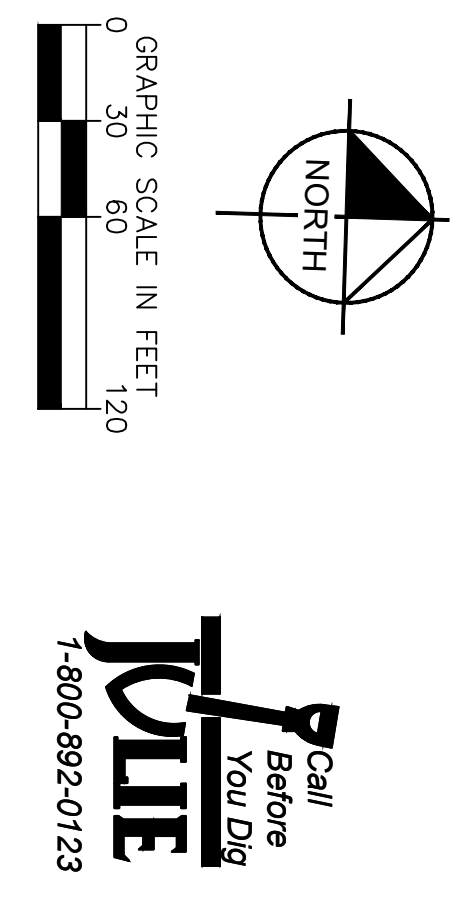
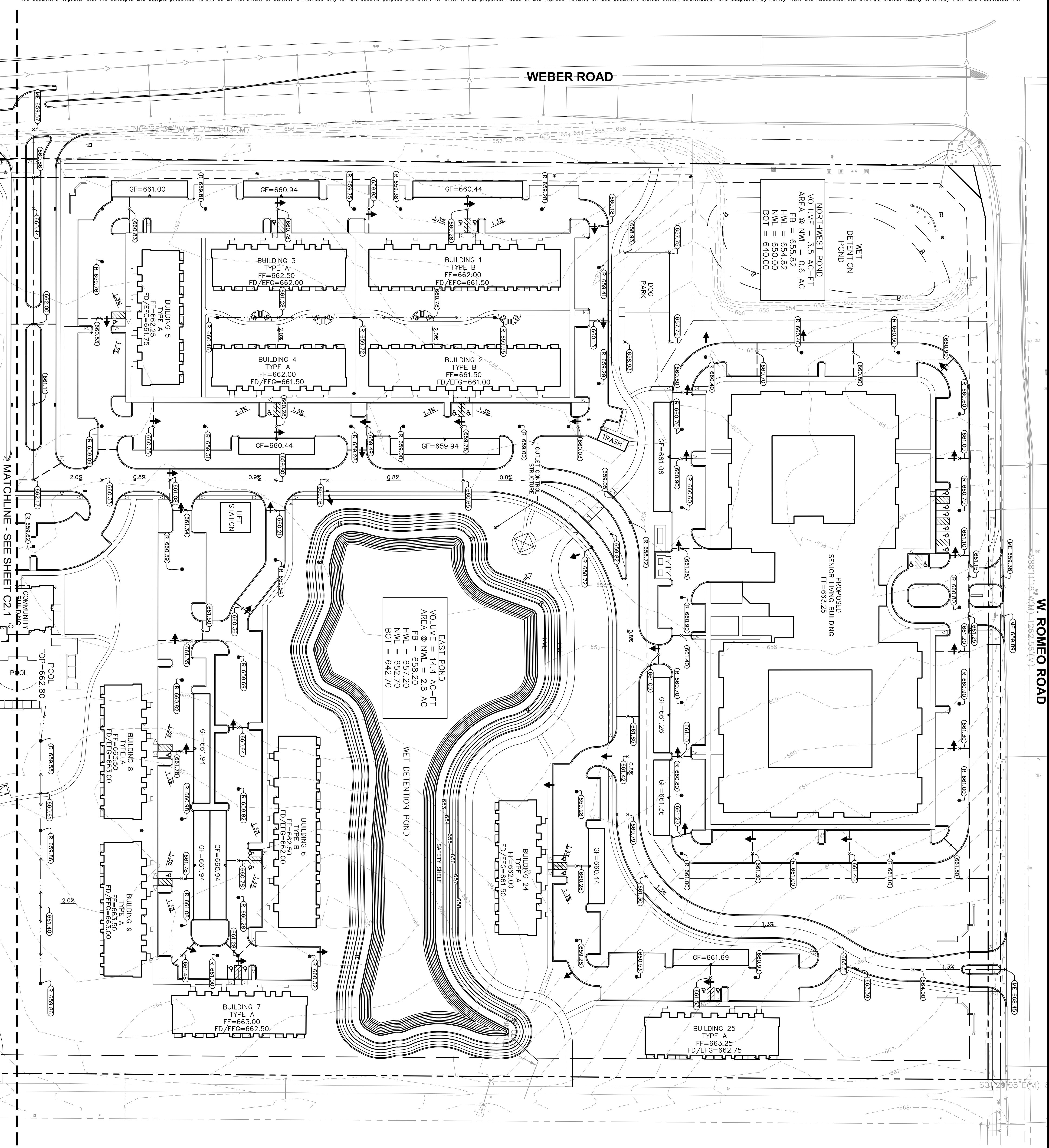


Exhibit C-6 "Stormwater Management Facility Design and Landscaping Plan"

Drawing name: K:\HS_LDEV\168511006_Edward_Rose_Romeoville_IL - Weber and Romeo\2 Design\CAD\PlanSheets\C2.0 GRADING PLAN.dwg C2.0 Apr 30, 2024 4:42pm by: Taylor.Westerhoff
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



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- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAYMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN PERTAIN TO FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXISTING UTILITIES, UNDERGROUND AND ABOVEGROUND UTILITIES, AND TO ENSURE ADEQUATE CLEARANCE TO PROPERLY ENSURE ADEQUATE OUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAINTAIN SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL DRIVEWAYS AND ACCESSIBLE ROUTES.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

