					

Drawing name: K:\KHA\16851006_Edward Rose-Romeoville_IL - Weber and Romeo's Design\CAD\Plant\Sheet\1.0_LANDSCAPE_PLAN.dwg L1.1 Apr 30, 2024 4:42pm by Taylor Welterhoff
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, it is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CONCEPT PLANT SCHEDULE

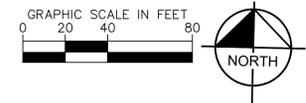
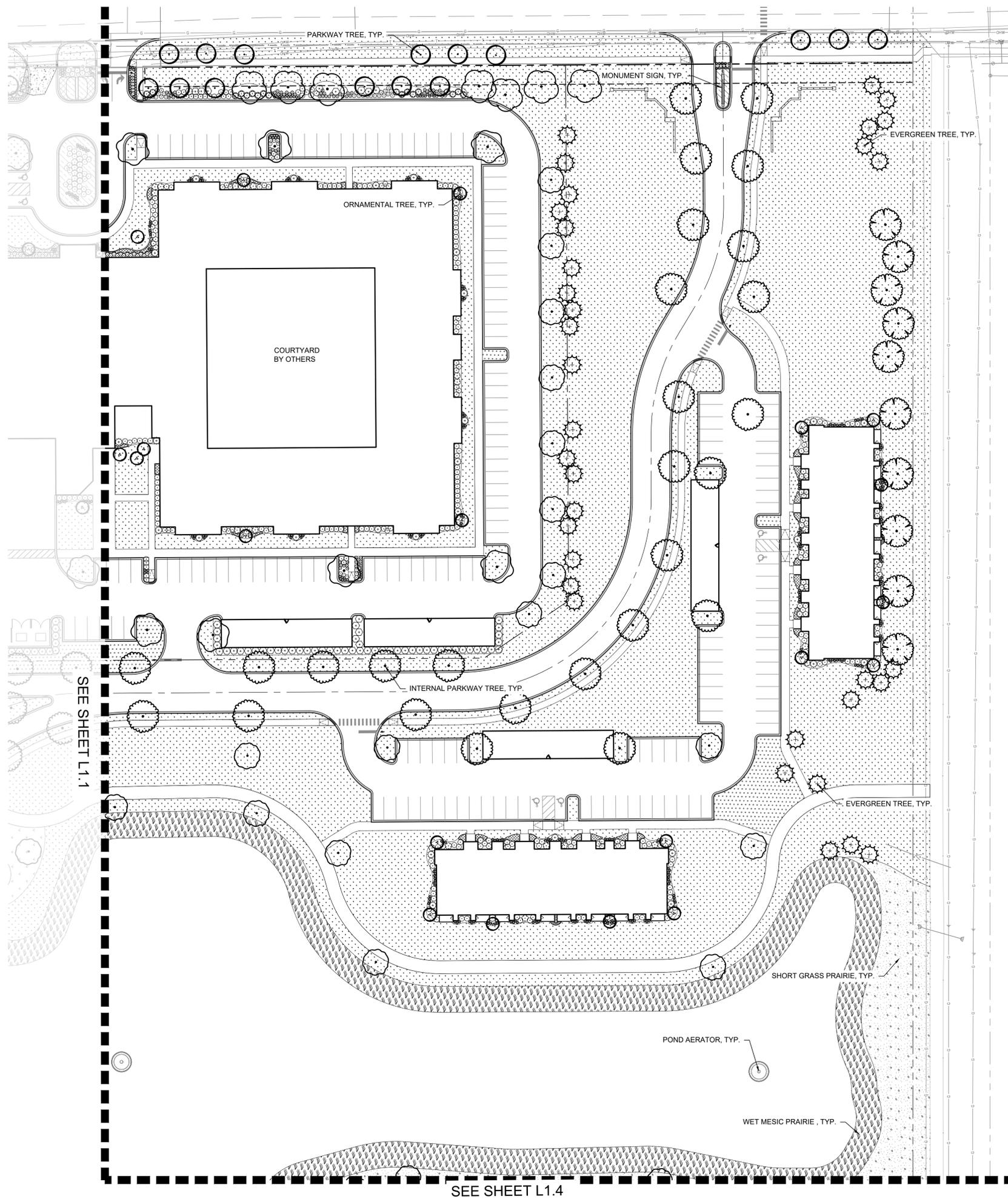
	ORNAMENTAL PARKWAY TREE - ROMEO ROAD	32		SMALL EVERGREEN SHRUB - BUFFER	665
	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB - BUFFER	183
	PARKWAY TREE - INTERNAL	122		SMALL SHRUB - BUFFER	471
	CANOPY TREE - PARKING LOT	148		ORNAMENTAL GRASS - BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		BUTTERFLY MEADOW SEED MIX	
	EVERGREEN TREE - WEST PARKING PERIMETER SCREENING	37		WET TO MESIC PRAIRIE SEED MIX	
	EVERGREEN TREE - EAST PARKING PERIMETER SCREENING	50			
	INTERNAL SITE TREE	101			
	INTERNAL SITE EVERGREEN TREE	107			
	INTERNAL SITE ORNAMENTAL TREE	42			
	ORNAMENTAL NORTH ZONING BUFFER	4			
	CANOPY TREE - SOUTH ZONING BUFFER	6			
	EVERGREEN SHRUB - FOUNDATION	338			
	LARGE SHRUB - FOUNDATION	379			
	MEDIUM SHRUB - FOUNDATION	2,109			
	SMALL SHRUB - FOUNDATION	321			
	ORNAMENTAL GRASS - FOUNDATION	2,521			
	SMALL EVERGREEN SHRUB - FOUNDATION	259			
	EVERGREEN SHRUB - BUFFER	520			
	MEDIUM SHRUB - BUFFER	309			
	SMALL EVERGREEN SHRUB - BUFFER	665			

