

Multi Use Path Improvements Exhibit

# SITE IMPROVEMENT PLANS

## FOR

# SOUTH PINNACLE DRIVE MULTI-USE PATH

## SOUTHCREEK BUSINESS CENTER

### ROMEOVILLE, ILLINOIS

### PALENCIA PROPERTIES LLC

D190aj  
MULTI-USE PATH  
10/4/23



#### LEGEND

PROPOSED (PR.)	DESCRIPTION	EXISTING (EX.)
	STORM SEWER	
	WATER MAIN WITH SIZE	
	SANITARY SEWER	
	RIGHT-OF-WAY	
	CONTOUR	
	SPOT GRADE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	GATE VALVE W/VAULT	
	STREET LIGHT	
	STREET LIGHT W/MAST	
	OVERFLOW DIRECTION	
	CURB & GUTTER	
	SILT FENCE	
	ROAD SIGN	
	HANDICAP DETECTABLE WARNING SURFACE	
	UNDER DRAIN	
	UTILITY POLE	
	DEPRESSED CURB FOR RAMP/DRIVEWAY	
	TOP OF FOUNDATION	
	EDGE OF PAVEMENT	
	TOP OF CURB, DEPRESSED	
	TOP/BOTTOM OF RETAINING WALL	
	RIM ELEVATION FOR STRUCTURES	
	CLEAN OUT FOR SANITARY SERVICE	
	HIGH/NORMAL WATER LEVEL	
	TRANSFORMER	
	FENCE LINE	
	GUARD RAIL	
	FORCE MAIN	
	UNDERGROUND TELEPHONE	
	UNDERGROUND ELECTRIC	
	OVERHEAD ELECTRIC	
	GAS LINE	
	COMBINATION SEWER	



**LOCATION MAP**  
NOT TO SCALE

REFERENCE BENCHMARKS:  
WILL COUNTY STATION 403  
3-D MARKER ON THE SOUTH SIDE OF ROMEO ROAD, 0.25 MILES WEST OF THE INTERSECTION OF ILLINOIS ROUTE 53 AND ROMEO ROAD.  
ELEVATION=628.26 (WILL COUNTY DATUM/NAVD88)

WILL COUNTY STATION 421  
3-D MARKER NEAR THE INTERSECTION OF RENWICK ROAD (ILLINOIS ROUTE 7) AND OLD RENWICK ROAD. (SEE DATA SHEET FOR MORE DETAILED DESCRIPTION).  
ELEVATION=647.34 (WILL COUNTY DATUM/NAVD88)

SITE BENCHMARKS:  
BM 1 (JHA CP 458) ELEVATION=656.89' (NAVD88 DATUM)  
CUT CROSS IN TOP OF CONCRETE CURB W. SIDE PINNACLE DR. @ NWX OF INT. OF PINNACLE DR. AND AIRPORT RD. "X" IS +-55' NW OF A WATER VALVE VAULT IN ROADWAY. "X" IS ADJ. TO 1ST PARKWAY TREE IN E. ROW. "X" IS +-25' N. OF CONC. WALK @ END OF BIT PATH ALONG N. SIDE OF AIRPORT ROAD.

BM 2 (JHA CP 457) ELEVATION=643.46' (NAVD88 DATUM)  
CUT CROSS IN TOP OF CONCRETE CURB W. SIDE PINNACLE DR. +-75' OF 3RD FIRE HYD. N. OF AIRPORT RD. ON W. SIDE OF PINNACLE DR. "X" IS +-50' NW OF A WATER VALVE VAULT IN E. ROW OF PINNACLE. "X" IS +-49' SW OF A STORM CURB INLET ON THE E. SIDE PINNACLE.

BM 3 (JHA CP 456) ELEVATION=627.26'  
"X" IS +-250' S. OF THE N. END OF S. PINNACLE DR. WHERE IT MEETS WITH THE CONC. DRIVE APRON OF THE ENT. FOR "ARYZTA" TO THE E. "X" IS +-65' SW. OF THE 1ST STORM CURB INLET S. OF END OF PINNACLE DR. @ ENT. "X" IS +-78' NW OF THE 2ND LIGHT POLE WITH A MAST ARM S. OF THAT SAME DRIVE ENT. @ END OF S. PINNACLE DR.

EXISTING CONDITIONS OBTAINED FROM TOPOGRAPHIC SURVEY COMPLETED BY JACOB & HEFNER ASSOCIATES, DATED AUGUST 2022.

PERMITS		
DATE	PERMIT #	AGENCY
9/7/22	ILR10ZC5F	IEPA - NPDES

BIKE PATH DESIGN BASED ON THE AASHTO GUIDE FOR THE DEVELOPMENT OF BICYCLE FACILITIES - 2012 FOURTH EDITION

#### Sheet List Table

Sheet Number	Sheet Title
C1	COVER
C2	GENERAL NOTES
C3	EXISTING CONDITIONS & DEMOLITION PLAN
C4	GEOMETRIC PLAN
C5	GRADING PLAN
C6	EROSION CONTROL PLAN
C7	STORMWATER POLLUTION PREVENTION PLAN
C8	SWPPP DETAILS
C9	SPECIFICATIONS & DETAILS
C10.0-C10.5	CROSS SECTIONS

#### DRAINAGE CERTIFICATE

I, JASON SNYDER, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THIS DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

ENGINEER  
JASON J. SNYDER  
JSNYDER@JACOBANDHEFNER.COM

ILLINOIS REGISTRATION NO. 062-055425  
EXPIRES 11/30/2023

ENGINEER ONLY CERTIFIES SHEETS C1 - C10.5  
THESE PLANS, OR ANY PART THEREOF, SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND MARKED 'FOR CONSTRUCTION'.

No.	Description	Date
2	VILLAGE COMMENTS	10/4/23
1	FOR REVIEW	2/22/23
REVISIONS		

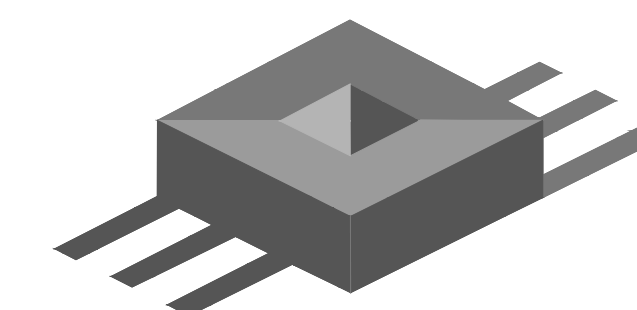
**Know what's below.  
Call before you dig.**

Municipality: VILLAGE OF ROMEOVILLE  
County: WILL  
Township: T36N  
Range: R10E  
Section: S8

**WARNING**

**CALL BEFORE YOU DIG**  
(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

# FOR REVIEW PURPOSES ONLY



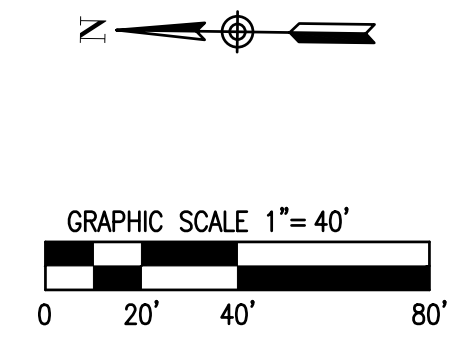
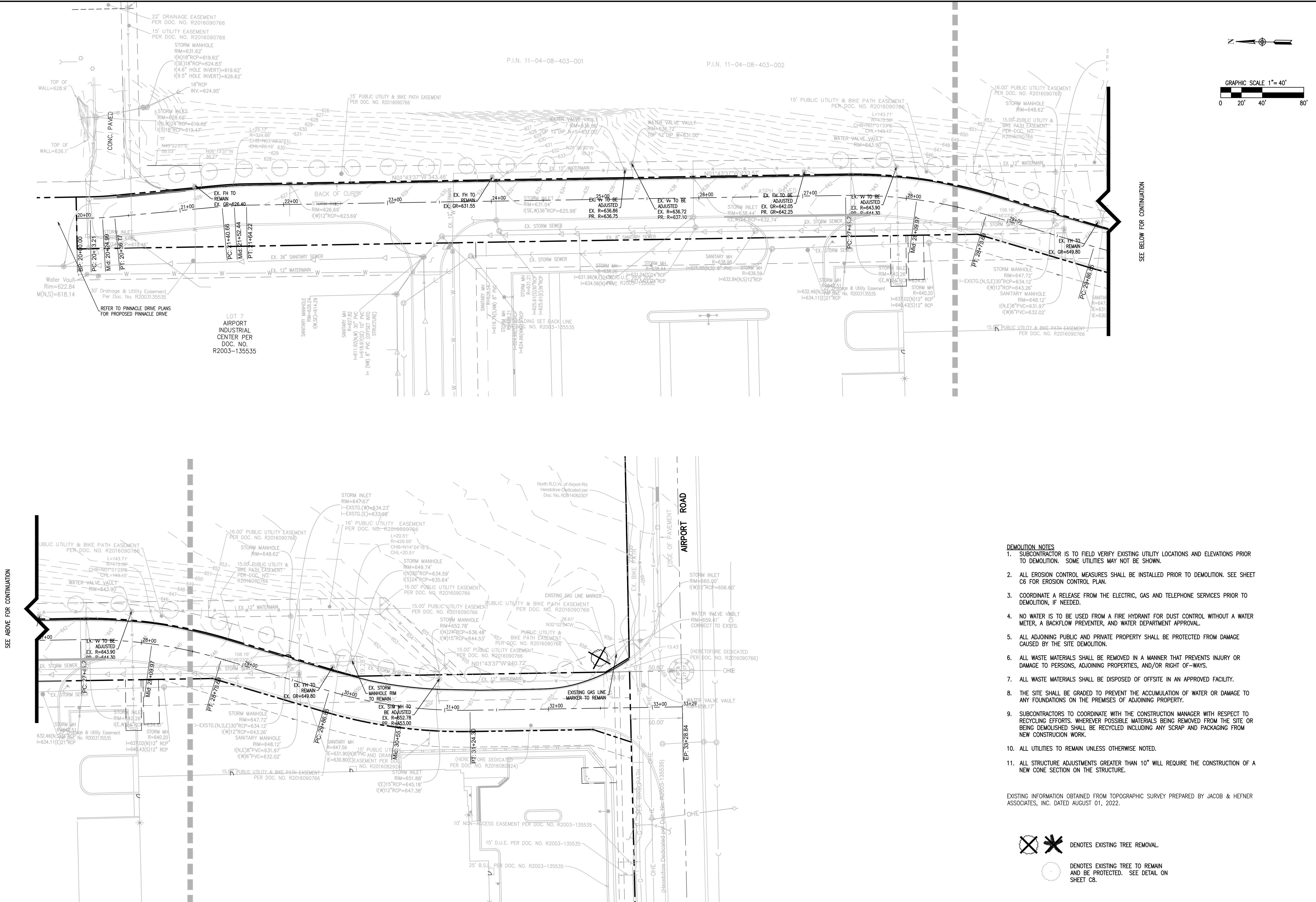
**JACOB & HEFNER**  
ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515

PHONE: (630) 652-4600, FAX: (630) 652-4601

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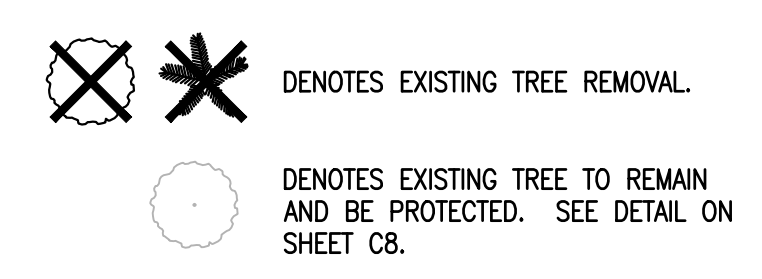