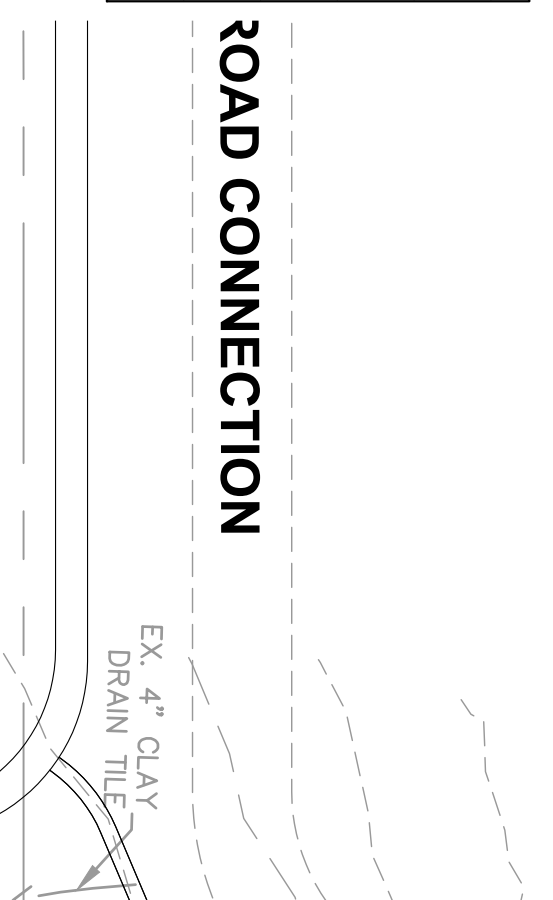
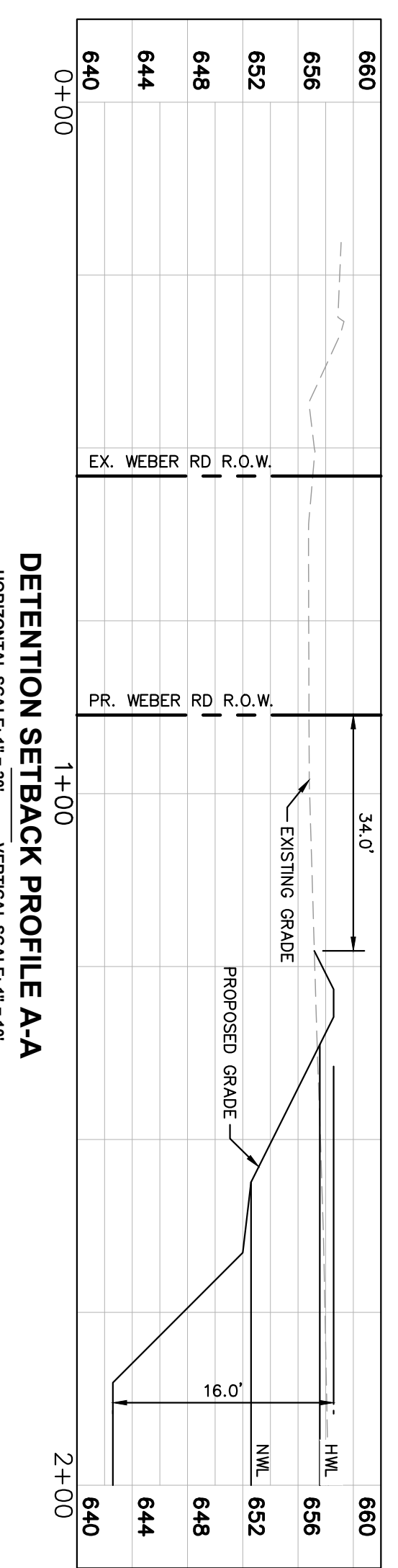
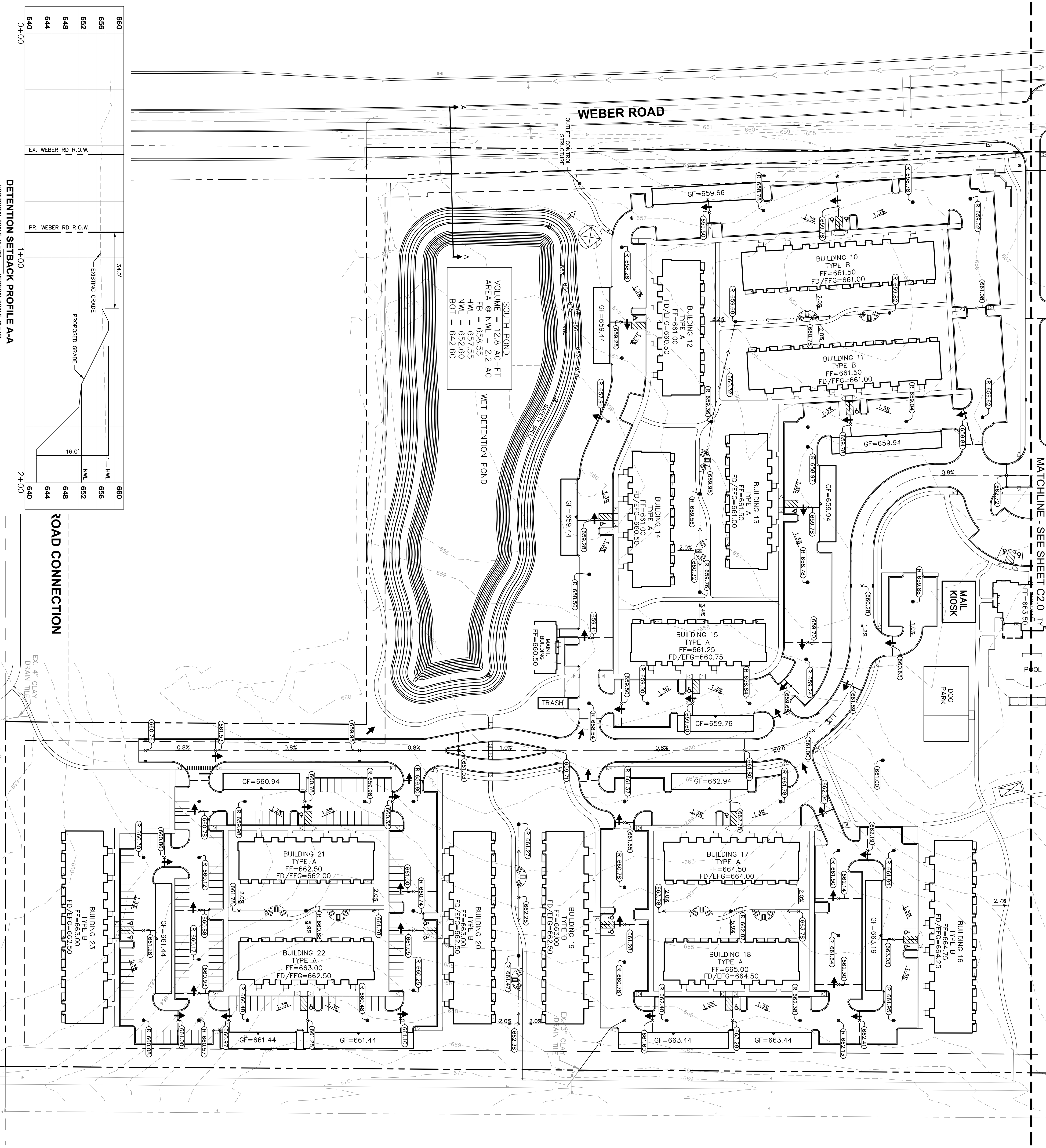
- ### GRADING LEGEND
- TP = TOP OF PAVEMENT
 - EP = EDGE OF PAVEMENT
 - FL = FLOW LINE
 - TG = TOP OF CURB
 - ME = MATCH ELEVATION
 - TF = TOP OF FOUNDATION
 - R = RIM ELEVATION
 - FG = EXTERIOR FINISHED GRADE
 - FF = FINISHED FLOOR ELEVATION
 - FD = FRONT DOOR ELEVATION
 - EXISTING CONTOUR
 - PROPOSED SWALE
 - SLOPE AND FLOW DIRECTION
 - 100-YEAR OVERLAND OVERFLOW ROUTE
 - DETENTION BASIN, 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
 - PROPOSED SWALE

DETENTION SUMMARY

TOTAL TRIBUTARY AREA = 66.64 ACRES
DETENTION REQUIREMENTS
2-YEAR ALLOWABLE RELEASE RATE (0.04 CFS/ACRD) = 2.67 CFS
10-YEAR ALLOWABLE RELEASE RATE (0.15 CFS/ACRD) = 10.00 CFS
VOLUME REQUIRED = 30.7 AC-FT
DETENTION PROVIDED
2-YEAR RELEASE RATE = 2.60 CFS
10-YEAR RELEASE RATE = 9.94 CFS
VOLUME PROVIDED = 32.9 AC-FT

EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL	GRADING AND DRAINAGE PLAN		SCALE: AS NOTED	Kimley-Horn <small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555 PHONE: 630-497-7550 WWW.KIMLEY-HORN.COM</small>	DESIGNED BY: TRE	REVISED PER VILLAGE COMMENTS	04/30/24	TRW
			DRAWN BY: TRW		REVISED PER VILLAGE COMMENTS	03/01/24	TRW	
			CHECKED BY: WAW		REVISED PER VILLAGE COMMENTS	05/12/23	TRW	
					REVISIONS	DATE	BY	

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SHEET NUMBER C2.0



DETENTION SUMMARY

TOTAL TRIBUTARY AREA = 66.64 ACRES

DETENTION REQUIREMENTS

2-YEAR ALLOWABLE RELEASE RATE (0.04 CFS/ACRE) = 2.67 CFS
 10-YEAR ALLOWABLE RELEASE RATE (0.15 CFS/ACRE) = 10.00 CFS
 VOLUME REQUIRED = 30.7 AC-FT

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GRADING LEGEND

TP = TOP OF PAVEMENT
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EXISTING CONTOUR
 RIDE LINE
 SLOPE AND FLOW DIRECTION
 100-YEAR OVERLAND OVERFLOW ROUTE
 DETENTION BASIN, 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
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 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED. MAXIMUM SLOPE IN ALL DIRECTIONS.
 - MAXIMUM RAINING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROADS.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PICK.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

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NORTH

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 SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL

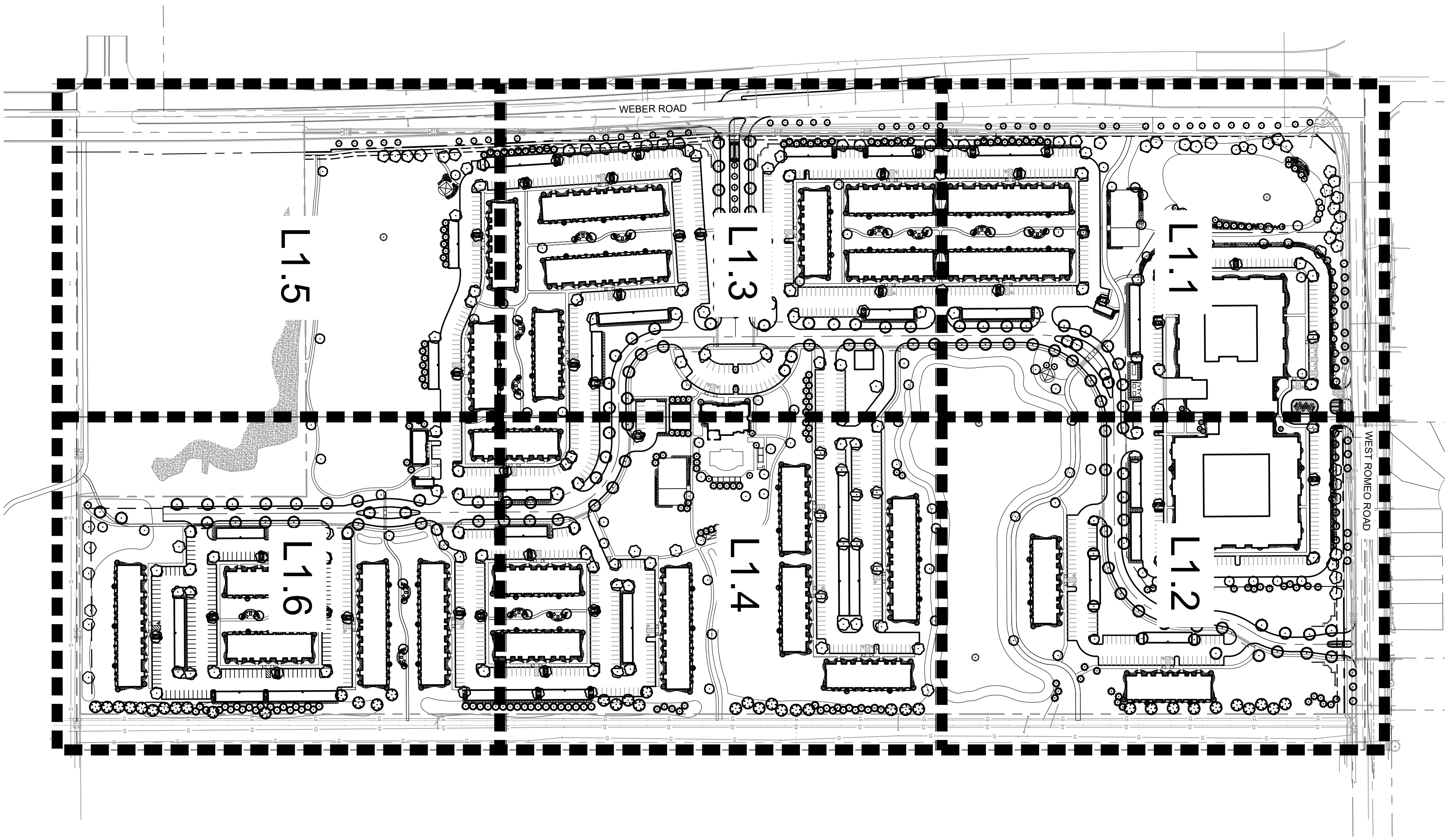
GRADING AND DRAINAGE PLAN

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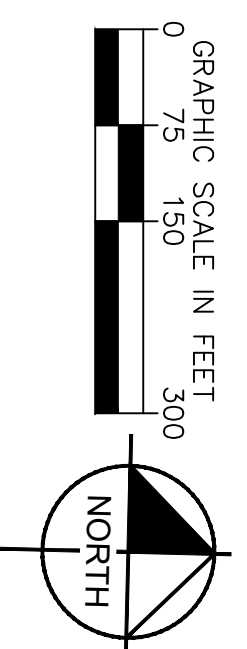
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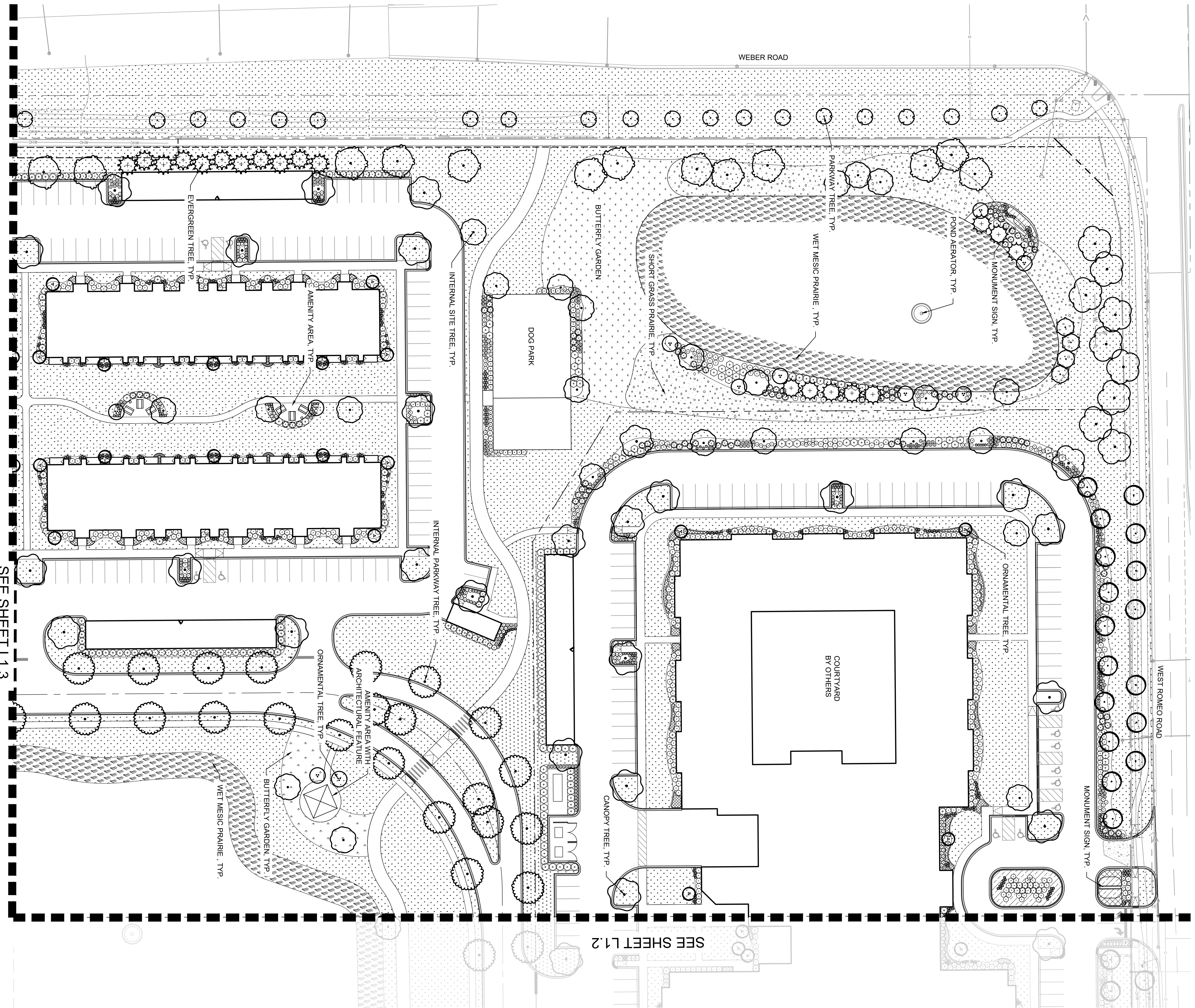
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ZONING ORDINANCE	ROMEOVILLE IL - LANDSCAPE CODE REQUIREMENTS	REQUIRED	PROPOSED
SECTION 158.034 (D) - PUBLIC TREE PLANTING	ALL PARKWAY OR PUBLIC RIGHT-OF-WAYS SHALL BE PLANTED WITH TREES A MINIMUM OF 30 FEET AND A MAXIMUM OF 50 FEET APART.	LENGTH ALONG ROMEO ROAD (NORTH, EXCLUDING DRIVEWAYS) = 1,077.96 LF 1,077.96 LF / 50 LF = 21.55 22 PARKWAY TREES REQUIRED ALONG ROMEO ROAD LENGTH ALONG WEBER ROAD (WEST, EXCLUDING DRIVEWAYS) = 2,115.05 LF 2,115.05 LF / 50 LF = 42.30 42 PARKWAY TREES REQUIRED ALONG WEBER ROAD	32 TREES PROVIDED ADJACENT TO ROMEO ROAD, 46 PARKWAY TREES PROVIDED ADJACENT TO WEBER ROAD.
SECTION 159.30 (06) - ADDITIONAL PARKING LOT LANDSCAPING REQUIREMENTS	INTERIOR PARKING LOT: THERE SHALL BE NO MORE THAN 20 CONTINUOUS PARKING SPACES WITHOUT A LANDSCAPE ISLAND. EACH LANDSCAPE ISLAND SHALL CONTAIN AT LEAST 1 CANOPY TREE.	TOTAL NUMBER OF PARKING SPACES = 1,293 PARKING SPACES 1,293 SPACES / 20 SPACES = 64.65 65 PARKING LOT TREES REQUIRED	148 PARKING LOT TREES PROVIDED THROUGHOUT THE SITE.
	PARKING LOT PERIMETER - FRONT AND CORNER SIDE YARDS (ADJACENT TO RESIDENTIAL): CONTINUOUS LANDSCAPE SHALL BE PROVIDED ALONG NOT LESS THAN 100% OF THE PARKING LOT FRONTAGE. SUCH LANDSCAPING SHALL CONSIST OF ANY COMBINATION OF BERMS, SHADE AND ORNAMENTAL TREES, EVERGREENS, SHRUBBERY, HEDGES, AND/OR OTHER LIVE PLANTING MATERIAL.	FRONT YARD (ALONG ROMEO ROAD, NORTH) LENGTH OF PARKING PERIMETER = 189.11 LF 260.5 X 100% = 260.5 LF 261 LF OF PARKING LOT SCREENING REQUIRED FRONT YARD (ADJACENT TO WEBER ROAD, WEST) LENGTH OF PARKING PERIMETER = 1,323.77 LF 1,323.77 LF X 100% = 1,323.77 1,487 LF OF PARKING LOT SCREENING REQUIRED	261 LF OF CONTINUOUS LANDSCAPE SCREENING PROPOSED 1,487 LF OF CONTINUOUS LANDSCAPE SCREENING PROPOSED
	PARKING LOT PERIMETER - FRONT AND CORNER SIDE YARDS (NOT ADJACENT TO RESIDENTIAL): CONTINUOUS LANDSCAPE SHALL BE PROVIDED ALONG NOT LESS THAN 60% OF THE PARKING LOT FRONTAGE. SUCH LANDSCAPING SHALL CONSIST OF ANY COMBINATION OF BERMS, SHADE AND ORNAMENTAL TREES, EVERGREENS, SHRUBBERY, HEDGES, AND/OR OTHER LIVE PLANTING MATERIAL.	REAR YARD (SOUTH) LENGTH OF PARKING PERIMETER = 359.08 LF 281.2 LF X 50% = 140.6 LF 141 LF OF PARKING LOT SCREENING REQUIRED	282 LF OF EVERGREEN AND ORNAMENTAL TREE SCREENING.
	PARKING LOT PERIMETER - REAR AND SIDE YARDS (NOT ADJACENT TO RESIDENTIAL): LANDSCAPING SHALL BE PROVIDED ACROSS NOT LESS THAN 50% OF THE PORTION OF THE PARKING LOT ABUTTING THE PROPERTY LINE. SUCH LANDSCAPING SHALL CONSIST OF ANY COMBINATION OF BERMS, SHADE AND ORNAMENTAL TREES, EVERGREENS, SHRUBBERY, HEDGES, AND/OR OTHER LIVE PLANTING MATERIAL.	REAR YARD (EAST) LENGTH OF PARKING LOT PERIMETER = 959.89 LF 856.6 LF X 50% = 428.3 428 LF OF PARKING LOT SCREENING REQUIRED	824 LF OF CONTINUOUS LANDSCAPE SCREENING PROPOSED
SECTION 159.30 (08) - ADDITIONAL PERIMETER LANDSCAPING REQUIREMENTS		LENGTH OF NORTH PROPERTY LINE = 1,248.11 LF 1,248.11 LF / 75 LF = 16.64 = 17 SHADE TREES REQUIRED 1,248.11 LF X 0.50 = 624.05 = 624 LF OF LANDSCAPE REQUIRED	17 SHADE TREES PROVIDED ALONG NORTH BUFFER. 636 LF OF OTHER LANDSCAPE MATERIAL PROVIDED ON NORTH BUFFER
	MULTIPLE FAMILY RESIDENTIAL PROPERTY ABUTTING ANY ZONING DISTRICT: SHADE TREES SHALL BE PROVIDED AT THE EQUIVALENT OF NOT LESS THAN 1 FOR EACH 75 FEET OF FRONTAGE ALONG THE ABUTTING PROPERTY LINE. TREES MAY BE CLUSTERED BUT NOT SPACED MORE THAN 40 FEET APART. OTHER LANDSCAPING MATERIAL SHALL BE PROVIDED AT INTERMITTENT LOCATIONS ACROSS 50% OF THE ABUTTING PROPERTY LINE. SHRUBS SHALL BE PLACED IN CLUSTERS CONTAINING AT LEAST 7 PER CLUSTER, SPACED AT INTERVALS OF APPROXIMATELY 35 FEET ALONG THE ABUTTING PROPERTY LINE.	LENGTH OF SOUTH PROPERTY LINE = 460.58 LF 460.58 LF / 75 LF = 6.14 = 6 SHADE TREES REQUIRED 460.58 LF X 50% = 230.29 = 230 LF OF LANDSCAPE REQUIRED LENGTH OF EAST PROPERTY LINE = 2,693.38 LF 2,693.38 LF / 75 LF = 35.91 = 36 SHADE TREES REQUIRED 2,693.38 LF X 50% = 1,346.69 = 1,347 LF OF LANDSCAPE REQUIRED LENGTH OF WEST PROPERTY LINE = 2,175.25 LF 2,175.25 LF / 75 = 29.0 = 29 SHADE TREES REQUIRED 2,175.25 LF X 50% = 1,087.62 = 1,088 LF OF LANDSCAPE REQUIRED	6 SHADE TREES PROVIDED 407 LF OF OTHER LANDSCAPE MATERIAL PROVIDED ON SOUTH BUFFER. 40 SHADE TREES PROVIDED ALONG EAST BUFFER. 1,370 LF OF OTHER VEGETATION AND MEADOW MIX PROVIDED ON EASTERN AND WESTERN BUFFER. 30 SHADE TREES PROVIDED ALONG WEST BUFFER. 1,088 LF OF OTHER LANDSCAPE MATERIAL PROVIDED ON WEST BUFFER