SEE SHEET L1:2

SEE SHEET L1.3

SCALE: AS NOTED DESIGNED BY: TRE DRAWN BY: TRW CHECKED BY: WAW		LANDSCAPE PLAN	EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL	ORIGINAL ISSUE: 02/10/2023 KHA PROJECT NO. 16851006 SHEET NUMBER L1.1	REVISIONS No. DATE BY 04/30/24 TRW 03/01/24 TRW 05/12/23 TRW

Drawing name: K:\CDS_LEDA\16851006_Edward Rose-Romeoville_IL - Weber and Romeo2 Design\CD\PlanSheet\L1.0_LANDSCAPE_PLAN.dwg L1.2 Apr 30, 2024 4:45pm by Taylor Welschhoff
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

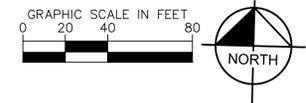
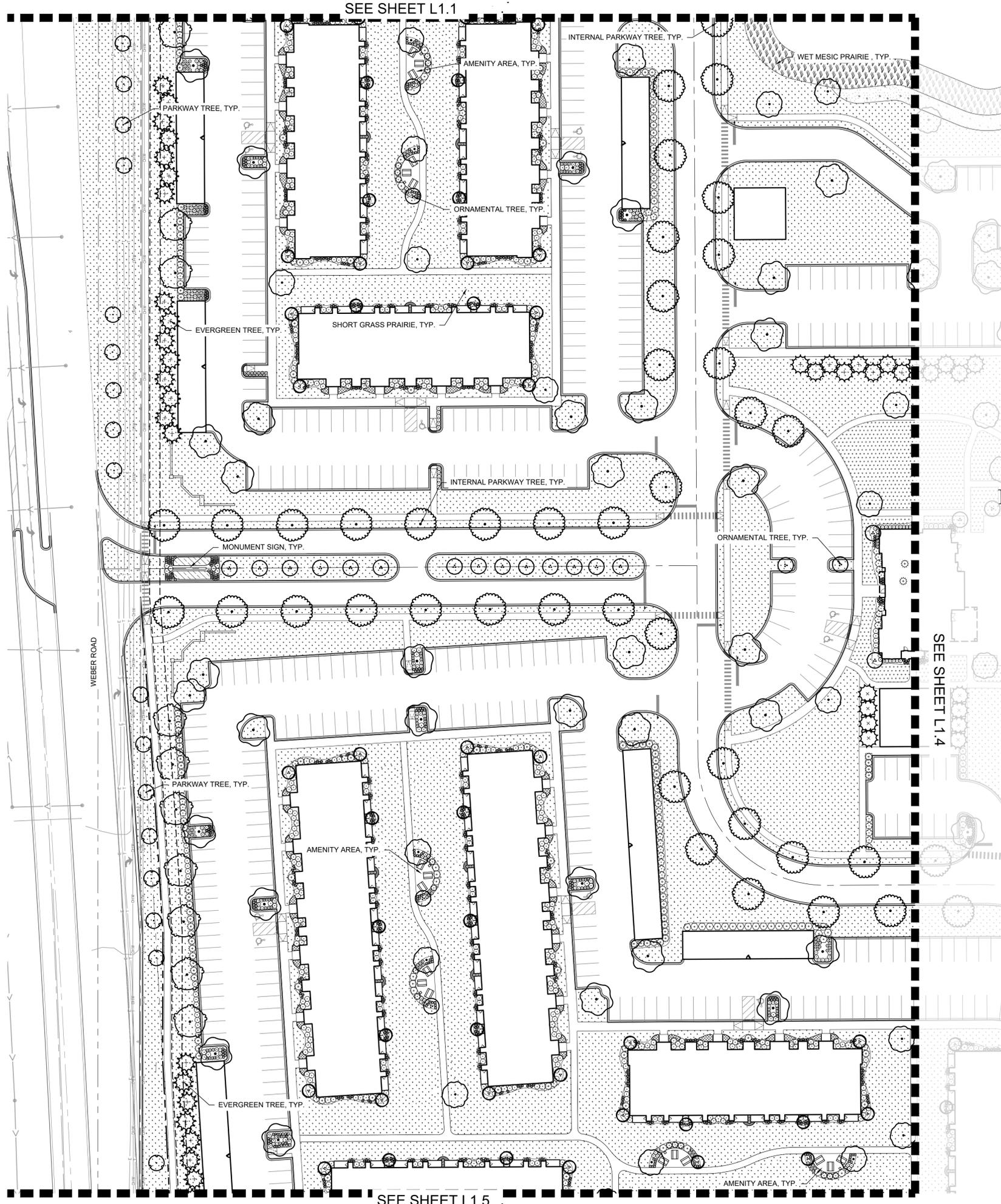