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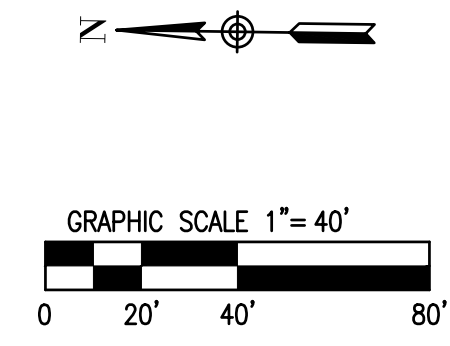
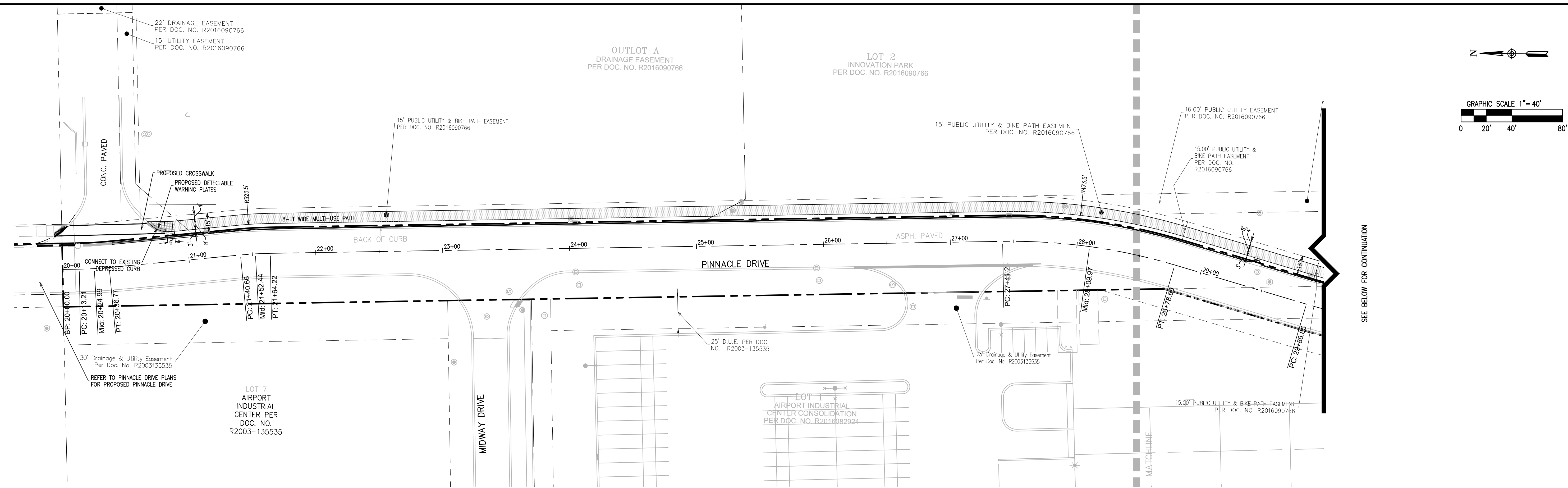
SEE ABOVE FOR CONTINUATION

- DEMOLITION NOTES**
1. SUBCONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
  2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SEE SHEET C6 FOR EROSION CONTROL PLAN.
  3. COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION, IF NEEDED.
  4. NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
  5. ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
  6. ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT OF-WAYS.
  7. ALL WASTE MATERIALS SHALL BE DISPOSED OFFSITE IN AN APPROVED FACILITY.
  8. THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.
  9. SUBCONTRACTORS TO COORDINATE WITH THE CONSTRUCTION MANAGER WITH RESPECT TO RECYCLING EFFORTS. WHEREVER POSSIBLE MATERIALS BEING REMOVED FROM THE SITE OR BEING DEMOLISHED SHALL BE RECYCLED INCLUDING ANY SCRAP AND PACKAGING FROM NEW CONSTRUCTION WORK.
  10. ALL UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
  11. ALL STRUCTURE ADJUSTMENTS GREATER THAN 10" WILL REQUIRE THE CONSTRUCTION OF A NEW CONE SECTION ON THE STRUCTURE.

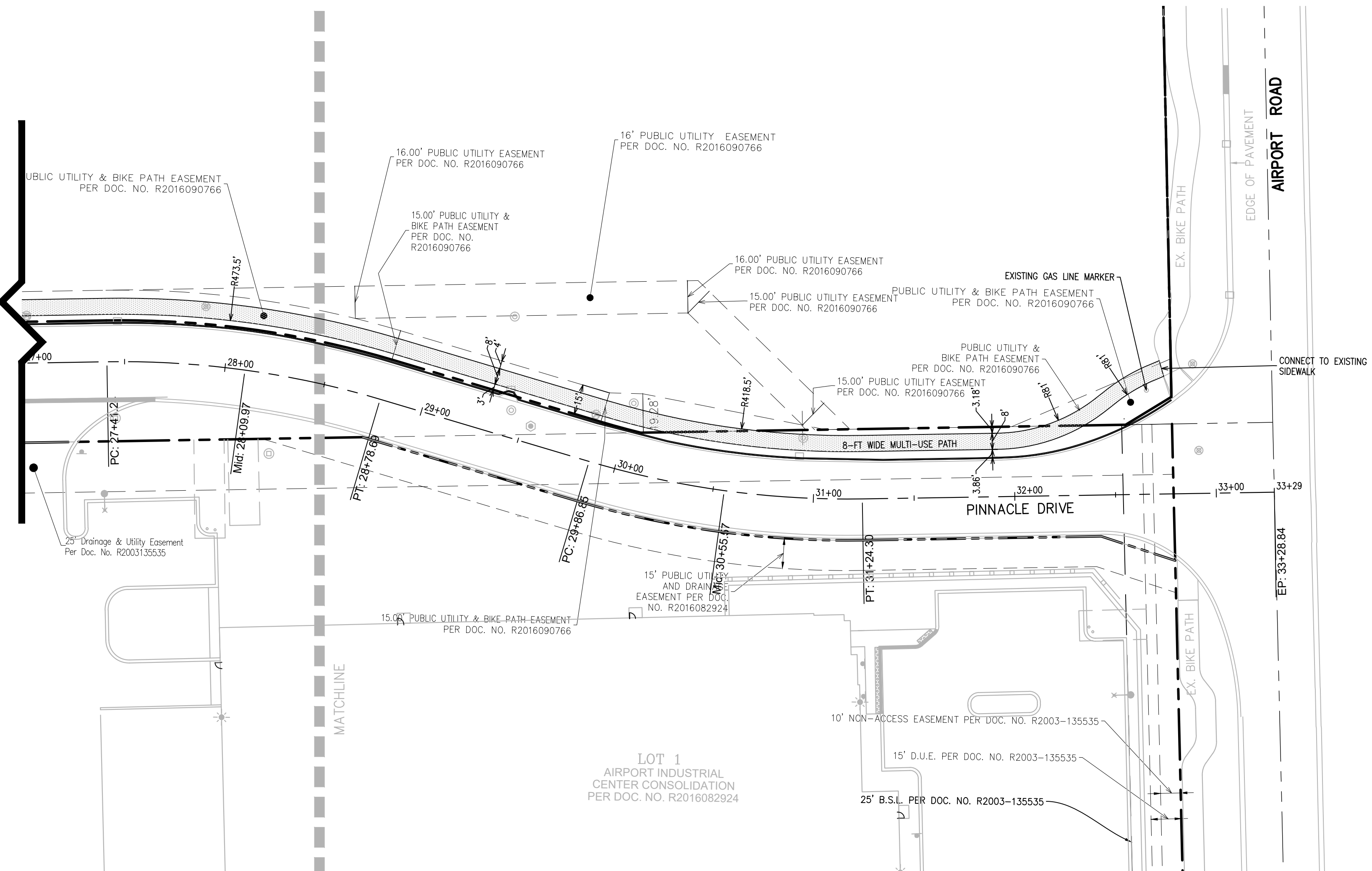
EXISTING INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY JACOB & HEFNER ASSOCIATES, INC. DATED AUGUST 01, 2022.



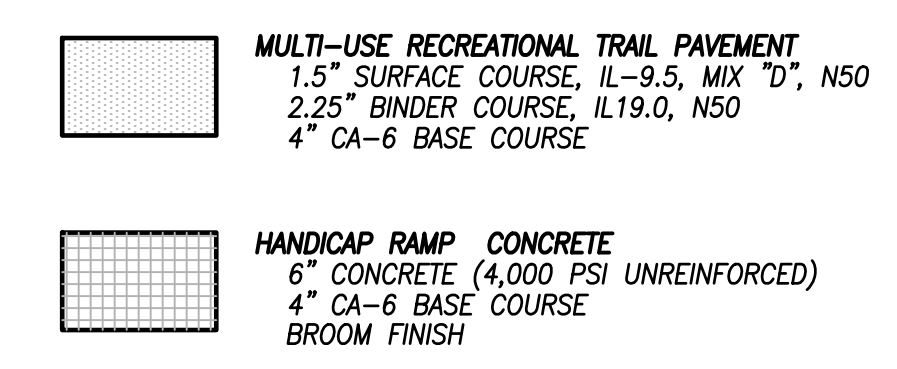
EXISTING CONDITIONS AND DEMOLITION PLAN		10/4/23	Date
SOUTH PINNACLE DRIVE MULTI-USE PATH		2 VILLAGE COMMENTS	
SOUTHCREEK BUSINESS CENTER		1 FOR REVIEW	
PALINCIA PROPERTIES		No.	
ROMEIOVILLE, ILLINOIS		Description	
D190aj			
1" = 40'			
C3			



SEE BELOW FOR CONTINUATION



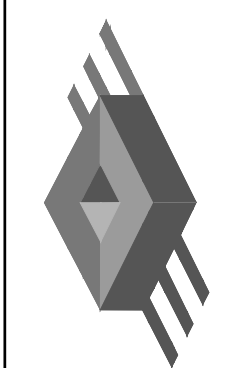
- NOTES:
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  2. CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER IDOT STANDARDS.