L1.0 SHEET NUMBER	EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL	OVERALL LANDSCAPE PLAN		SCALE: AS NOTED		DESIGNED BY: TRE	© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555-9538 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM	DRAWN BY: TRW	REVISOR	DATE	BY
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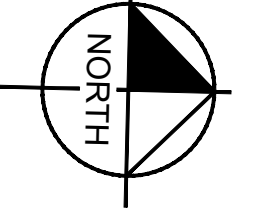
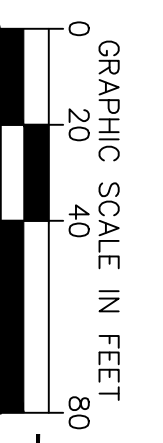


SEE SHEET L1.3

SEE SHEET L1.2

CONCEPT PLANT SCHEDULE

	ORNAMENTAL PARKWAY TREE - ROMEO ROAD	32		SMALL EVERGREEN SHRUB - BUFFER	665
	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB - BUFFER	183
	PARKWAY TREE - INTERNAL	122		SMALL SHRUB - BUFFER	471
	CANOPY TREE - PARKING LOT	148		ORNAMENTAL GRASS - BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		BUTTERFLY MEADOW SEED MIX	
	EVERGREEN TREE - WEST PARKING PERIMETER SCREENING	37		WET MESIC PRAIRIE SEED MIX	
	EVERGREEN TREE - EAST PARKING PERIMETER SCREENING	50			
	INTERNAL SITE TREE	101			
	INTERNAL SITE EVERGREEN TREE	107			
	INTERNAL SITE ORNAMENTAL TREE	42			
	ORNAMENTAL NORTH ZONING BUFFER	4			
	CANOPY TREE - SOUTH ZONING BUFFER	6			
	EVERGREEN SHRUB - FOUNDATION	338			
	LARGE SHRUB - FOUNDATION	379			
	MEDIUM SHRUB - FOUNDATION	2,109			
	SMALL SHRUB - FOUNDATION	321			
	ORNAMENTAL GRASS - FOUNDATION	2,521			
	SMALL EVERGREEN SHRUB - FOUNDATION	269			
	EVERGREEN SHRUB - BUFFER	520			
	MEDIUM SHRUB - BUFFER	309			
	SMALL EVERGREEN SHRUB - BUFFER	665			



EDWARD ROSE & SONS - MIXED USE DEVELOPMENT
SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL

LANDSCAPE PLAN



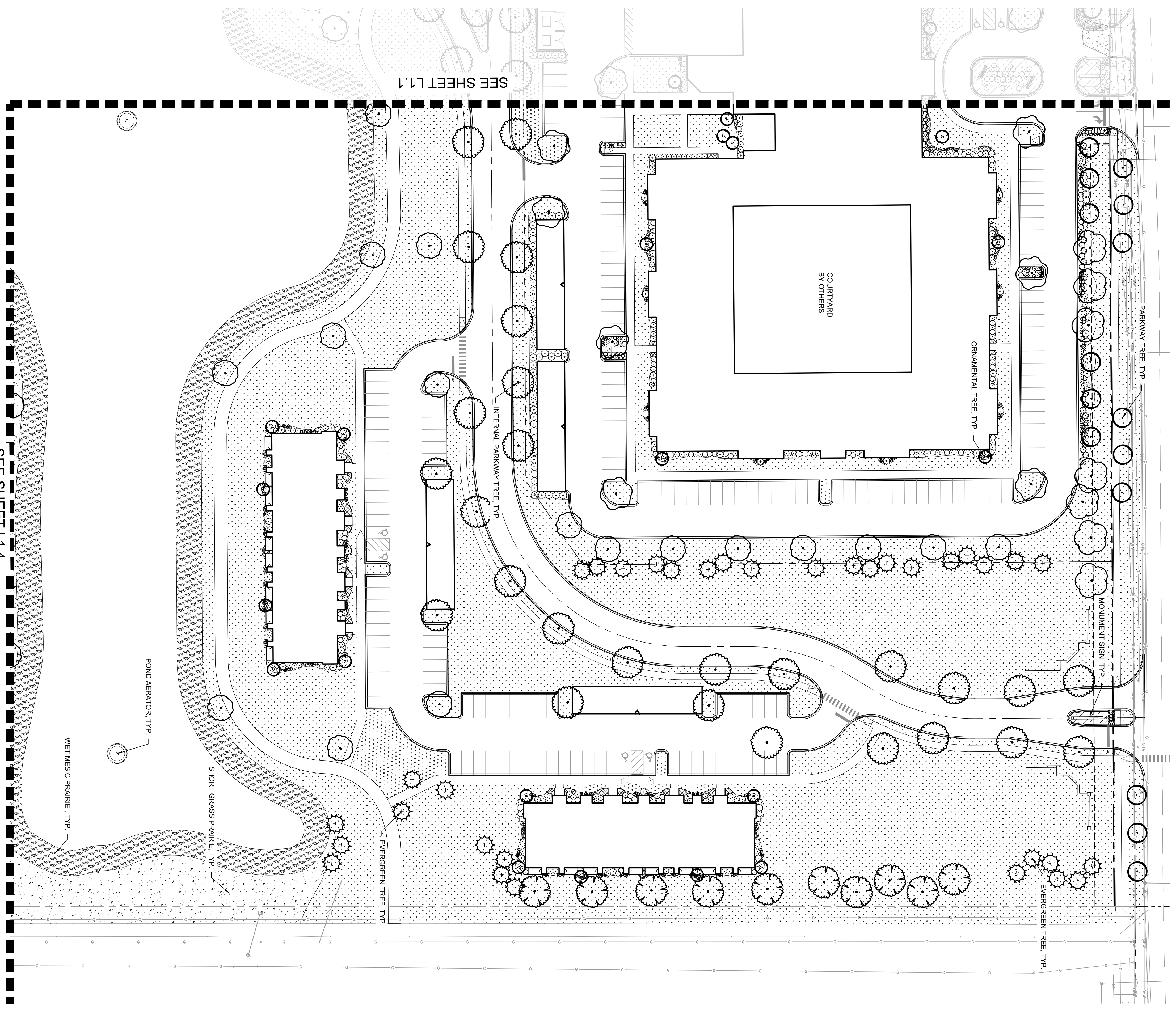
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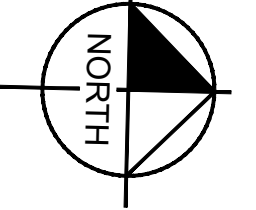
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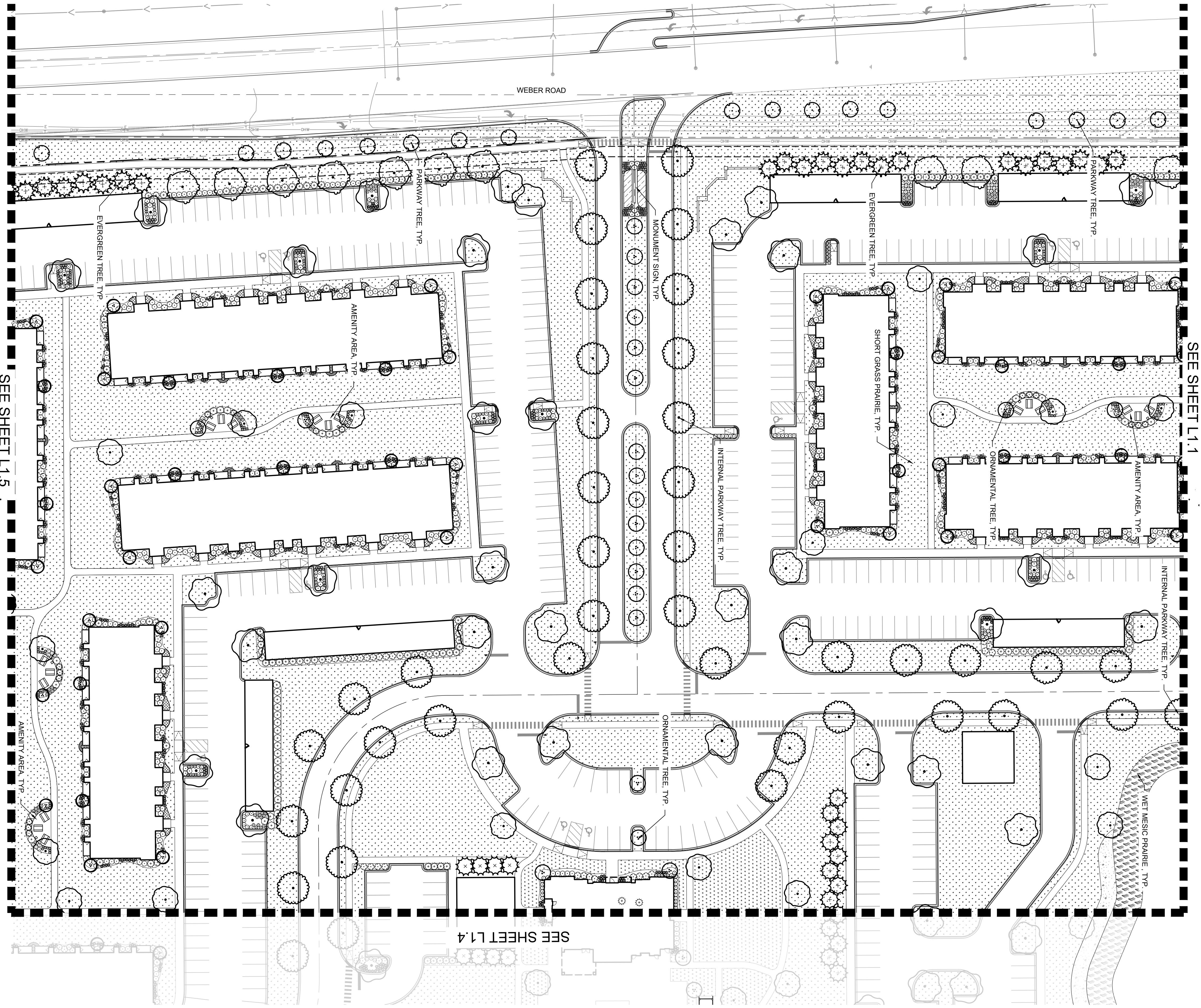


CONCEPT PLANT SCHEDULE

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	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB - BUFFER	183
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	PARKWAY TREE - PARKING LOT	148		ORNAMENTAL GRASS - BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		BUTTERFLY MEADOW SEED MIX	
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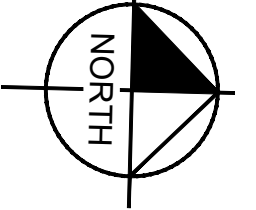


<h1>L1.2</h1>	EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL	LANDSCAPE PLAN		SCALE: AS NOTED DESIGNED BY: TRE DRAWN BY: TRW CHECKED BY: WAW	Kimley»Horn <small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60556 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</small>	<table border="1"> <thead> <tr> <th>No.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>REVISED PER VILLAGE COMMENTS</td> <td>04/30/24</td> <td>TRW</td> </tr> <tr> <td>2</td> <td>REVISED PER VILLAGE COMMENTS</td> <td>03/01/24</td> <td>TRW</td> </tr> <tr> <td>3</td> <td>REVISED PER VILLAGE COMMENTS</td> <td>05/12/23</td> <td>TRW</td> </tr> </tbody> </table>	No.	REVISIONS	DATE	BY	1	REVISED PER VILLAGE COMMENTS	04/30/24	TRW	2	REVISED PER VILLAGE COMMENTS	03/01/24	TRW	3	REVISED PER VILLAGE COMMENTS	05/12/23	TRW
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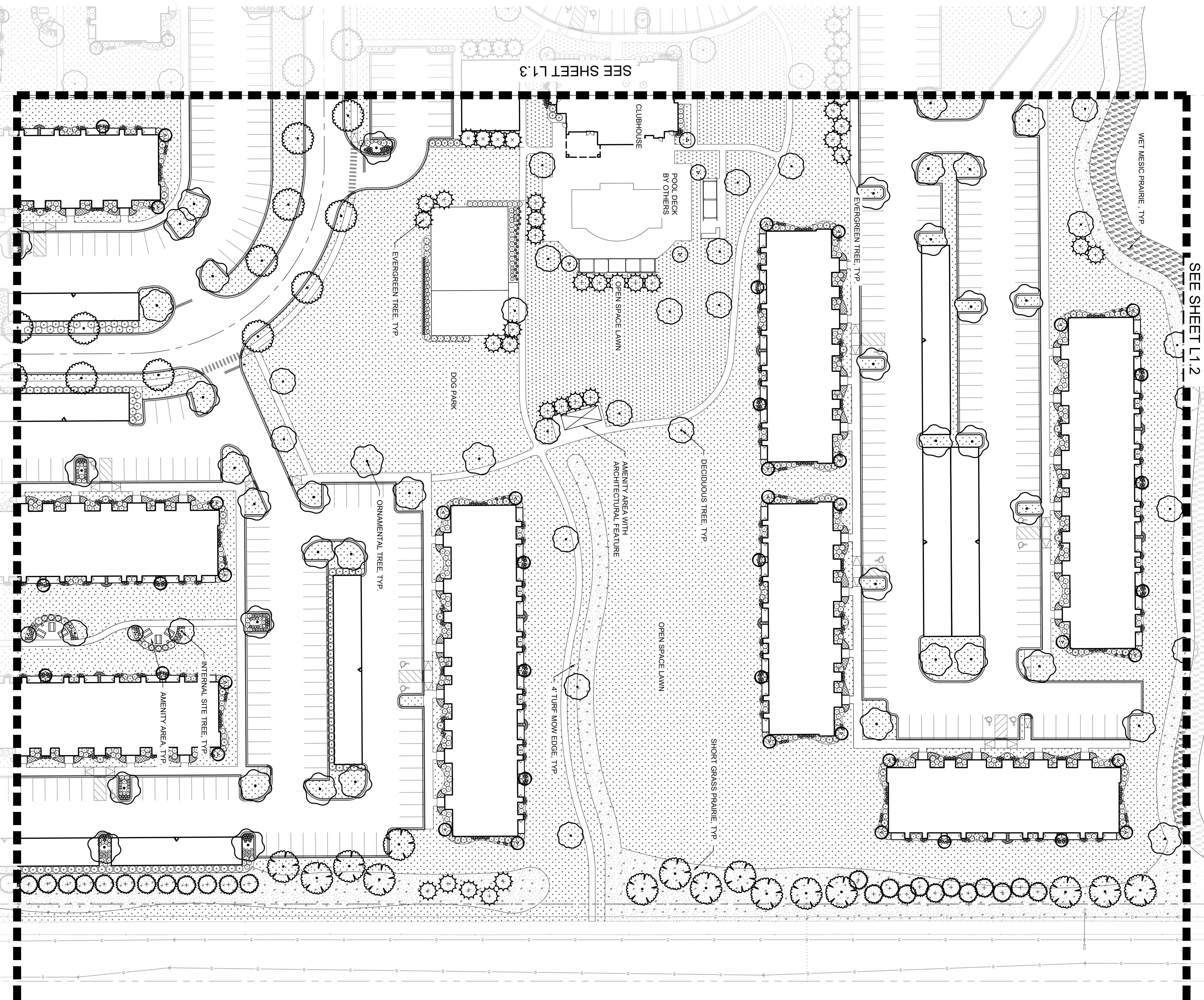


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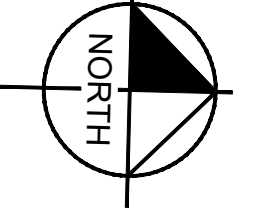
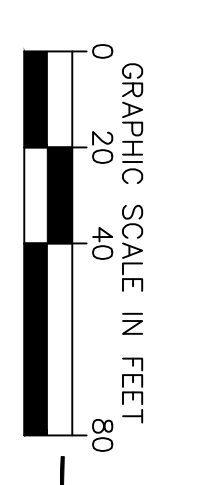