CONCEPT PLANT SCHEDULE

	ORNAMENTAL PARKWAY TREE - ROMEO ROAD	32		SMALL EVERGREEN SHRUB - BUFFER	665
	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB - BUFFER	183
	PARKWAY TREE - INTERNAL	122		SMALL SHRUB - BUFFER	471
	CANOPY TREE - PARKING LOT	148		ORNAMENTAL GRASS - BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		BUTTERFLY MEADOW SEED MIX	
	EVERGREEN TREE - WEST PARKING PERIMETER SCREENING	37		WET TO MESIC PRAIRIE SEED MIX	
	EVERGREEN TREE - EAST PARKING PERIMETER SCREENING	50			
	INTERNAL SITE TREE	101			
	INTERNAL SITE EVERGREEN TREE	107			
	INTERNAL SITE ORNAMENTAL TREE	42			
	ORNAMENTAL NORTH ZONING BUFFER	4			
	CANOPY TREE - SOUTH ZONING BUFFER	6			
	EVERGREEN SHRUB - FOUNDATION	338			
	LARGE SHRUB - FOUNDATION	379			
	MEDIUM SHRUB - FOUNDATION	2,109			
	SMALL SHRUB - FOUNDATION	321			
	ORNAMENTAL GRASS - FOUNDATION	2,521			
	SMALL EVERGREEN SHRUB - FOUNDATION	259			
	EVERGREEN SHRUB - BUFFER	520			
	MEDIUM SHRUB - BUFFER	309			
	SMALL EVERGREEN SHRUB - BUFFER	665			

SCALE: AS NOTED	DESIGNED BY: TRE	DRAWN BY: TRW	CHECKED BY: WAW	REVISED PER VILLAGE COMMENTS	DATE	BY
				04/30/24	TRW	
				03/01/24	TRW	
				05/12/23	TRW	
Kimley»Horn				© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		
EDWARD ROSE & SONS						
LANDSCAPE PLAN						
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT						
SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL						
ORIGINAL ISSUE: 02/10/2023						
KHA PROJECT NO. 168511006						
SHEET NUMBER						
L1.2						

Drawing name: K:\068\16851006_Edward Rose-Romeoville_IL - Weber and Romeo's Design\06851006_LANDSCAPE PLAN.dwg L1.3 Apr 30, 2024 4:45pm by Taylor Weisbrodt
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