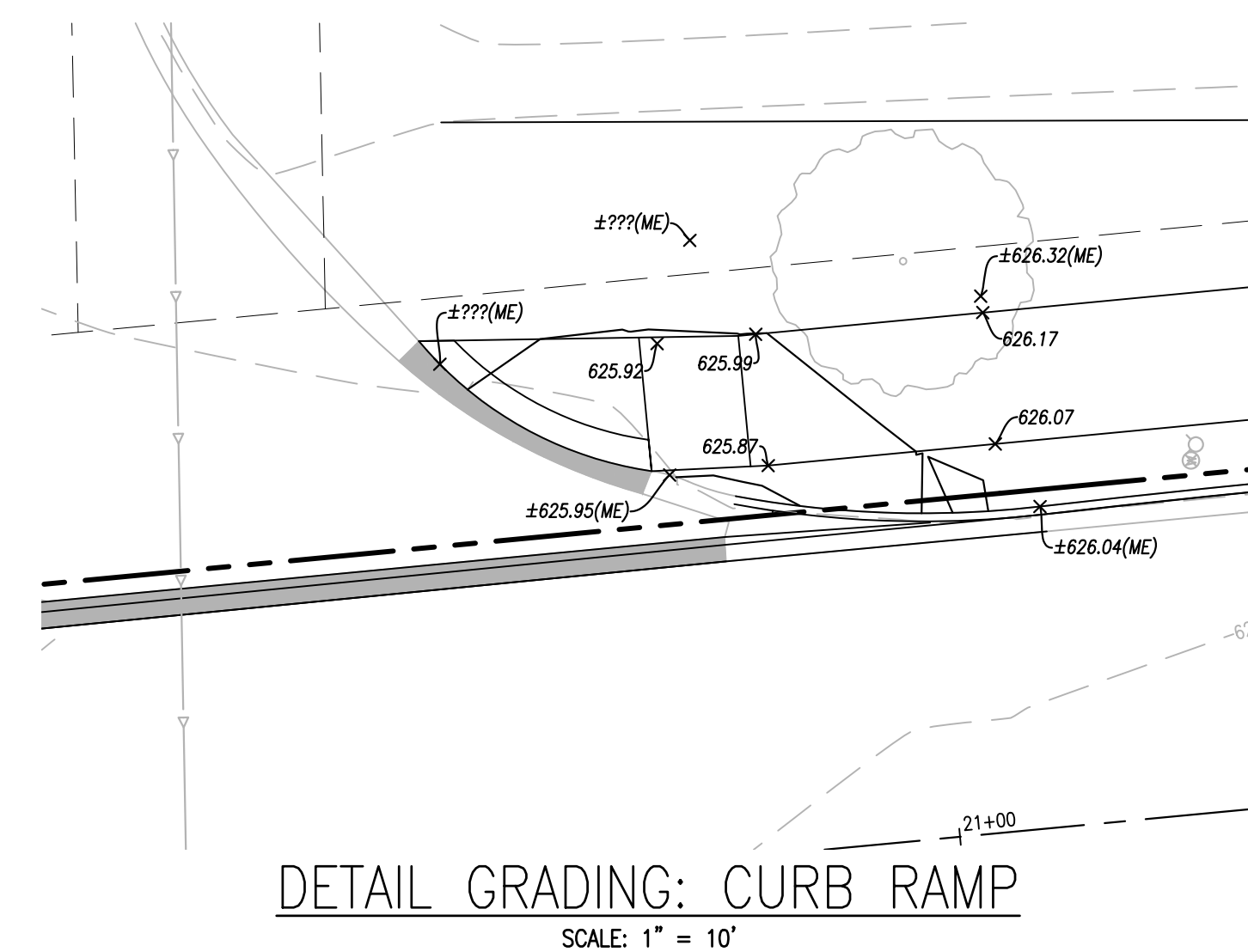
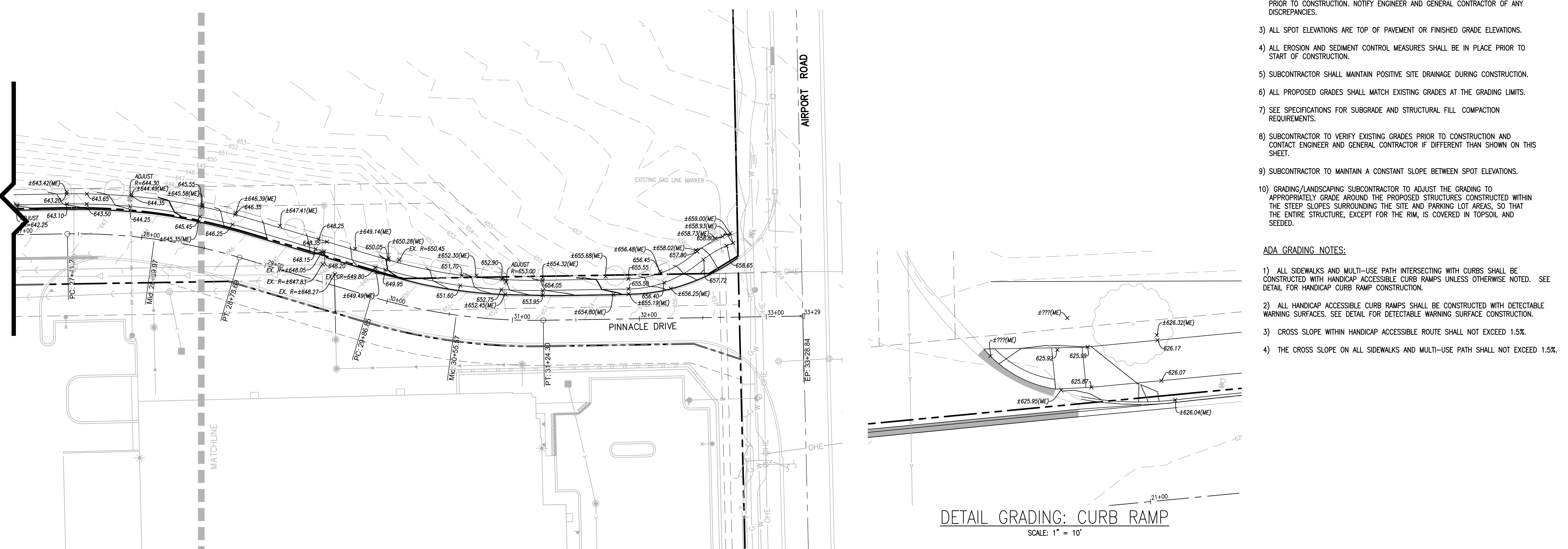
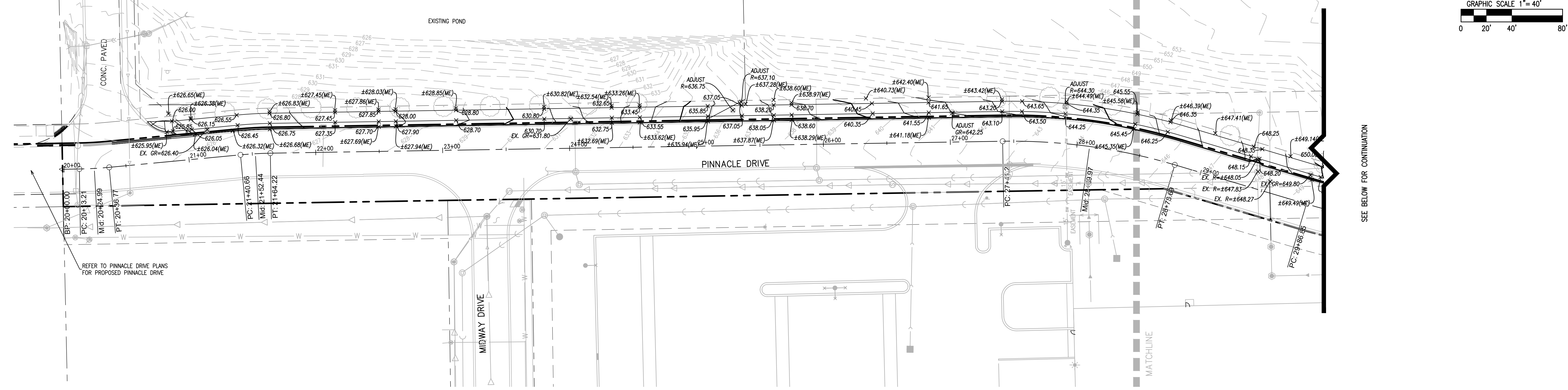


SEE ABOVE FOR CONTINUATION

GEOMETRIC PLAN		10/4/23	
SOUTH PINNACLE DRIVE MULTI-USE PATH		2 VILLAGE COMMENTS	
SOUTHCREEK BUSINESS CENTER		1 FOR REVIEW	
PALINCIA PROPERTIES		Description	
ROMEDEVILLE, ILLINOIS		No.	
		Date	
D190aj			
1" = 40'			
C4			

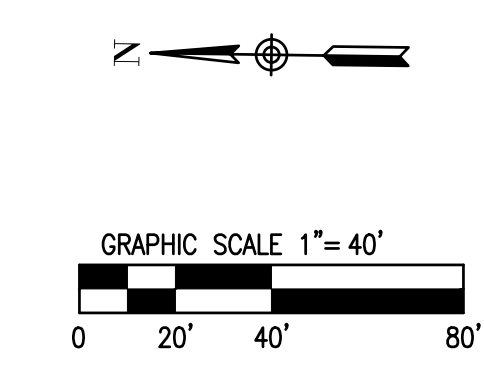
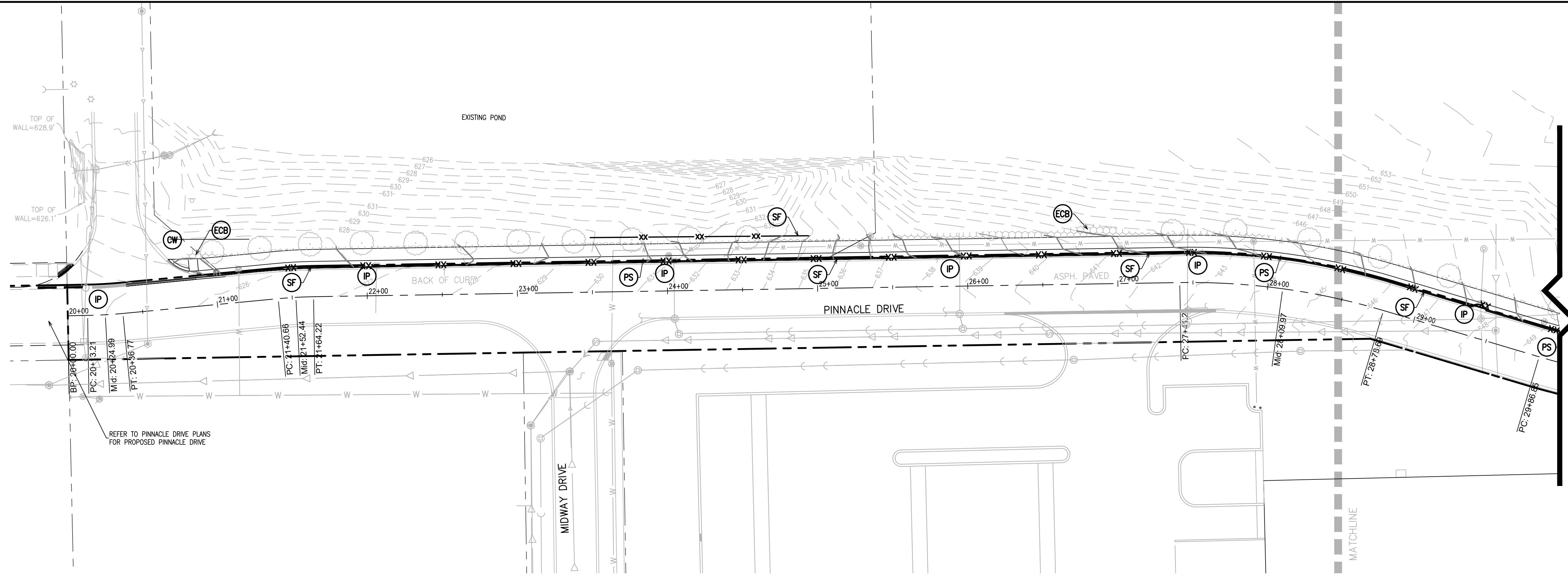
**JACOB & HEFNER ASSOCIATES**  
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
 PHONE: (630) 652-4600, FAX: (630) 652-4601  
 www.jacobandhefner.com





- GRADING NOTES**
- EXISTING INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY JACOB & HEFNER ASSOCIATES, INC. DATED AUGUST 01, 2022.
  - EXISTING PAVEMENT GRADES SHALL BE VERIFIED IN FIELD BY SUBCONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY ENGINEER AND GENERAL CONTRACTOR OF ANY DISCREPANCIES.
  - ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
  - SUBCONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
  - ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE GRADING LIMITS.
  - SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
  - SUBCONTRACTOR TO VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND CONTACT ENGINEER AND GENERAL CONTRACTOR IF DIFFERENT THAN SHOWN ON THIS SHEET.
  - SUBCONTRACTOR TO MAINTAIN A CONSTANT SLOPE BETWEEN SPOT ELEVATIONS.
  - GRADING/LANDSCAPING SUBCONTRACTOR TO ADJUST THE GRADING TO APPROPRIATELY GRADE AROUND THE PROPOSED STRUCTURES CONSTRUCTED WITHIN THE STEEP SLOPES SURROUNDING THE SITE AND PARKING LOT AREAS, SO THAT THE ENTIRE STRUCTURE, EXCEPT FOR THE RIM, IS COVERED IN TOPSOIL AND SEED.
- ADA GRADING NOTES:**
- ALL SIDEWALKS AND MULTI-USE PATH INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMPS UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
  - ALL HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
  - CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%.
  - THE CROSS SLOPE ON ALL SIDEWALKS AND MULTI-USE PATH SHALL NOT EXCEED 1.5%.