<p>L1.3</p>	<p>EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL</p>	<p>LANDSCAPE PLAN</p>		SCALE: AS NOTED	<p>Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60556 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</p>																	
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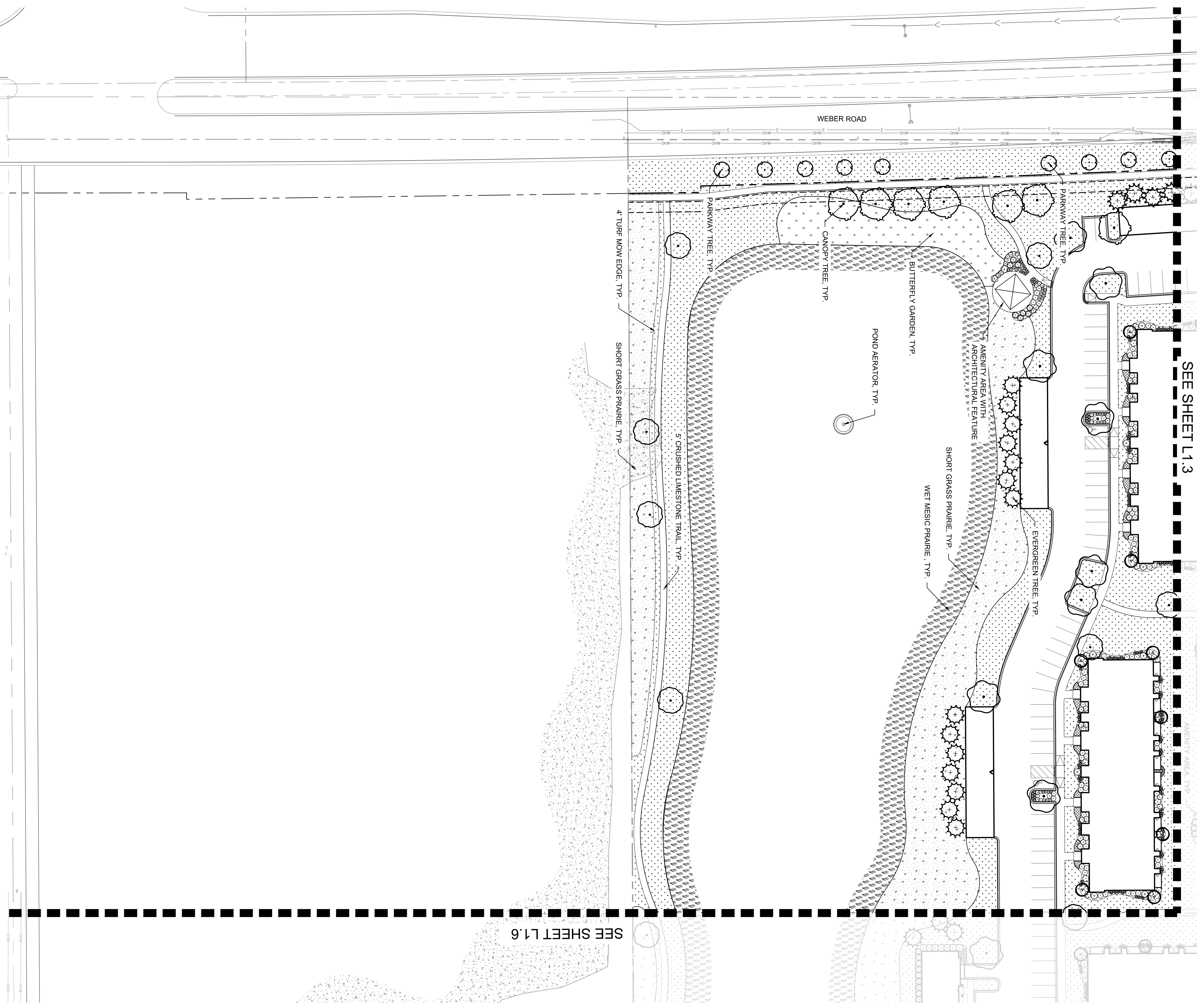


CONCEPT PLANT SCHEDULE

	ORNAMENTAL PARKWAY TREE - ROMEO ROAD	32		SMALL EVERGREEN SHRUB - BUFFER	665
	ORNAMENTAL PARKWAY TREE - WEBER ROAD	46		LARGE SHRUB - BUFFER	183
	PARKWAY TREE - INTERNAL	122		SMALL SHRUB - BUFFER	471
	CANOPY TREE - PARKING LOT	148		ORNAMENTAL GRASS - BUFFER	731
	CANOPY TREE - NORTH ZONING BUFFER	17		PERENNIALS - FOUNDATION	
	CANOPY TREE - WEST ZONING BUFFER	30		PERENNIALS - INTERNAL	
	CANOPY TREE - EAST ZONING BUFFER	40		TURF SOD	
	ORNAMENTAL TREE - SOUTH ZONING BUFFER	1		SHORTGRASS MEADOW SEED MIX	
	ORNAMENTAL TREE - FOUNDATION	184		WET MESIC PRAIRIE SEED MIX	
	EVERGREEN TREE - WEST PARKING PERIMETER SCREENING	37			
	EVERGREEN TREE - EAST PARKING PERIMETER SCREENING	50			
	INTERNAL SITE TREE	101			
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	EVERGREEN SHRUB - BUFFER	520			
	MEDIUM SHRUB - BUFFER	309			
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<h1>L1.4</h1>	EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL	LANDSCAPE PLAN		SCALE: AS NOTED DESIGNED BY: TRE DRAWN BY: TRW CHECKED BY: WAW	Kimley»Horn <small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60556 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</small>	REVISIONS NO. REVISIONS DATE BY
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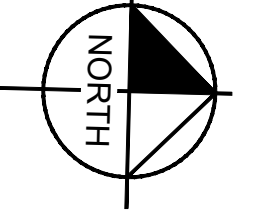
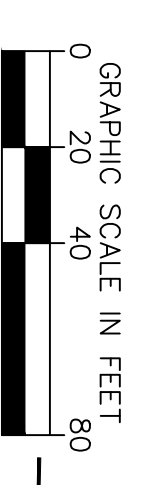


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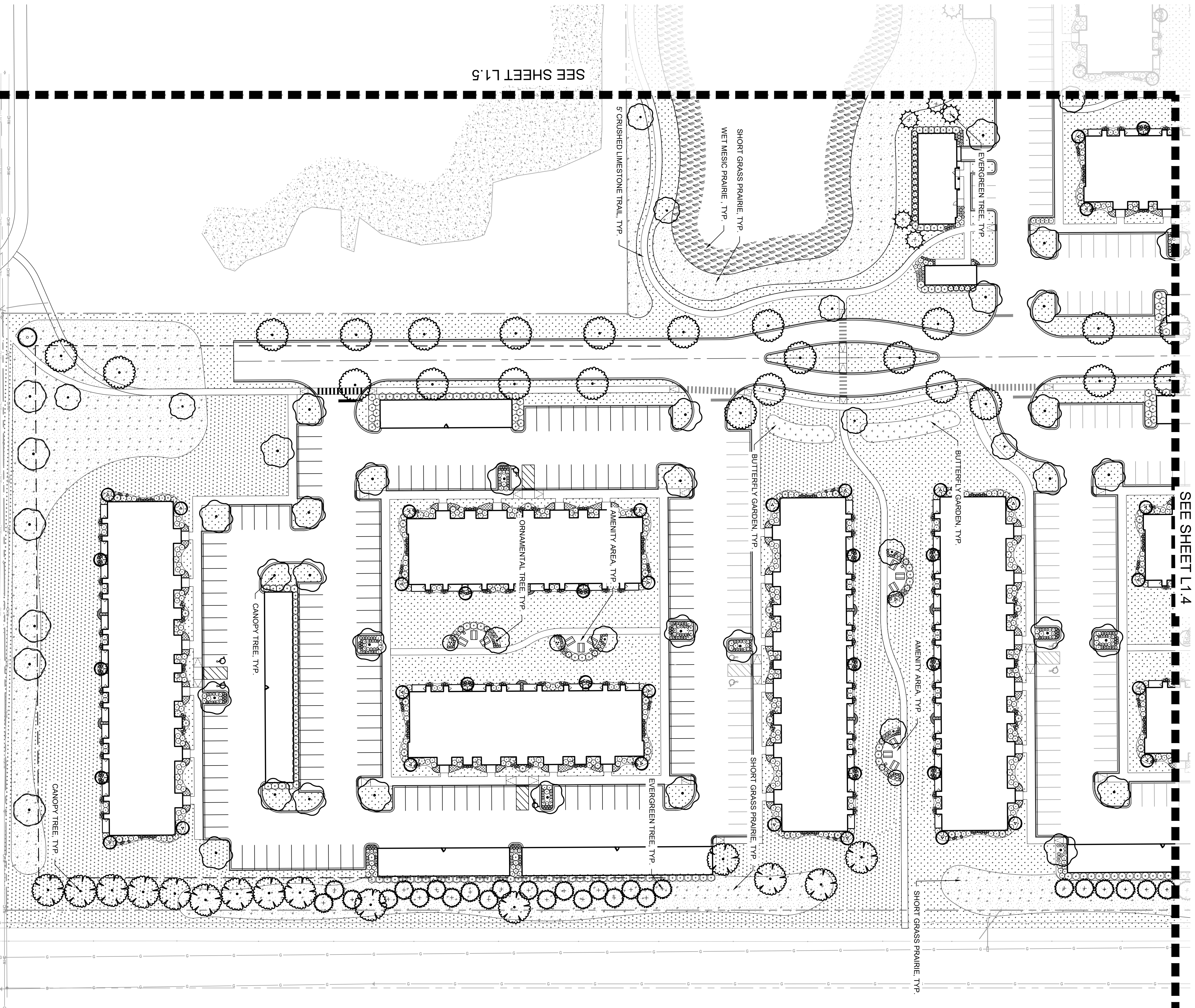
SEE SHEET L1.6