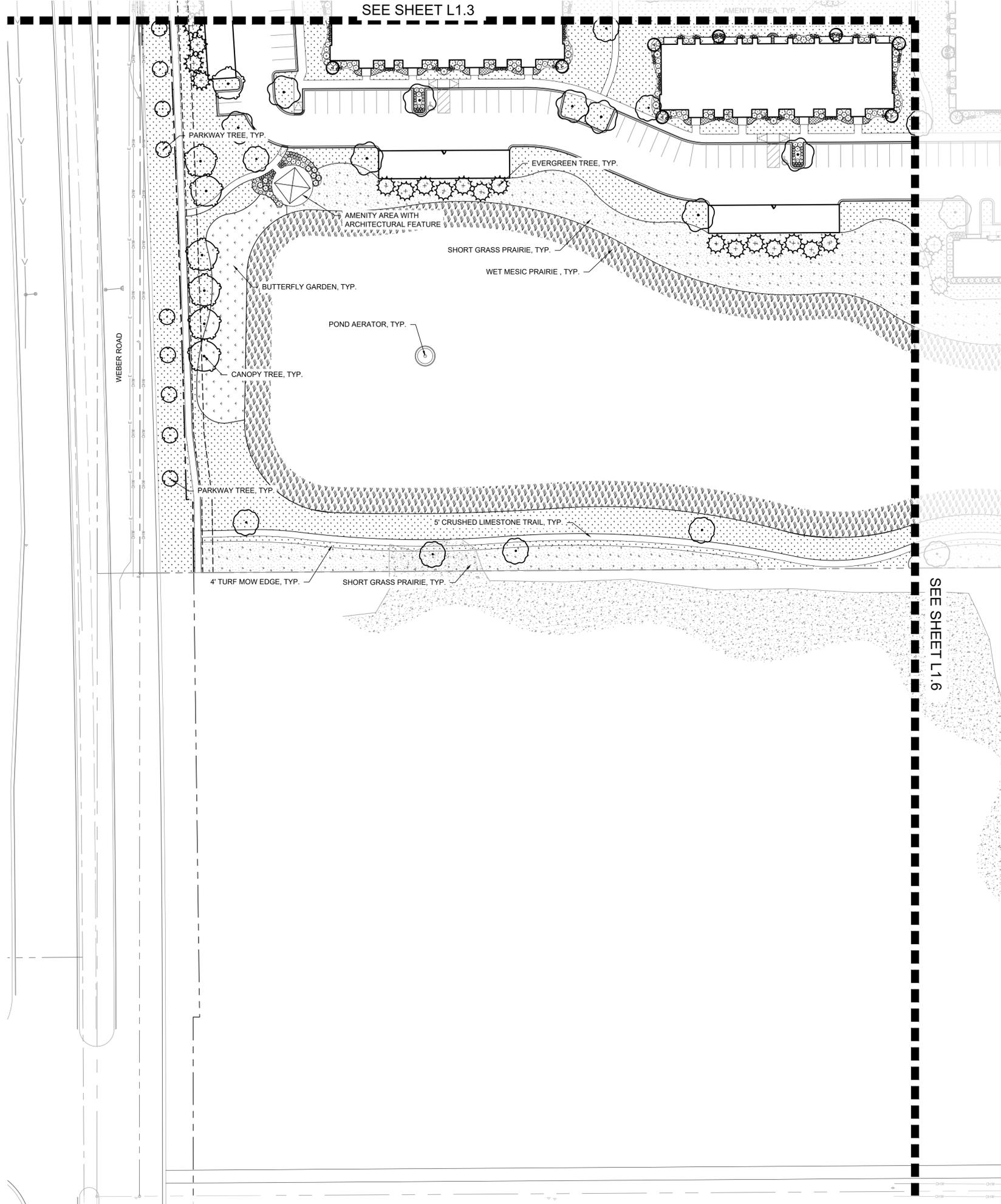


CONCEPT PLANT SCHEDULE

	ORNAMENTAL PARKWAY TREE - ROMEO ROAD	32		SMALL EVERGREEN SHRUB - BUFFER	665
	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB - BUFFER	183
	PARKWAY TREE - INTERNAL	122		SMALL SHRUB - BUFFER	471
	CANOPY TREE - PARKING LOT	148		ORNAMENTAL GRASS - BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		BUTTERFLY MEADOW SEED MIX	
	EVERGREEN TREE - WEST PARKING PERIMETER SCREENING	37		WET TO MESIC PRAIRIE SEED MIX	
	EVERGREEN TREE - EAST PARKING PERIMETER SCREENING	50			
	INTERNAL SITE TREE	101			
	INTERNAL SITE EVERGREEN TREE	107			
	INTERNAL SITE ORNAMENTAL TREE	42			
	ORNAMENTAL NORTH ZONING BUFFER	4			
	CANOPY TREE - SOUTH ZONING BUFFER	6			
	EVERGREEN SHRUB - FOUNDATION	338			
	LARGE SHRUB - FOUNDATION	379			
	MEDIUM SHRUB - FOUNDATION	2,109			
	SMALL SHRUB - FOUNDATION	321			
	ORNAMENTAL GRASS - FOUNDATION	2,521			
	SMALL EVERGREEN SHRUB - FOUNDATION	259			
	EVERGREEN SHRUB - BUFFER	520			
	MEDIUM SHRUB - BUFFER	309			
	SMALL EVERGREEN SHRUB - BUFFER	665			

SCALE: AS NOTED	DESIGNED BY: TRE	DRAWN BY: TRW	CHECKED BY: WAW	NO.	DATE	BY
				REVISIONS		
				04/30/24	TRW	
<small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, PHONE: 330-487-5550 WWW.KIMLEY-HORN.COM</small>				03/01/24	TRW	
				05/12/23	TRW	
LANDSCAPE PLAN						
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT						
<small>SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL</small>						
<small>ORIGINAL ISSUE: 02/10/2023</small>						
<small>KHA PROJECT NO. 168511006</small>						
<small>SHEET NUMBER</small>						
L1.3						

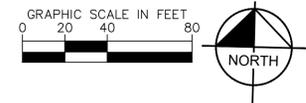
Drawing name: K:\CDS_LEDA\16851006_Edward Rose-Romeoville_IL - Weber and Romeo\2_Design\CD\PlanSheet\L1.0_LANDSCAPE_PLAN.dwg L1.5 Apr 30, 2024 4:45pm by Taylor Wasthoff
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SEE SHEET L1.3

AMENITY AREA TYP.