GRADING PLAN		10/4/23	Date
SOUTH PINNACLE DRIVE MULTI-USE PATH		2 VILLAGE COMMENTS	
SOUTHCREEK BUSINESS CENTER		1 FOR REVIEW	
PALINCIA PROPERTIES			
ROMEIOVILLE, ILLINOIS			
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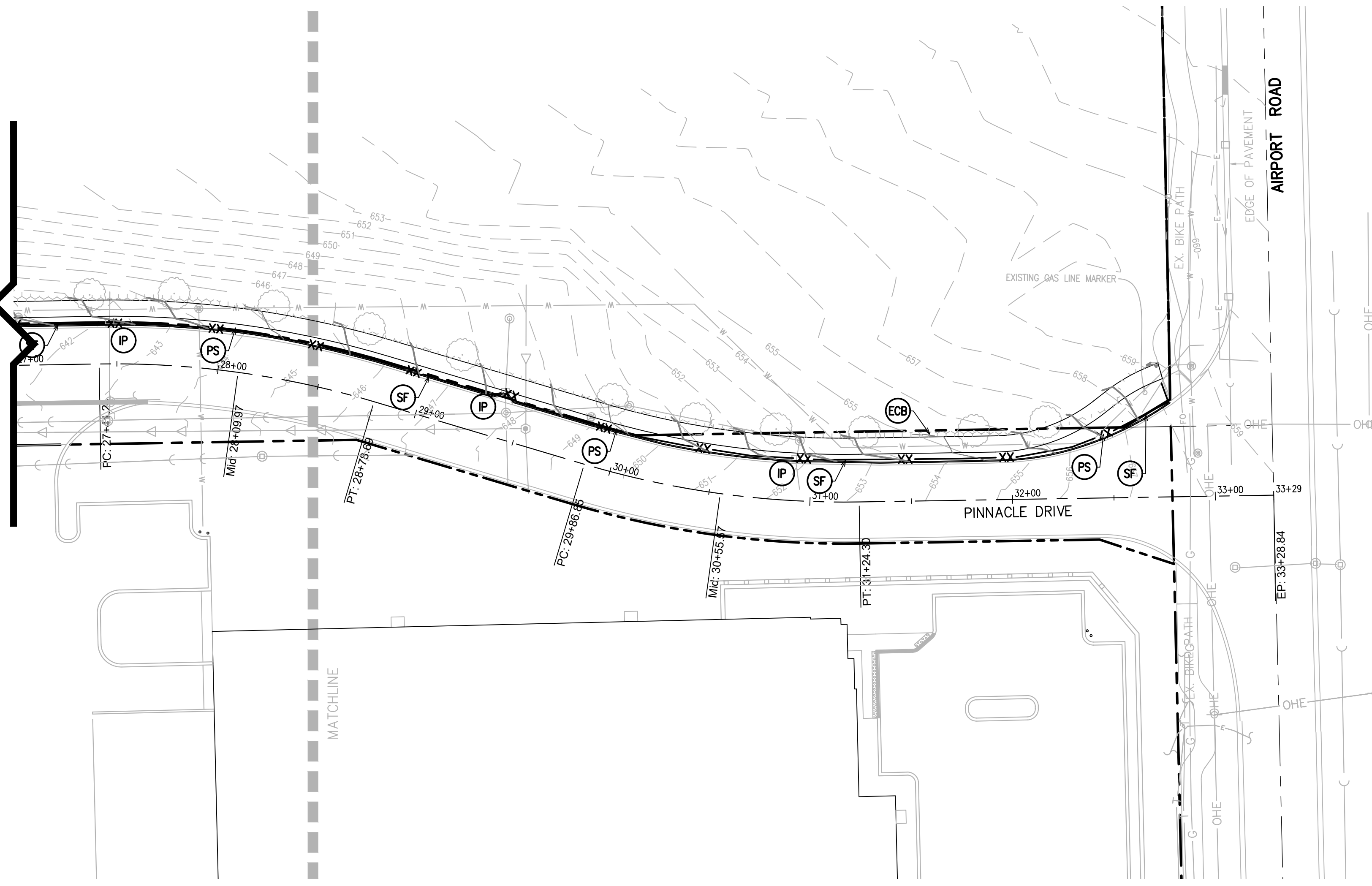
SEE BELOW FOR CONTINUATION

**EROSION CONTROL LEGEND**

- (ECB) EROSION CONTROL BLANKET  
NA GREEN DS75 OR APPROVED EQUAL
- (IP) INLET PROTECTION
- (PS) PERMANENT SEEDING
- (SF) SILT FENCE
- (CW) CONCRETE WASHOUT

**EROSION CONTROL NOTES**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
2. SUBCONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. SUBCONTRACTOR RESPONSIBLE FOR DUST CONTROL.
4. SUBCONTRACTOR RESPONSIBLE FOR MAINTAINING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
6. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
7. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
8. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
10. IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
11. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.
12. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
13. ALL GREEN AREAS SHALL BE DRESSED WITH A MINIMUM OF 6" OF TOPSOIL AND PERMANENT SEEDING.
14. TREE PROTECTION SHALL BE PLACED AROUND ALL TREES THAT ARE TO REMAIN.



SEE ABOVE FOR CONTINUATION

<b>EROSION CONTROL PLAN</b>		10/4/23	Date
<b>SOUTH PINNACLE DRIVE MULTI-USE PATH</b>		2 VILLAGE COMMENTS	2/22/23
<b>SOUTHCREEK BUSINESS CENTER</b>		1 FOR REVIEW	Description
<b>PALINCIA PROPERTIES</b>		No.	No.
<b>ROMEIOVILLE, ILLINOIS</b>			
<b>JACOB &amp; HEFNER ASSOCIATES</b>			
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com			
<b>D190aj</b>			
<b>1" = 40'</b>			
<b>C6</b>			

CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMIT	MAINTENANCE FREQUENCY
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	X	TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.
	DORMANT SEEDING		DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X	RE-SEED IF NEEDED.
	SODDING		SO	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.	X	X	N/A
NON VEGETATIVE SOIL COVER	MACHINE TRACKING	X	CC	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.		X	N/A
	POLYMER		P	ADDS INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X	REAPPLY EVERY 1 1/2 MONTHS.
	AGGREGATE COVER		AG	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X	CLEAN UP DIRT FROM STONE AS NEEDED.
	PAVING	X	PV	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		X	N/A
DIVERSIONS	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	X	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		CD	TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	X	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A
WATERWAYS	VEGETATIVE CHANNEL		VC	PROVIDES ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	X	REDO ANY FAILING AREAS.
	LINED CHANNEL		LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X	REPLACE PROTECTION WHEN NEEDED.
	STORM SEWER		STW	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		X	CLEAN SEDIMENT OUT.
ENCLOSED DRAINAGE	UNDER DRAIN		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DOWNER SEDIMENT BASINS.	X	X	N/A
	STRAIGHT PIPE SPILLWAY		SPS	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		X	CLEAN OUT CONSTRUCTION DEBRIS.
SPILLWAYS	DROP INLET PIPE SPILLWAY		DRS	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY		W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.	X	X	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BS	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.	X	X	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON		LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.	X	X	REPAIR DISLODGED STONES OR EROSION UNDER RIP-RAP AS NEEDED.
SEDIMENT BASINS	SEDIMENT BASIN		SB	USED TO COLLECT SMALLER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
	SEDIMENT TRAP		ST	USED TO COLLECT LARGER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
SEDIMENT FILTERS	SILT FENCE	X	SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
	VEGETATIVE FILTER		VF	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X	X	REDO ANY FAILING AREAS.
MUD AND DUST CONTROL	STABILIZED CONST. ENTRANCE	X	SE	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X	X	SCRAPE MUD AND REPLACE STONE AS NEEDED.
	DUST CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X	X	RE-APPLY AS NEEDED.
EROSION CONTROL	EROSION CONTROL BLANKET	X	ECB	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.			REPLACE AS NEEDED
	TURF REINFORCEMENT MAT		TRM	REINFORCES TURF IN CHANNELS AND SHORELINES.			REPLACE AS NEEDED
	CELLULAR CONFINEMENT		CF	USED TO HOLED TOPSOIL ON STEEP SLOPES.			REPLACE AS NEEDED
	GABIONS		GA	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.			REPLACE AS NEEDED
	GEOTEXTILE FABRIC		GF	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.			REPLACE AS NEEDED
	GEOBLOCK POROUS PAVEMENT		GP	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.			REPLACE AS NEEDED
SEDIMENT CONTROL	INLET PROTECTION	X	IP	USED FOR PROTECTION OF INLETS.			REPLACE OR CLEAN WHEN CLOGGED.
	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.			CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK		DC	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.			CLEAN OUT WHEN HALF-FULL OF SILT.
	FLOC LOG		FL	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.			REPLACE WHEN HALF DISSOLVED.
	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.			REPLACE WHEN FABRIC IS TORN OR HOLES BEGON TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.			REPLACE WHEN HALF-FULL. FABRIC IS TORN, OR HOLES BEGON TO FORM.
	CONCRETE WASHOUT	X	CW	FOR CONCRETE TRUCKS TO WASHOUT.			CLEAN OUT WHEN HALF-FULL. CLEAN WASHOUT GRAVEL AREA AS NEEDED.
	STREET SWEEPING	X	SS	USED TO PREVENT SILT BUILD UP IN STREETS.			CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN.

**SEEDING CHART**

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A									
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E**									
MULCHING	F											

- A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE
- B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C SPRING OATS 100 LBS/ACRE
- D WHEAT OR CEREAL RYE 150 LBS/ACRE.
- E SOD
- F STRAW MULCH 2 TONS/ACRE.

- \* IRRIGATION NEEDED DURING JUNE AND JULY.
- \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.
- \*\*\* MOW LAWNS AS NECESSARY

OBSERVATION & MAINTENANCE SCHEDULE		
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION- MAINTENANCE	CONTRACTOR	DURING CONSTRUCTION
STABILIZATION DURING CONSTRUCTION- OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EACH RAINFALL EVENT IN EXCESS OF 0.5"
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

**NOTES:**  
This plan has been prepared to comply with the provisions of the NPDES Permit Number ILR102CSF, issued by the Illinois Environmental Protection Agency for Stormwater Discharges from Construction Site Activities and Soil Erosion and Sediment Control Ordinance for the County.