CONCEPT PLANT SCHEDULE

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<p>L1.5</p>	<p>EDWARD ROSE & SONS - MIXED USE DEVELOPMENT SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL</p>	<p>LANDSCAPE PLAN</p>		<p>SCALE: AS NOTED</p>	<p>Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</p>														
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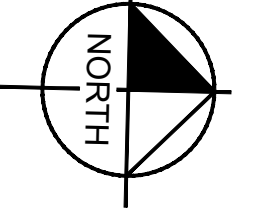
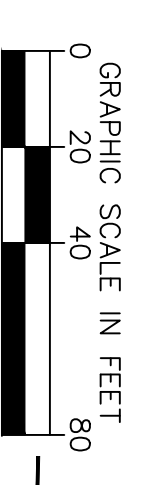


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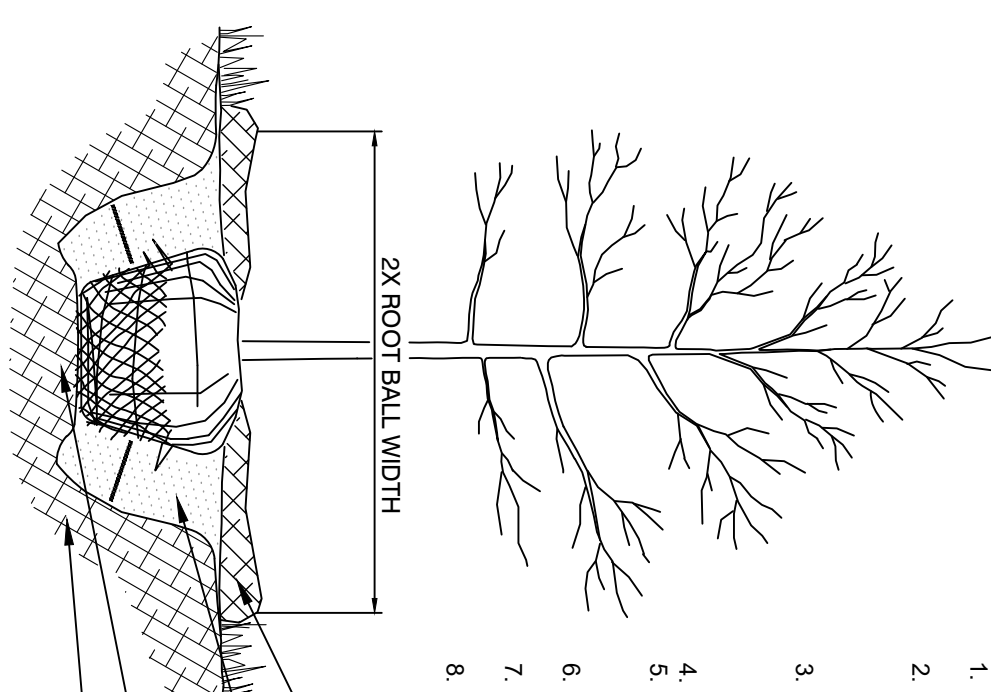
SEE SHEET L1.4

CONCEPT PLANT SCHEDULE

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<p>L1.6</p>	<p>EDWARD ROSE & SONS - MIXED USE DEVELOPMENT</p> <p>SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE IL</p>	<p>LANDSCAPE PLAN</p>		SCALE: AS NOTED	<p>Kimley»Horn</p> <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60556 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</p>				
				DESIGNED BY: TRE		REVISOR	DATE	BY	
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				CHECKED BY: WAW		REVISOR	DATE	BY	



- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
 3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW GRADE. REMOVE MULCH AND WIRE BASKET AND REUSE. SYNTHETIC MATERIALS SHALL BE REMOVED ON CORRECT GROUNDING ROOTS.
 4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL. BACKFILL REMAINDER EXCAVATED SOIL. TAMPED LIGHTLY. HIGH CLAY OR PEAT SOIL SHALL RECEIVE SOIL AMENDMENT.
 5. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
 7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
 8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

1 TREE PLANTING

NTS

LANDSCAPE MATERIAL SELECTION LIST

(SUBJECT TO CHANGE)

COMMON NAME	BOTANICAL NAME	SIZE
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CANOPY TREES

KENTUCKY COFFEE TREE	GINMOCCADUS DIOCCUS	2.5" CALIPER
SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CALIPER
BURR OAK	QUERCUS MACROCARPA	2.5" CALIPER
SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS NEMIS SHADEMASTER	2.5" CALIPER
ACCOLADE ELM	ULMUS X 'MORTON'	2.5" CALIPER
COMMON HACKBERRY	CELTIS OCCIDENTALIS	2.5" CALIPER
AMERICAN ELM	ULMUS AMERICANA	2.5" CALIPER
REDPOINTE MAPLE	ACER RUBRUM 'REDPOINTE'	2.5" CALIPER
BOULEVARD AMERICAN LINDEN	TILIA AMERICANA 'BOULEVARD'	2.5" CALIPER
GINGKO	GINGKO BILOBA	2.5" CALIPER
FRONTIER ELM	ULMUS 'FRONTIER'	2.5" CALIPER
JAPANESE ZELKOVIA	ZELKOVA SERATA	2.5" CALIPER
BALD CYPRESS	TAXODIUM DISTICHUM	2.5" CALIPER

ORNAMENTAL TREES

IVORY SILK JAPANESE LILAC	SYRINGIA RETICULATA 'IVORY SILK'	6' HEIGHT
EASTERN REDBUD	CERCIS CANADENSIS	6' HEIGHT
THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI 'INERMIS'	6' HEIGHT
DOWNY SERVICEBERRY	AMELANCHIER ARBOREA	6' HEIGHT
FLOWERING DOGWOOD	CORNUS FLORIDA	6' HEIGHT
PRAIRIE FIRE CRABAPPLE	MALUS X 'PRAIRIEFIRE'	6' HEIGHT

EVERGREEN TREES

WHITE PINE	PINUS STROBUS	6' HEIGHT
NORWAY SPRUCE	PICEA ABIES	6' HEIGHT
FARVIEW JUNIPER	JUNIPERUS CHINENSIS	6' HEIGHT
DOUGLAS FIR	PSUEDOTSUGA MENZIESII	6' HEIGHT
CONCOLOR FIR	ABIES CONCOLOR	6' HEIGHT
EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6' HEIGHT
NORTHERN WHITE CEDAR	THUJA OCCIDENTALIS	6' HEIGHT

SHRUBS

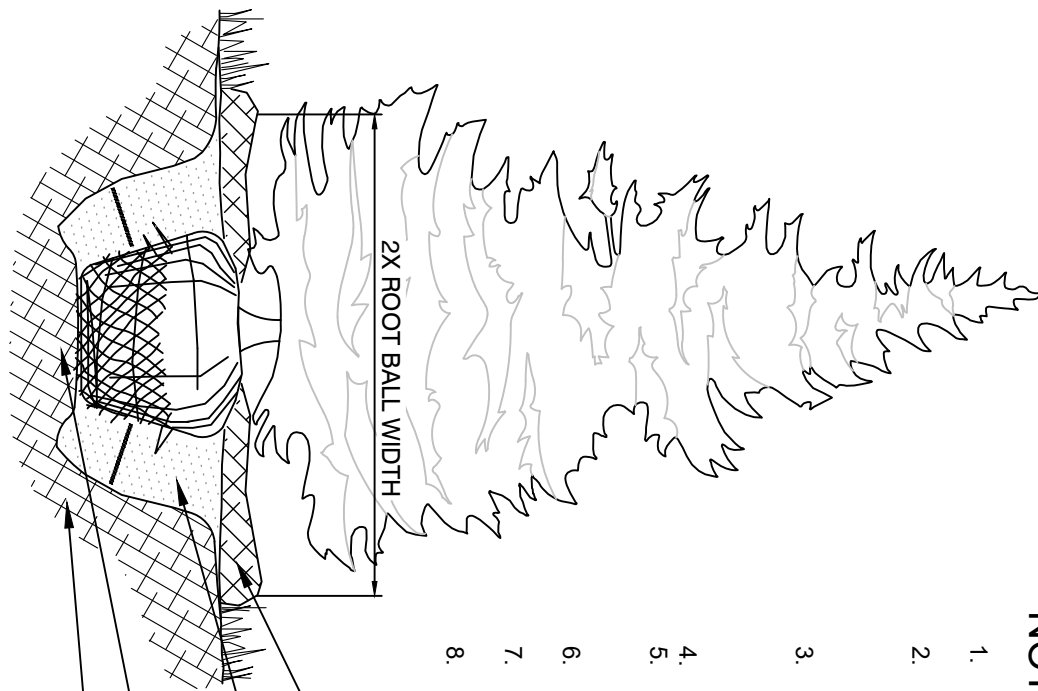
IRIGOUIS BLACK CHOKERBERRY	ANONIA MELANOCARRA 'MORTON' TM	18" HEIGHT
KOREAN SPICE VIBURNUM	VIBURNUM CARLISII	24" HEIGHT
CAT D DOGWOOD	CORNUS SANGUINEA	18" HEIGHT
YELLOW DOGWOOD	CORNUS STOLONIFERA FLAURIMEA	24" HEIGHT
NORTHERN SPICEBUSH	LINDERA BENZON	18" HEIGHT
SUMMERSWEET CLEMATIS	CLEMATIS ALMINIFOLIA	18" HEIGHT
BIRCHLEAF SPIREA	SPHORA BETULIFOLIA	18" HEIGHT
VIRGINIA SWEETSPIRE	ITEA VIRGINICA 'MORTON'	18" HEIGHT
WIGELIA DARK HORSE	WIGELIA FLORIDA 'DARK HORSE'	24" HEIGHT
BLUE MUFHIN VIBURNUM	VIBURNUM DENTATUM 'BLUE MUFHIN'	24" HEIGHT
HOLMSTRUP ARBORVITAE	THUJA OCCIDENTALIS 'HOLMSTRUP'	36" HEIGHT
DWARF FORTBERGILLA	FORTBERGILLA GARBOLVI	24" HEIGHT
GRD-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRD-LOW'	18" HEIGHT
NEW JERSEY TEA	CLEANTHUS AMERICANUS	18" HEIGHT
SMOOTH HYDRANGEA	HYDRANGEA ARBORESCENS 'ANABELLE'	36" HEIGHT
MISS KIMI LILAC	SYRINGIA PATULA 'MISS KIM'	24" HEIGHT
MISS RING JUNIPER	JUNIPERUS HORIZONTALIS 'WILDTOWN'	6' HEIGHT
AMERICAN GAMBERRY BUSH	VIBURNUM OPULUS VAR. AMERICANUM	36" HEIGHT
GREEN MOUND ALPINE CURRANT	RIBES ALPINUM GREEN MOUND	18" HEIGHT
MORTON BOXWOOD	BUXUS HYBRIDS	18" HEIGHT
DENSE SPREADING YEW	TAXUS X MEDIA DENSPORMIS	24" HEIGHT
LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA	18" HEIGHT