SEE SHEET L1.6

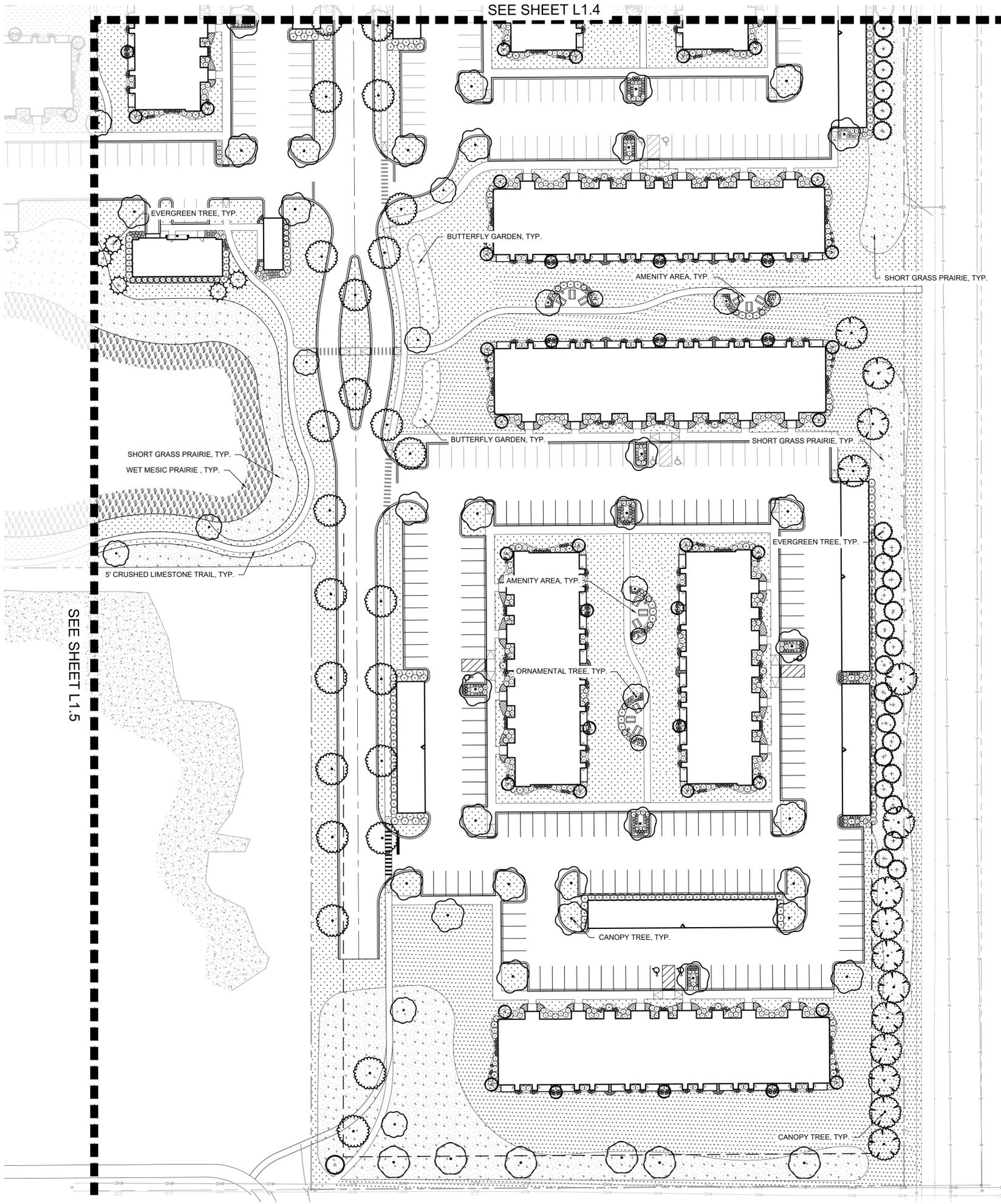


CONCEPT PLANT SCHEDULE

	ORNAMENTAL PARKWAY TREE - ROMEO ROAD	32		SMALL EVERGREEN SHRUB- BUFFER	665
	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB- BUFFER	183
	PARKWAY TREE - INTERNAL	122		SMALL SHRUB- BUFFER	471
	CANOPY TREE - PARKING LOT	148		ORNAMENTAL GRASS- BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		BUTTERFLY MEADOW SEED MIX	
	EVERGREEN TREE - WEST PARKING PERIMETER SCREENING	37		WET TO MESIC PRAIRIE SEED MIX	
	EVERGREEN TREE - EAST PARKING PERIMETER SCREENING	50			
	INTERNAL SITE TREE	101			
	INTERNAL SITE EVERGREEN TREE	107			
	INTERNAL SITE ORNAMENTAL TREE	42			
	ORNAMENTAL NORTH ZONING BUFFER	4			
	CANOPY TREE - SOUTH ZONING BUFFER	6			
	EVERGREEN SHRUB - FOUNDATION	338			
	LARGE SHRUB - FOUNDATION	379			
	MEDIUM SHRUB - FOUNDATION	2,109			
	SMALL SHRUB - FOUNDATION	321			
	ORNAMENTAL GRASS - FOUNDATION	2,521			
	SMALL EVERGREEN SHRUB - FOUNDATION	259			
	EVERGREEN SHRUB- BUFFER	520			
	MEDIUM SHRUB- BUFFER	309			
	SMALL EVERGREEN SHRUB- BUFFER	665			

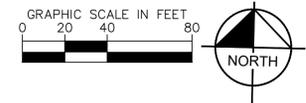
SCALE: AS NOTED	DESIGNED BY: TRE	DRAWN BY: TRW	CHECKED BY: WAW	No.		
				REVISED PER VILLAGE COMMENTS	04/30/24	TRW
				REVISED PER VILLAGE COMMENTS	03/01/24	TRW
				REVISED PER VILLAGE COMMENTS	05/12/23	TRW
				REVISIONS	DATE	BY
Kimley»Horn						
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, PHOENIX, AZ 85044-4877 WWW.KIMLEY-HORN.COM						
EDWARD ROSE & SONS						
LANDSCAPE PLAN						
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT						
SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL						
ORIGINAL ISSUE: 02/10/2023						
KHA PROJECT NO. 168511006						
SHEET NUMBER						
L1.5						