- Site Description.
  - The following is a description of the construction activity following mass grading which is the subject of this plan:  
The proposed development consists of construction of a roadway and associated utilities. The construction activities for site improvements will include: mass grading, pavement construction, installation of utilities including storm sewers, soil erosion and sedimentation control measures, as a minimum.
  - The following is a description of the intended sequence of major activities which will disturb soils for major portions of the construction site, such as grubbing, excavation, and grading:  
The sequence of the construction activities may be as follows: 1) install silt filter fence and stabilized construction entrance, 2) mass grading, 3) underground utilities installation, 4) fine grading in pavement area and 5) pavement construction. The soil erosion and sedimentation control items will be constructed as needed during the above construction activities.
  - The total area of the construction site is estimated to be 0.45 acres.  
The total area of the site that is estimated to be disturbed by excavation, grading, or other activities, is 40.37 acres.
  - The estimated runoff coefficients of the various areas of the site after construction activities are completed are contained in the project drainage study, titled Stormwater Management for Pinnacle Drive prepared by Jacob & Hefner Associates, Inc., which is hereby incorporated by reference in this plan. The estimated proposed overall site runoff coefficient is 0.85.
  - Existing data describing soils or quality of discharge (soils report if available) Fair/Fair/Good/Not Available
  - Name of receiving water(s) South Creek Business Center Pond  
Name of ultimate receiving water(s) Mink Creek

- Controls.
 

This section of the plan addresses the various controls that will be implemented for each of the major construction activities described in 1.b above. For each measure discussed, the contractors will be responsible for its implementation as indicated. Each such contractor has signed the required certification on forms which are attached to, and are a part of, this plan.

  - Erosion and Sediment Controls.
    - STABILIZATION PRACTICES. Provided below is a description of interim and permanent stabilization practices, including site-specific scheduling of the implementation of the practices. Site plans will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Except as provided in 2.a.(i)(A) and 2.b., stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased on all disturbed portions of the site where construction activity will not occur for a period of 21 or more calendar days.
    - Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall be initiated as soon as practicable thereafter.
  - The following interim and permanent stabilization practices, as a minimum, will be implemented to stabilize the disturbed area of the site:
    - Permanent seeding
    - Silt filter fence
    - Vegetative Filter
    - Stabilized construction entrance
    - Barrier filter
  - STRUCTURAL PRACTICES. Provided below is a description of structural practices that will be implemented, to the degree attainable, to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. The installation of these devices may be subject to Section 404 of the Clean Water Act.
    - Detention Pond
    - Storm sewer system
    - Rip-rap for outlet protection
    - Permanent seeding
  - DUST CONTROL: Dust Control shall be provided per standard 825 of Illinois Urban Manual. Following are the dust control that can be used.
    - Irrigation
    - Spray on adhesive
    - Vegetative cover
    - Mulching
- Stormwater Management.
  - Provided below is a description of measures that will be installed during the construction process to control pollutants in stormwater discharges that will occur after construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act. The practices selected for implementation were determined on the basis of the technical guidance contained in EPA's Standard Specifications for Soil Erosion and Sedimentation Control, and other ordinances listed in the Specifications. The stormwater pollutant control measures shall include:
    - Silt filter fence
    - Barrier filters
    - Storm sewers
    - Retention/Detention ponds
  - Velocity dissipation devices will be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity flow from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydroperiod and hydrodynamics present prior to the initiation of construction activities). Stormwater Management Control includes:
    - Rip-rap for outlet protection
    - Ditch check
- Other Controls.
  - Waste Disposal. The solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed off-site by the contractor. The contractor is responsible to acquire any permit required for such disposal. Burning on the site will not be permitted. No solid materials, including building materials, shall be discharged into Waters of the State, except as authorized by a Section 404 permit.
  - The provisions of this plan shall ensure and demonstrate compliance with applicable State and/or local waste disposal, sanitary sewer or septic system regulations.

The sanitary sewage will be discharged to the proposed sanitary sewer constructed per IEPA and local standards.

d. Approved State or Local Plans. The management practices, controls, and other provisions contained in this plan are at least as protective as the requirements contained in the Illinois Environmental Protection Agency's Standards and Specifications for Soil Erosion and Sediment Control dated October 1987, Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Plan, and the Municipal Subdivision Ordinance. Requirements specified in sediment and erosion control site plans or site permits or stormwater management site plans or site permits approved by local officials that are applicable to protecting surface water resources are, upon submittal of an NOI to be authorized to discharge under this permit, incorporated by reference and are enforceable under this permit even if they are not specifically included in the plan.

3. Maintenance  
The following is a description of procedures that will be used to maintain, in good and effective operating conditions, vegetation, erosion and sediment control measures and other protective measures identified in this plan and Standard Specifications.

Stabilized construction entrance: The entrance shall be maintained to prevent tracking of sediment onto public streets. This will be done by top dressing with additional stones, remove and replace top layer of stones or washing the entrance. The sediment washed on the public right-of-way will be removed immediately.

Vegetative erosion control measures: The vegetative growth of temporary and permanent seeding, sodding, vegetative channels, vegetative filter, etc. shall be maintained periodically and supply adequate watering and fertilizer. The vegetative cover shall be removed and reseeded as necessary.

Sedimentation basins/traps: The sediments shall be removed when 40-50 percent of the total original capacity is occupied by the sediment. In no case shall the sediment be built up to more than 1 foot below the crest elevation. At this stage, the basin shall be cleaned out to restore its original volume.

Silt filter fence: The damaged silt filter fence shall be restored to meet the standards or removed and replaced as needed.

Straw bale barrier filters: The straw bale barrier filter shall be inspected frequently and shall be repaired or removed and replaced as needed.

Rip-Rap outlet protection: It shall be inspected after high flows for any scour beneath the Rip-Rap or for stones that have been dislodged. It shall be repaired immediately.

- Inspections
  - The Owner, or Owner's representative shall provide qualified personnel to inspect disturbed areas of the construction site which have not been finally stabilized, structural control measures, and location where vehicles enter or exit the site. Such inspections shall be conducted at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater or equivalent snowfall.
  - Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off site sediment tracking.
  - Based on the results of the inspection, the description of potential pollutant sources identified in section 1 above and pollution prevention measures identified in section 2 above shall be revised as appropriate as soon as practicable after such inspection. Any changes to this plan resulting from the required inspections shall be implemented within 7 calendar days following the inspection.
  - A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this stormwater pollution prevention plan, and actions taken in accordance with section 4.b. shall be made and retained as part of the plan for at least three (3) years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the general permit.
  - If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this plan, the Resident Engineer or Resident Technician shall complete and file an "Incidence of Noncompliance" (ION) report for the identified violation. The Resident Engineer or Resident Technician shall use forms provided by the Illinois Environmental Protection Agency and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted from the noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with Part VI. G of the general permit. The report of noncompliance shall be mailed to the following address:  
ALL PACKAGES: Illinois Environmental Protection Agency, Division of Water Pollution Control, Attn: Compliance Assurance Section, 1024 North Grand Avenue, East Springfield, IL 62794  
ALL LETTERS: Illinois Environmental Protection Agency, Division of Water Pollution Control, Attn: Compliance Assurance Section, Post Office Box 19276, Springfield, IL 62794-9276
- Non-Stormwater Discharge
 

Except for flows from fire fighting activities, sources of non-stormwater that may be combined with stormwater discharges associated with the residential activity addressed in this plan, are described below:

  - Water main flushing
  - Fire hydrant flushing
  - Watering for dust control
  - Irrigation drainage for vegetative growth for seeding, etc.

The pollution prevention measures, as described below, will be implemented for non-stormwater components of the discharge:  
The fire hydrant and water main shall not be flushed directly on the exposed area or subgrade of the pavement. Hoses shall be used to direct the flow into the storm sewer system.  
The erosion due to irrigation of seeding shall be considered minor.

**VILLAGE NOTES:**

- THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".
- A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER ONE ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
- A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.

**EROSION CONTROL CERTIFICATE:**  
THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**NPDES CERTIFICATE**

This certification statement is a part of the Storm Water Pollution Prevention Plan for the project described below, in accordance with NPDES Permit No. ILR102CSF, issued by the Environmental Protection Agency on September 07, 2022

PROJECT TITLE: PINNACLE DRIVE - MULTI USE PATH

PROJECT LOCATION: ROMEDEVILLE WILL ILLINOIS  
CITY/VILLAGE COUNTY STATE

DEVELOPER: SATORI PROPERTIES

I certify under penalty of law that I understand the terms of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site identified as part of this certification.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**CONTRACTOR/SUBCONTRACTOR CERTIFICATION STATEMENT**

Name: \_\_\_\_\_ Signature \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**STORMWATER POLLUTION PREVENTION PLAN**

**SOUTH PINNACLE DRIVE MULTI-USE PATH**

**SOUTHCREEK BUSINESS CENTER**

**PALINCIA PROPERTIES**

**ROMEDEVILLE, ILLINOIS**

**JACOB & HEFNER ASSOCIATES**

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
PHONE: (630) 652-4600, FAX: (630) 652-4601  
www.jacobandhefner.com