EVERGREEN SHRUBS

FIRE CHIEF ARBORVITAE	THUJA OCCIDENTALIS 'CONGABE' TM	24" HEIGHT
SEA GREEN JUNIPER	JUNIPERUS X PRITZERIANA	36" HEIGHT
KALAVY'S COMPACT PRINER JUNIPER	JUNIPERUS X PRITZERIANA 'KALAVY'S COMPACT'	24" HEIGHT

GRASSES

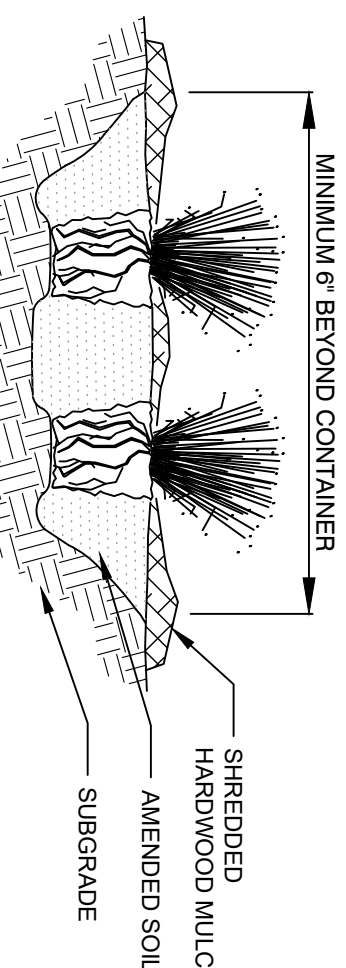
KARL FORESTER	CALAMAGROSTIS X ACUTIFLOA	18" HEIGHT
LITTLE BUNNY FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	12" HEIGHT
HEAVY METAL SWITCHGRASS	PANICUM VIRGATUM	18" HEIGHT
PRAIRIE DROMPSIED	SPHONDOBIUS HETEROLEPIS	12" HEIGHT



- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
 3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW GRADE. REMOVE MULCH AND WIRE BASKET AND REUSE. SYNTHETIC MATERIALS SHALL BE REMOVED ON CORRECT GROUNDING ROOTS.
 4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL. BACKFILL REMAINDER EXCAVATED SOIL. TAMPED LIGHTLY. HIGH CLAY OR PEAT SOIL SHALL RECEIVE SOIL AMENDMENT.
 5. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
 7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
 8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

2 EVERGREEN TREE PLANTING

NTS



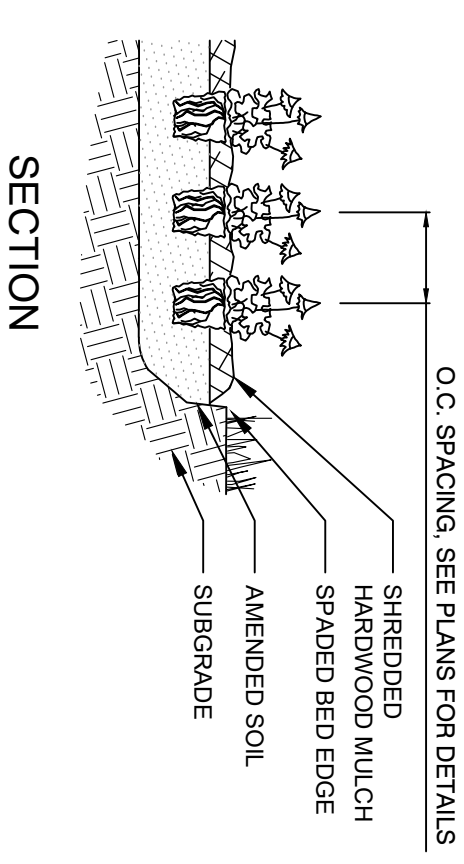
- NOTES:**
1. APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
 3. CONTAINER GROWN GRASSES: REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
 4. REMOVE OR CORRECT GROUNDING ROOTS.
 5. SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR PLANTS TO BE AS SPECIFIED IN THE PLANT LIST.
 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR GRASS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

4 ORNAMENTAL GRASS PLANTING

NTS

NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCUM SOIL MASS TO REDIRECT AND PREVENT CIRCLING.
4. PLANT MATERIAL SHALL BE Laid OUT BY FOLLOWING THE BED EDGE. WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLANSIBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS.
7. MULCH LIMITS FOR PERENNIALS SHALL EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
8. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



SECTION

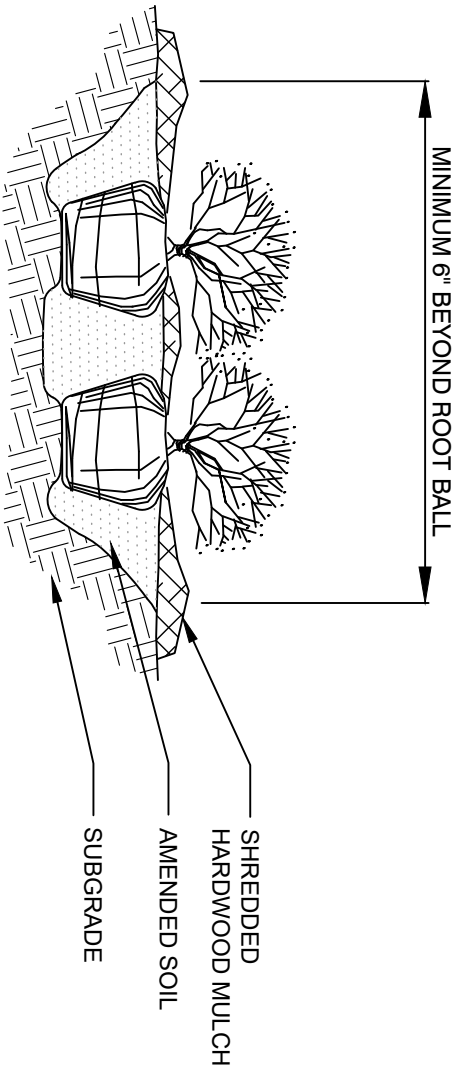
PLAN VIEW

5 PERENNIAL PLANTING

NTS

3 SHRUB PLANTING

NTS



- NOTES:**
1. APPLY CORRECTIVE PRUNING.
 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
 3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND IF USED SYNTHETIC MATERIALS SHALL BE REMOVED FROM PLANTING BED. FOR PLANTS TO BE AS SPECIFIED IN THE PLANT LIST.
 4. REMOVE OR CORRECT GROUNDING ROOTS.
 5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT. PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
5. ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFOLIATION. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
6. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
7. ALL NURSERY STOCK SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE-YEAR GUARANTEE COMMENCING UPON PLANTING.
8. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
9. PRUNE PLANTS AS NECESSARY. PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
10. TOP-SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
11. PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% ANNUALIZED SOIL FOR ALL NON TURF SEED MIX AREAS. SHRUB, ORNAMENTAL GRASS, PERENNIAL AND PLANTER BEDS.
12. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
13. EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
14. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
15. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSING THAN 10' FROM UTILITY STRUCTURES.
16. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
17. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS OTHERWISE NOTED.
18. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
19. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REPLACED IF THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

6 LANDSCAPE NOTES

NTS

EDWARD ROSE & SONS - MIXED USE DEVELOPMENT
 SE CORNER OF WEBER ROAD AND ROMEO ROAD, ROMEOVILLE, IL

LANDSCAPE NOTES & DETAILS



SCALE:	AS NOTED
DESIGNED BY:	TRE
DRAWN BY:	TRW
CHECKED BY:	WAW

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