Drawing name: K:\006_L26\16851006_Edward Rose-Romeoville_IL - Weber and Rose\2 Design\CAD\Plan\Sheet\1.0_LANDSCAPE_PLAN.dwg L1.6 Apr 30, 2024 4:42pm by Taylor Weisbrodt
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SEE SHEET L1.4

SEE SHEET L1.5



CONCEPT PLANT SCHEDULE

	ORNAMENTAL PARKWAY TREE - ROMEO ROAD	32		SMALL EVERGREEN SHRUB - BUFFER	665
	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB - BUFFER	183
	PARKWAY TREE - INTERNAL	122		SMALL SHRUB - BUFFER	471
	CANOPY TREE - PARKING LOT	148		ORNAMENTAL GRASS - BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		BUTTERFLY MEADOW SEED MIX	
	EVERGREEN TREE - WEST PARKING PERIMETER SCREENING	37		WET TO MESIC PRAIRIE SEED MIX	
	EVERGREEN TREE - EAST PARKING PERIMETER SCREENING	50			
	INTERNAL SITE TREE	101			
	INTERNAL SITE EVERGREEN TREE	107			
	INTERNAL SITE ORNAMENTAL TREE	42			
	ORNAMENTAL NORTH ZONING BUFFER	4			
	CANOPY TREE - SOUTH ZONING BUFFER	6			
	EVERGREEN SHRUB - FOUNDATION	338			
	LARGE SHRUB - FOUNDATION	379			
	MEDIUM SHRUB - FOUNDATION	2,109			
	SMALL SHRUB - FOUNDATION	321			
	ORNAMENTAL GRASS - FOUNDATION	2,521			
	SMALL EVERGREEN SHRUB - FOUNDATION	259			
	EVERGREEN SHRUB - BUFFER	520			
	MEDIUM SHRUB - BUFFER	309			
	SMALL EVERGREEN SHRUB - BUFFER	665			

NO.	REVISIONS	DATE	BY
1	REVISED PER VILLAGE COMMENTS	04/30/24	TRW
2	REVISED PER VILLAGE COMMENTS	03/01/24	TRW
3	REVISED PER VILLAGE COMMENTS	05/12/23	TRW

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600,
 PHONE: 330-487-5550
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
 DESIGNED BY: TRE
 DRAWN BY: TRW
 CHECKED BY: WAW



LANDSCAPE PLAN

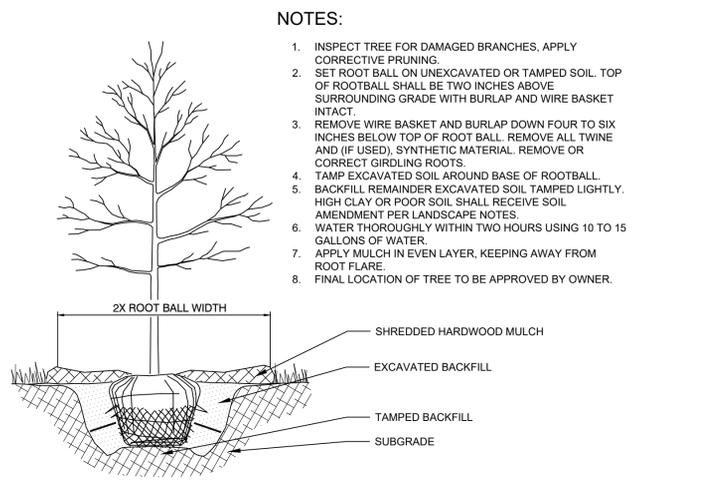
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT
 SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL

ORIGINAL ISSUE: 02/10/2023
 KHA PROJECT NO. 168511006

SHEET NUMBER

L1.6

Drawing name: K:\CDS\LEVA\16851006_Edward Rose-Roseville, IL - Weber and Rose\2_Design\CAD\Planting\1.0_LANDSCAPE PLANNING_LANDSCAPE NOTES & DETAILS - Apr 30, 2024, 4:42pm by: Taylor Westerkoff
 This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

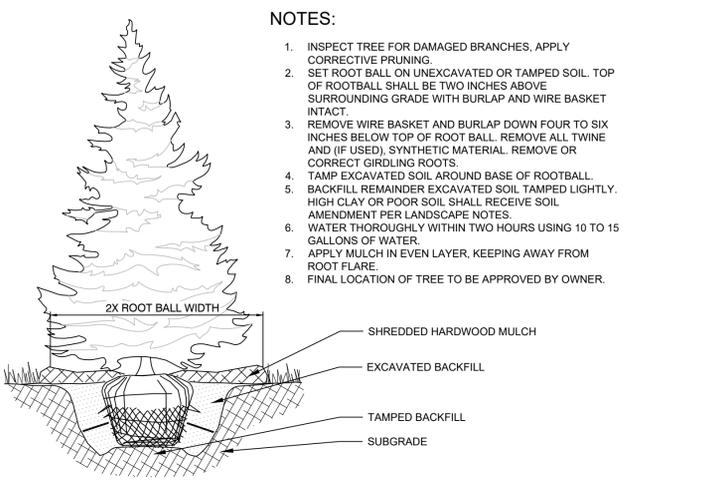


- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
 3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
 4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
 5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
 6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
 7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
 8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