2 VILLAGE COMMENTS  
1 FOR REVIEW  
No.

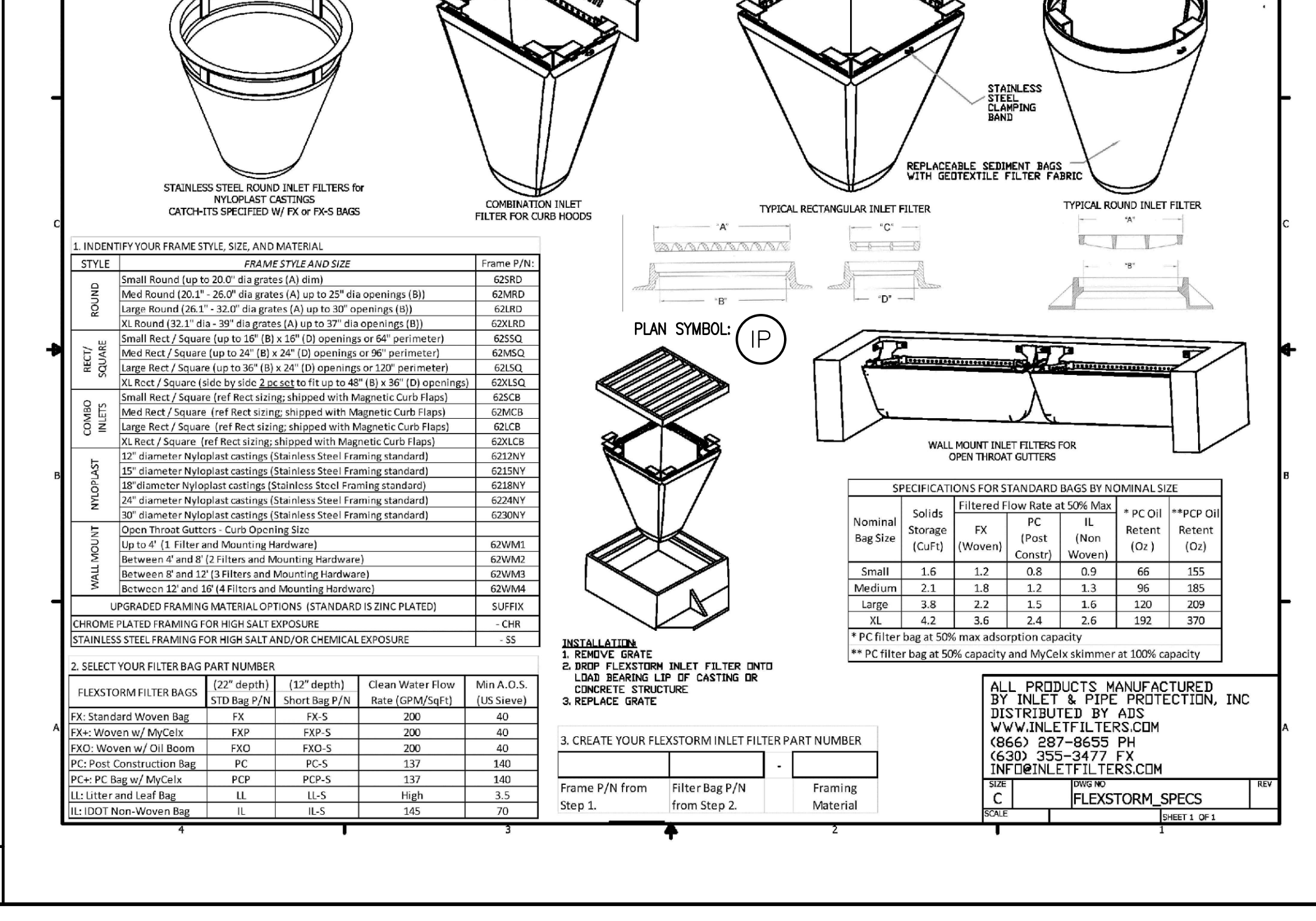
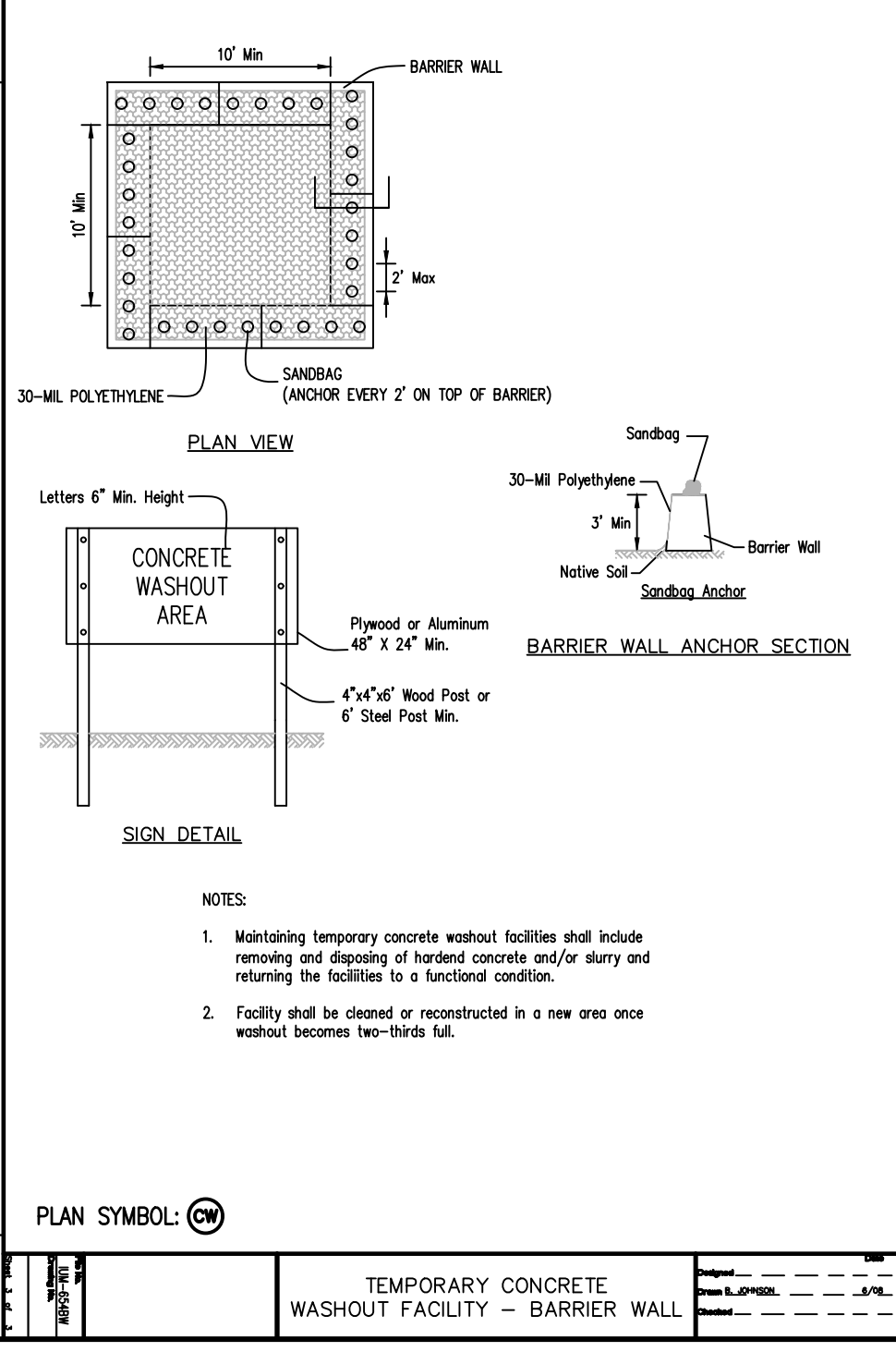
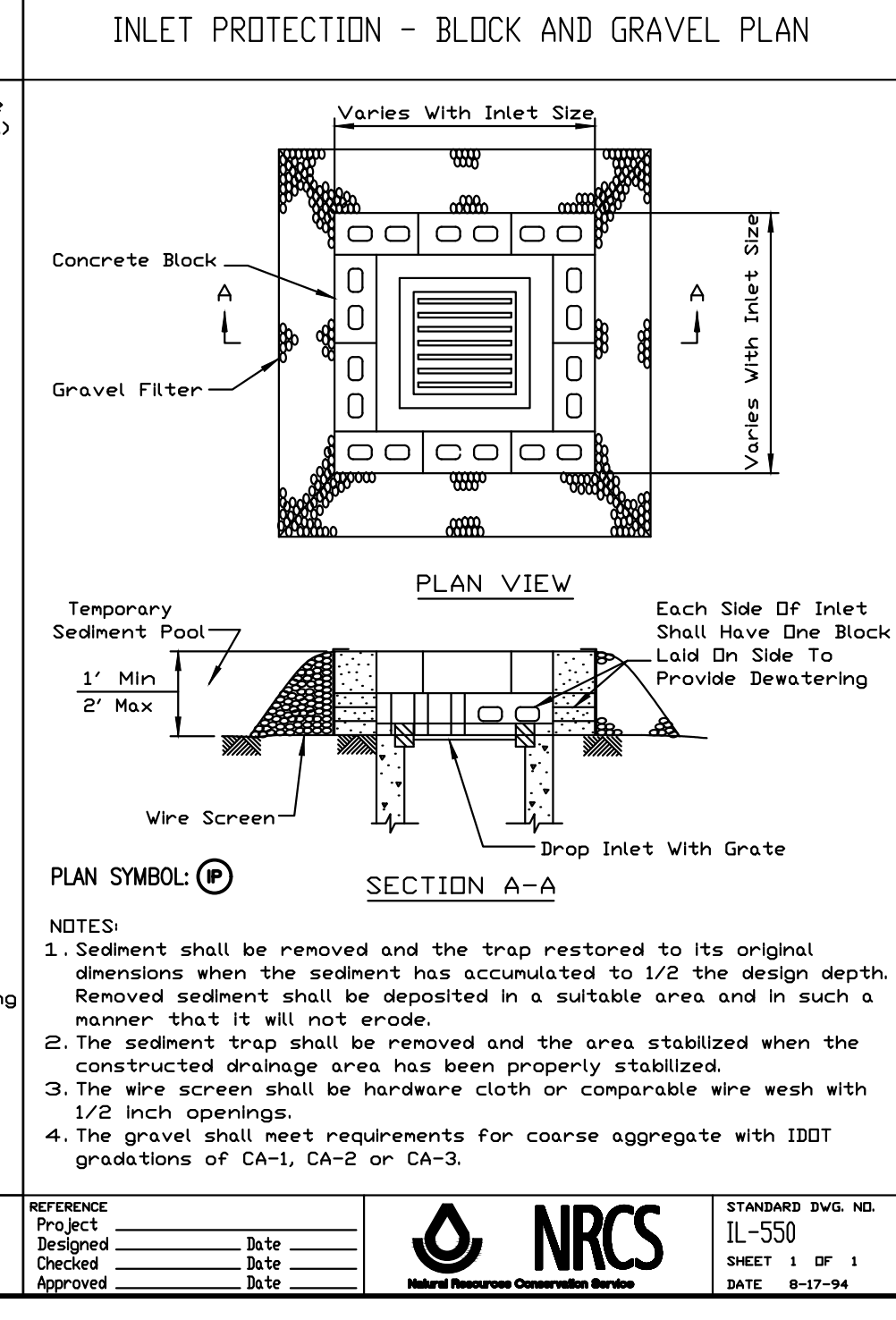
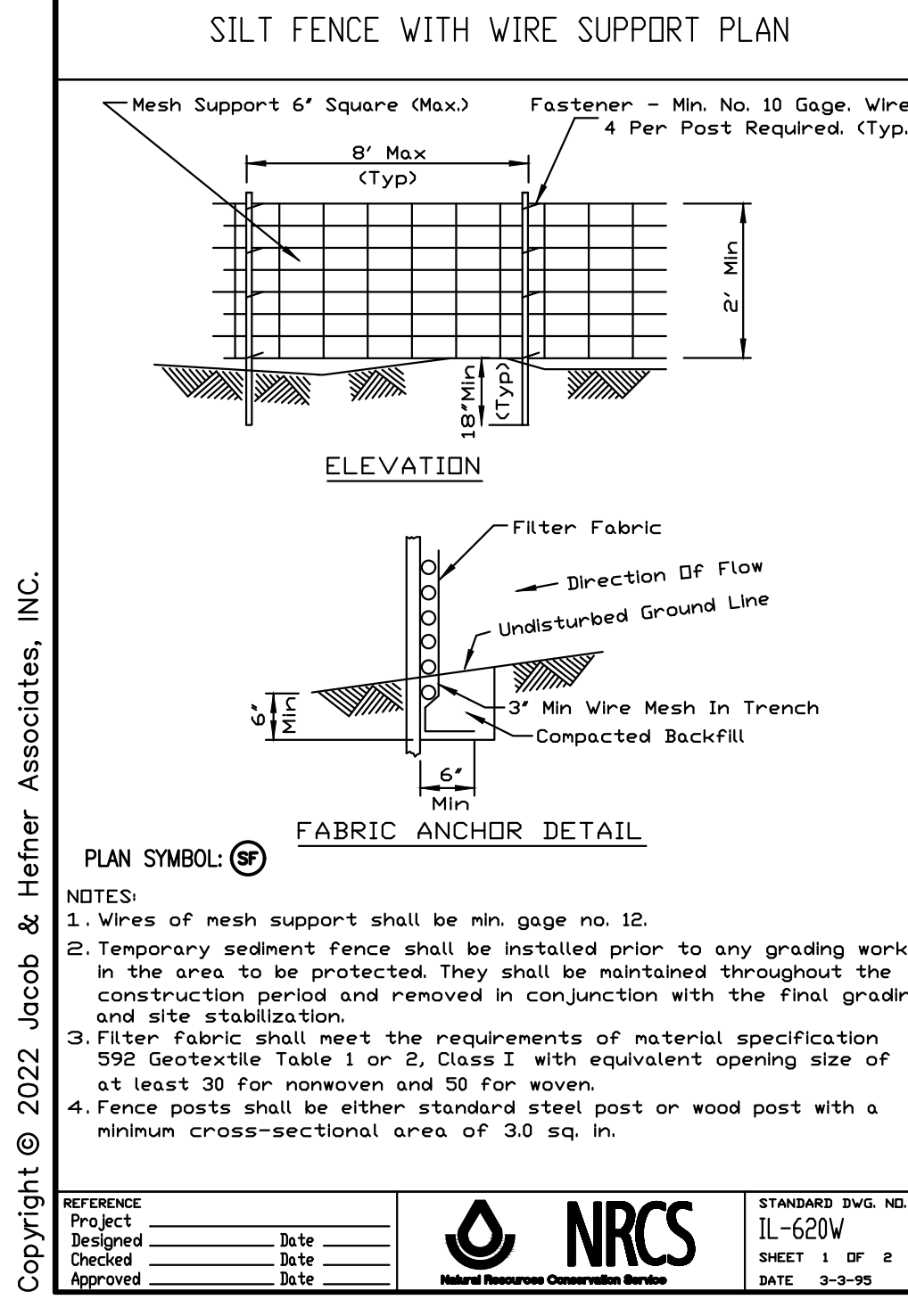
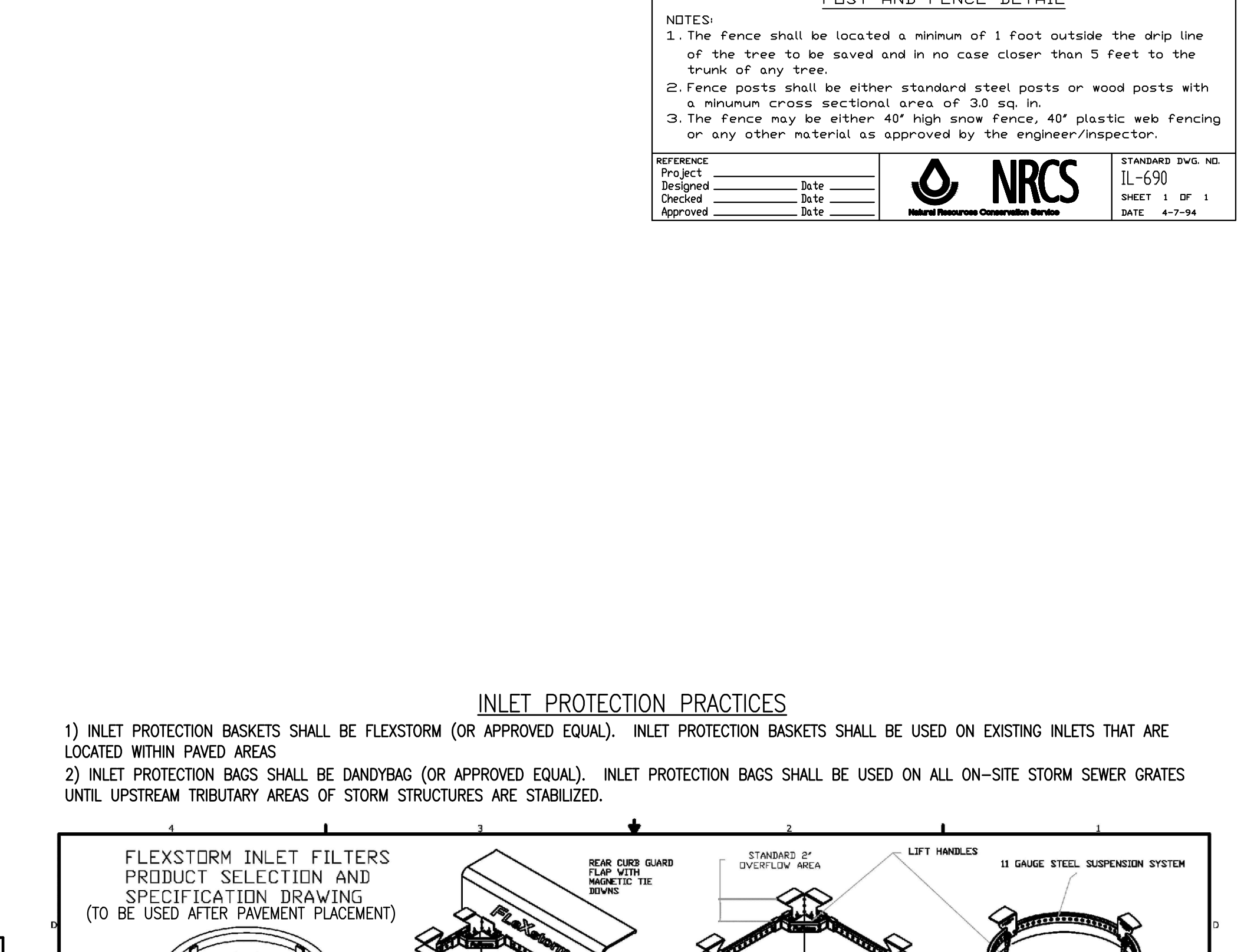
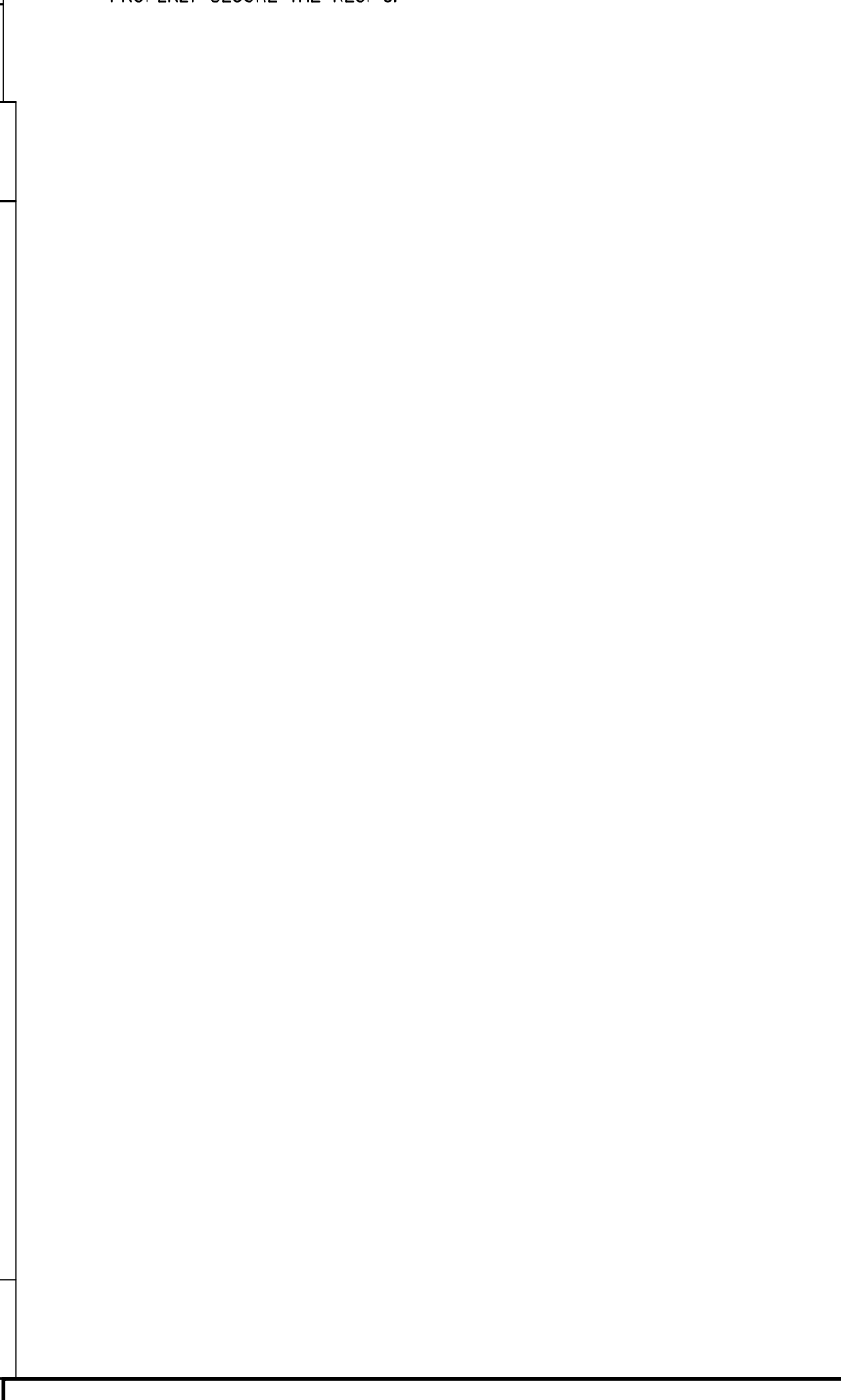
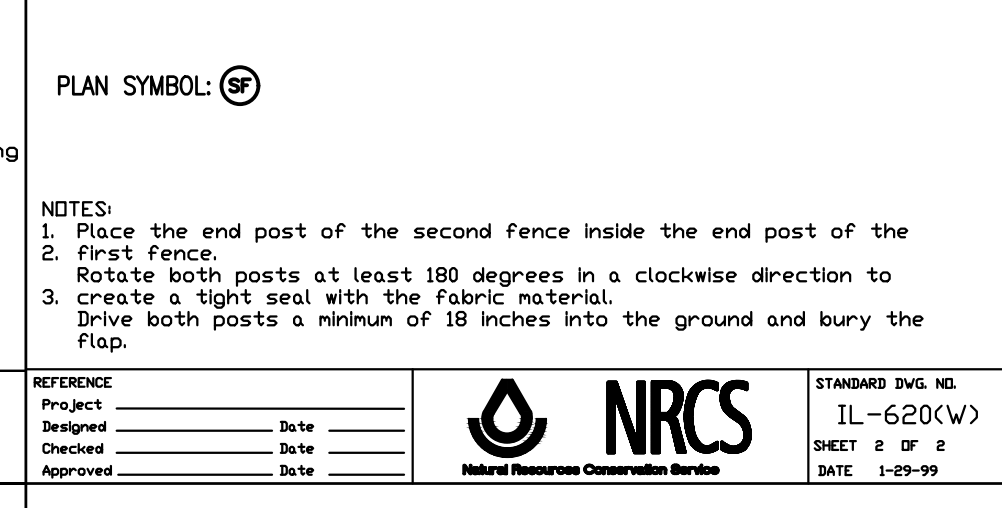