1 TREE PLANTING NTS

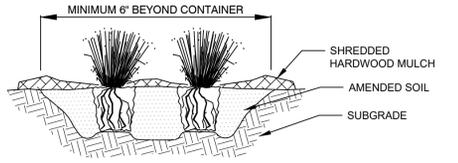
LANDSCAPE MATERIAL SELECTION LIST (SUBJECT TO CHANGE)

COMMON NAME	BOTANICAL NAME	SIZE
CANOPY TREES		
KENTUCKY COFFEE TREE	<i>GYMNOCLADUS DIOCUS</i>	2.5" CALIPER
SWAMP WHITE OAK	<i>QUERCUS BICOLOR</i>	2.5" CALIPER
BURR OAK	<i>QUERCUS MACROCARPA</i>	2.5" CALIPER
SHADEMASTER HONEY LOCUST	<i>GLEDTISIA TRIACANTHOS INEMIS 'SHADEMASTER'</i>	2.5" CALIPER
ACCOLADE ELM	<i>ULMUS X 'MORTON'</i>	2.5" CALIPER
COMMON HACKBERRY	<i>CELTIS OCCIDENTALIS</i>	2.5" CALIPER
AMERICAN ELM	<i>ULMUS AMERICANA</i>	2.5" CALIPER
REDPOINTE MAPLE	<i>ACER RUBRUM 'REDPOINTE'</i>	2.5" CALIPER
BOULEVARD AMERICAN LINDEN	<i>TILIA AMERICANA 'BOULEVARD'</i>	2.5" CALIPER
GINGKO	<i>GINGKO BILOBA</i>	2.5" CALIPER
FRONTIER ELM	<i>ULMUS 'FRONTIER'</i>	2.5" CALIPER
JAPANESE ZELKOVA	<i>ZELKOVA SERRATA</i>	2.5" CALIPER
BALD CYPRESS	<i>TAXODIUM DISTICHUM</i>	2.5" CALIPER
ORNAMENTAL TREES		
IVORY SILK JAPANESE LILAC	<i>SYRINGIA RETICULATA 'IVORY SILK'</i>	6' HEIGHT
EASTERN REDBUD	<i>CERCIS CANADENSIS</i>	6' HEIGHT
THORNLESS COCKSPUR HAWTHORN	<i>CRATAEGUS CRUS-GALLI 'INERMIS'</i>	6' HEIGHT
DOWNY SERVICEBERRY	<i>AMELANCHIER ARBOREA</i>	6' HEIGHT
FLOWERING DOGWOOD	<i>CORNUS FLORIDA</i>	6' HEIGHT
PRAIRIE FIRE CRABAPPLE	<i>MALUS X 'PRAIRIFIRE'</i>	6' HEIGHT
EVERGREEN TREES		
WHITE PINE	<i>PINUS STROBUS</i>	6' HEIGHT
NORWAY SPRUCE	<i>PICEA ABIES</i>	6' HEIGHT
FAIRVIEW JUNIPER	<i>JUNIPERUS CHINENSIS</i>	6' HEIGHT
DOUGLAS FIR	<i>PSEUDOTSUGA MENZIESII</i>	6' HEIGHT
CONCOLOR FIR	<i>ABIES CONCOLOR</i>	6' HEIGHT
EASTERN RED CEDAR	<i>JUNIPERUS VIRGINIANA</i>	6' HEIGHT
NORTHERN WHITE CEDAR	<i>THUJA OCCIDENTALIS</i>	6' HEIGHT
SHRUBS		
IROQUIS BLACK CHOKEBERRY	<i>ARONIA MELANOCARPA 'MORTON' TM</i>	18" HEIGHT
KOREAN SPICE VIBURNUM	<i>VIBURNUM CARLESSI</i>	24" HEIGHT
CATO DOGWOOD	<i>CORNUS SANGUINEA</i>	18" HEIGHT
YELLOW DOGWOOD	<i>CORNUS STOLONIFERA FLAUIRAMEA</i>	24" HEIGHT
NORTHERN SPICEBUSH	<i>LINDERA BENZOIN</i>	18" HEIGHT
SUMMERSWEET CLETHRA	<i>CLETHRA ALNIFOLIA</i>	18" HEIGHT
BIRCHLEAF SPIREA	<i>SPIREA BETULIFOLIA</i>	18" HEIGHT
VIRGINIA SWEETSPIRE	<i>ITEA VIRGINICA 'MORTON'</i>	18" HEIGHT
WIGELIA DARK HORSE	<i>WIGELIA FLORIDA 'DARK HORSE'</i>	24" HEIGHT
BLUE MUFFIN VIBURNUM	<i>VIBURNUM DENTATUM 'BLUE MUFFIN'</i>	24" HEIGHT
HOLMSTRUP ARBORVITAE	<i>THUJA OCCIDENTALIS 'HOLSTRUP'</i>	36" HEIGHT
DWARF FOTHERGILLA	<i>FOTHERGILLA GARDENII</i>	24" HEIGHT
GRO-LOW FRAGRANT SUMAC	<i>RHUS AROMATICA 'GRO-LOW'</i>	18" HEIGHT
NEW JERSEY TEA	<i>CEANOTHUS AMERICANUS</i>	18" HEIGHT
SMOOTH HYDRANGEA	<i>HYDRANGEA ARBORESCENS 'ANABELLE'</i>	36" HEIGHT
MISS KIM LILAC	<i>SYRINGIA PATULA 'MISS KIM'</i>	24" HEIGHT
BLUE RUG JUNIPER	<i>JUNIPERUS HORIZONTALIS 'WILTONII'</i>	6" HEIGHT
AMERICAN CRANBERRY-BUSH	<i>VIBURNUM OPULUS VAR. AMERICANUM</i>	36" HEIGHT
GREEN MOUND ALPINE CURRANT	<i>RIBES ALPINUM 'GREEN MOUND'</i>	18" HEIGHT
MORTON BOXWOOD	<i>BUXUS HYBRIDS</i>	18" HEIGHT
DENSE SPREADING YEW	<i>TAXUS X MEDIA DENSIFORMIS</i>	24" HEIGHT
LITTLE LIME HYDRANGEA	<i>HYDRANGEA PANICULATA</i>	18" HEIGHT
EVERGREEN SHRUBS		
FIRE CHIEF ARBORVITAE	<i>THUJA OCCIDENTALIS 'CONGABE' TM</i>	24" HEIGHT
SEA GREEN JUNIPER	<i>JUNIPERUS X PFITZERIANA</i>	36" HEIGHT
KALLAY'S COMPACT PFIZER JUNIPER	<i>JUNIPERUS X PFITZERIANA 'KALLAY'S COMPACT'</i>	24" HEIGHT
GRASSES		
KARL FORESTER	<i>CALAMAGROSTIS X ACUTIFLORA</i>	18" HEIGHT
LITTLE BUNNY FOUNTAIN GRASS	<i>PENNISSETUM ALOPECUROIDES</i>	12" HEIGHT
HEAVY METAL SWITCHGRASS	<i>PANICUM VIRGATUM</i>	18" HEIGHT
PRAIRIE DROPSOED	<i>SPOROBOLUS HETEROLEPIS</i>	12" HEIGHT



- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
 3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
 4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
 5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
 6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
 7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
 8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

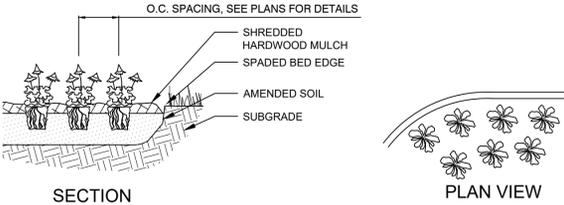
2 EVERGREEN TREE PLANTING NTS



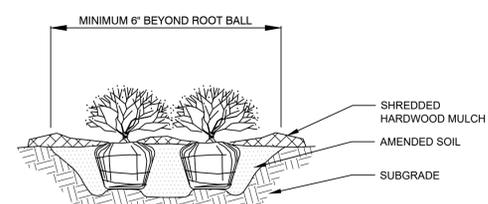
- NOTES:**
1. APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF CONTAINER SHALL BE ONE INCH ABOVE SURROUNDING GRADE.
 3. SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN GRASSES, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
 4. REMOVE OR CORRECT GIRDLING ROOTS.
 5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR GRASS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

4 ORNAMENTAL GRASS PLANTING NTS

- NOTES:**
1. EXCAVATE PLANTING BED.
 2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
 3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
 2. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
 3. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
 4. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.
 5. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



5 PERENNIAL PLANTING NTS



- NOTES:**
1. APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
 3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
 4. REMOVE OR CORRECT GIRDLING ROOTS.
 5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

3 SHRUB PLANTING NTS

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
5. ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
6. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
7. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
8. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
9. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
10. TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
11. PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS.
12. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
13. EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
14. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
15. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
16. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
17. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.
18. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
19. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

6 LANDSCAPE NOTES NTS

SCALE: AS NOTED	DESIGNED BY: TRE	DRAWN BY: TRW	CHECKED BY: WAW	REVISED PER VILLAGE COMMENTS	04/30/24	TRW	BY
				REVISED PER VILLAGE COMMENTS	03/01/24	TRW	DATE
				REVISED PER VILLAGE COMMENTS	05/12/23	TRW	
				REVISED PER VILLAGE COMMENTS			
Kimley»Horn							
© 2024, KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WASHINGTON, DC 20007 PHONE: 301-487-5550 WWW.KIMLEY-HORN.COM							
EDWARD ROSE & SONS							
LANDSCAPE NOTES & DETAILS							
EDWARD ROSE & SONS - MIXED USE DEVELOPMENT							
SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEVILLE, IL							
ORIGINAL ISSUE: 02/10/2023							
KHA PROJECT NO. 168511006							
SHEET NUMBER							
L2.0							