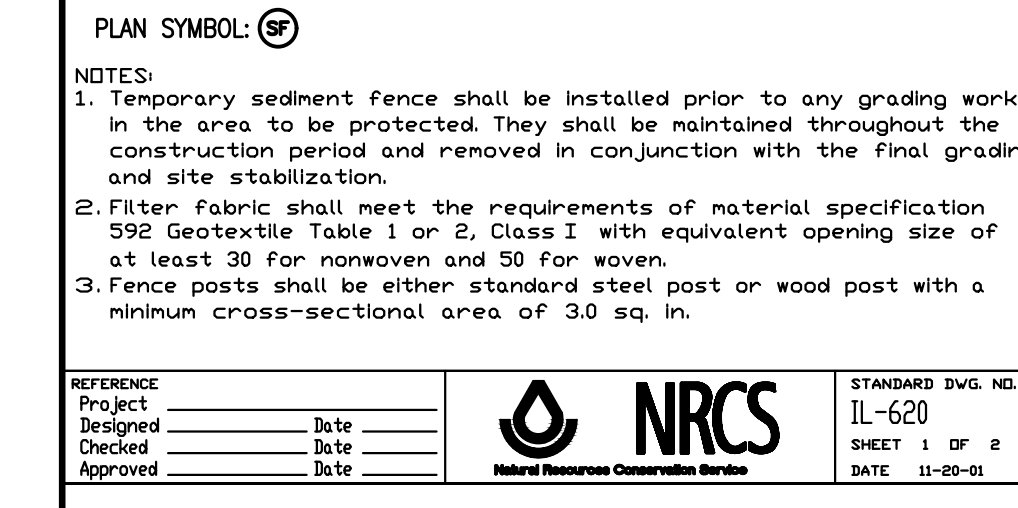
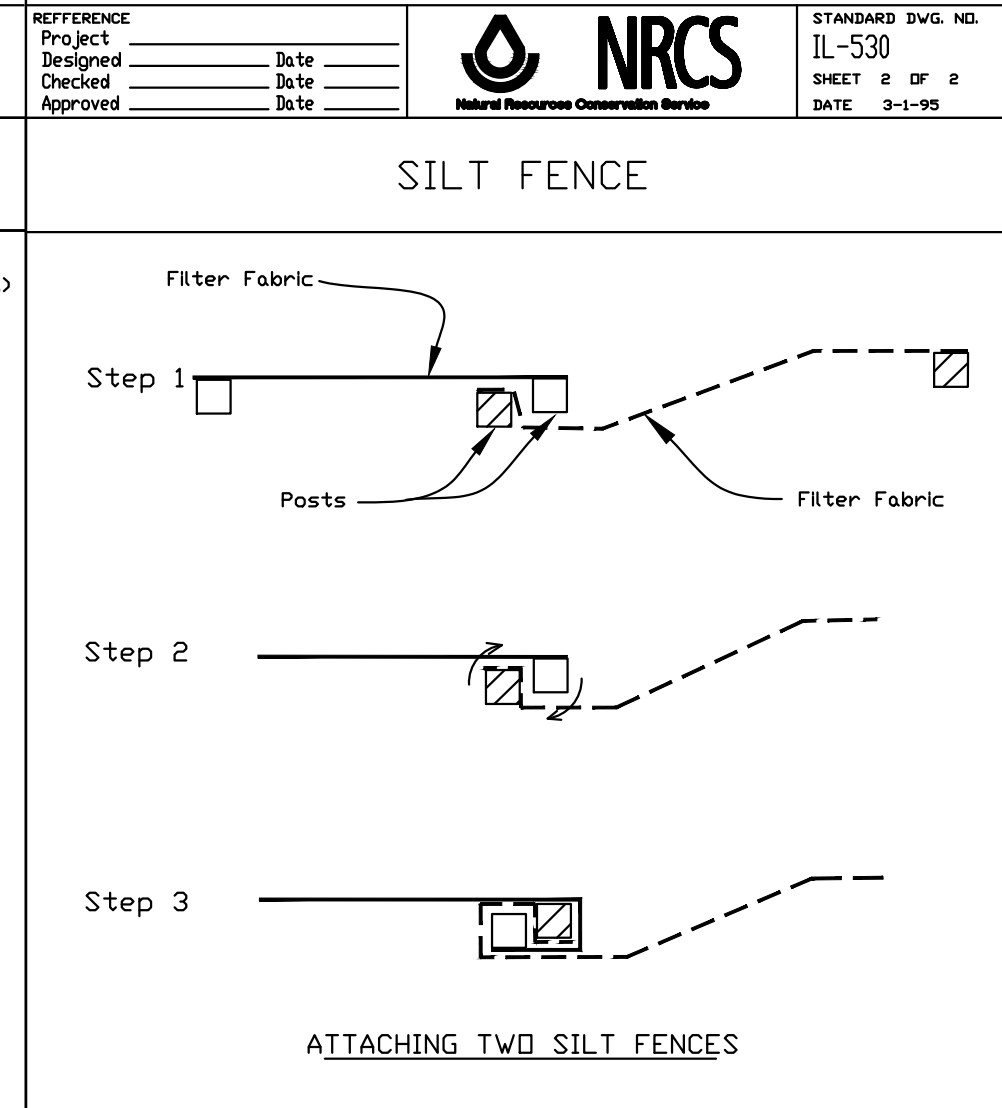
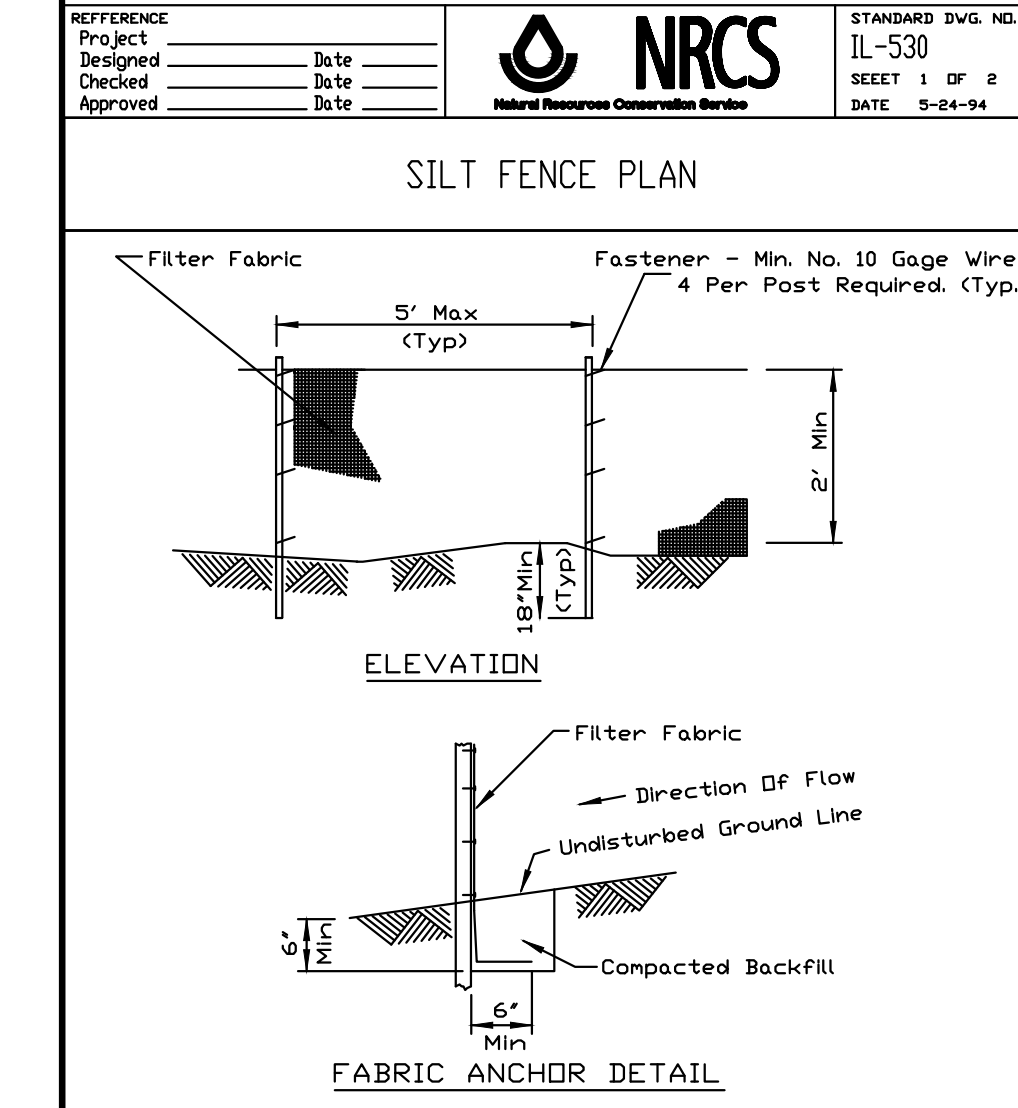
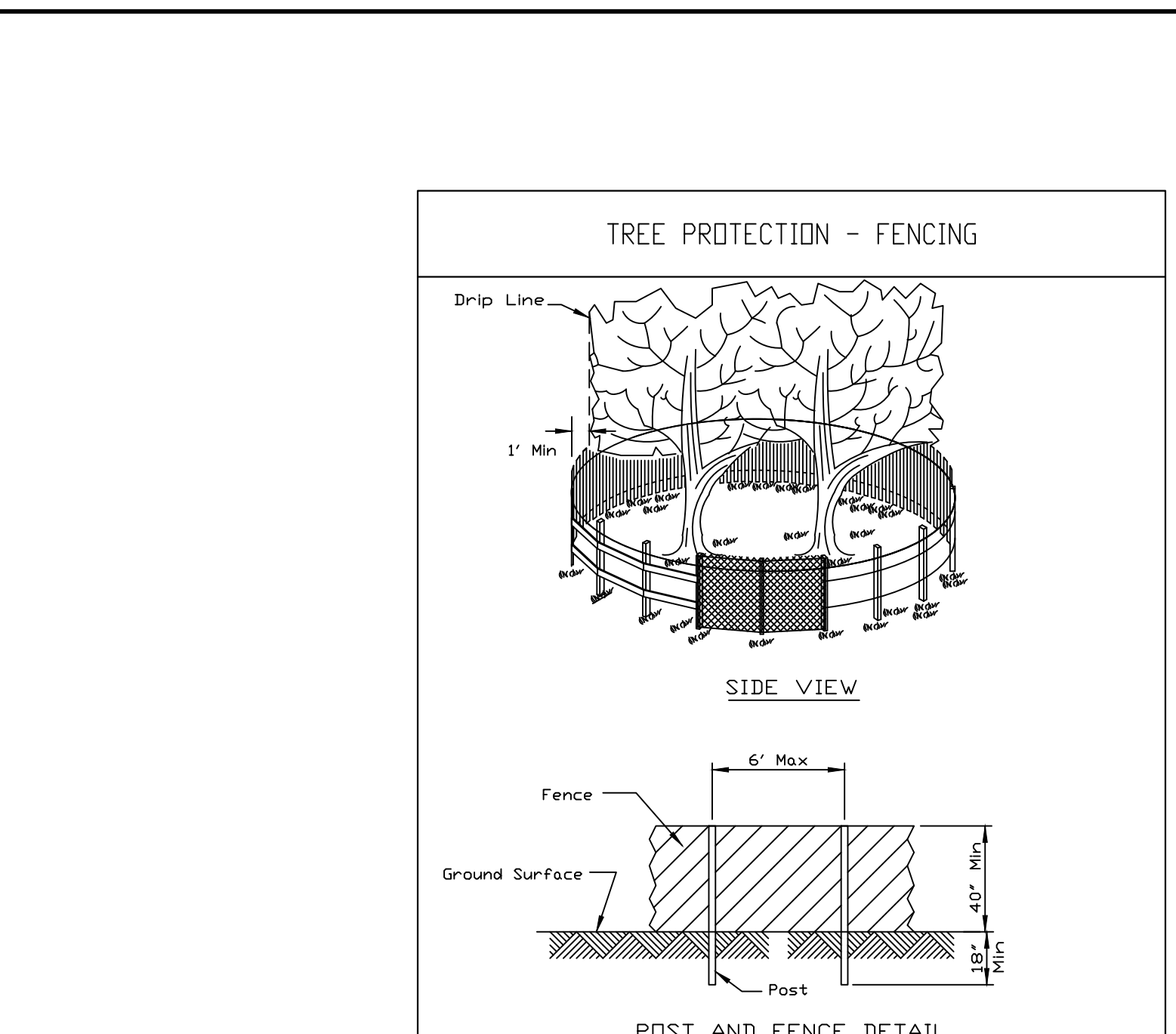
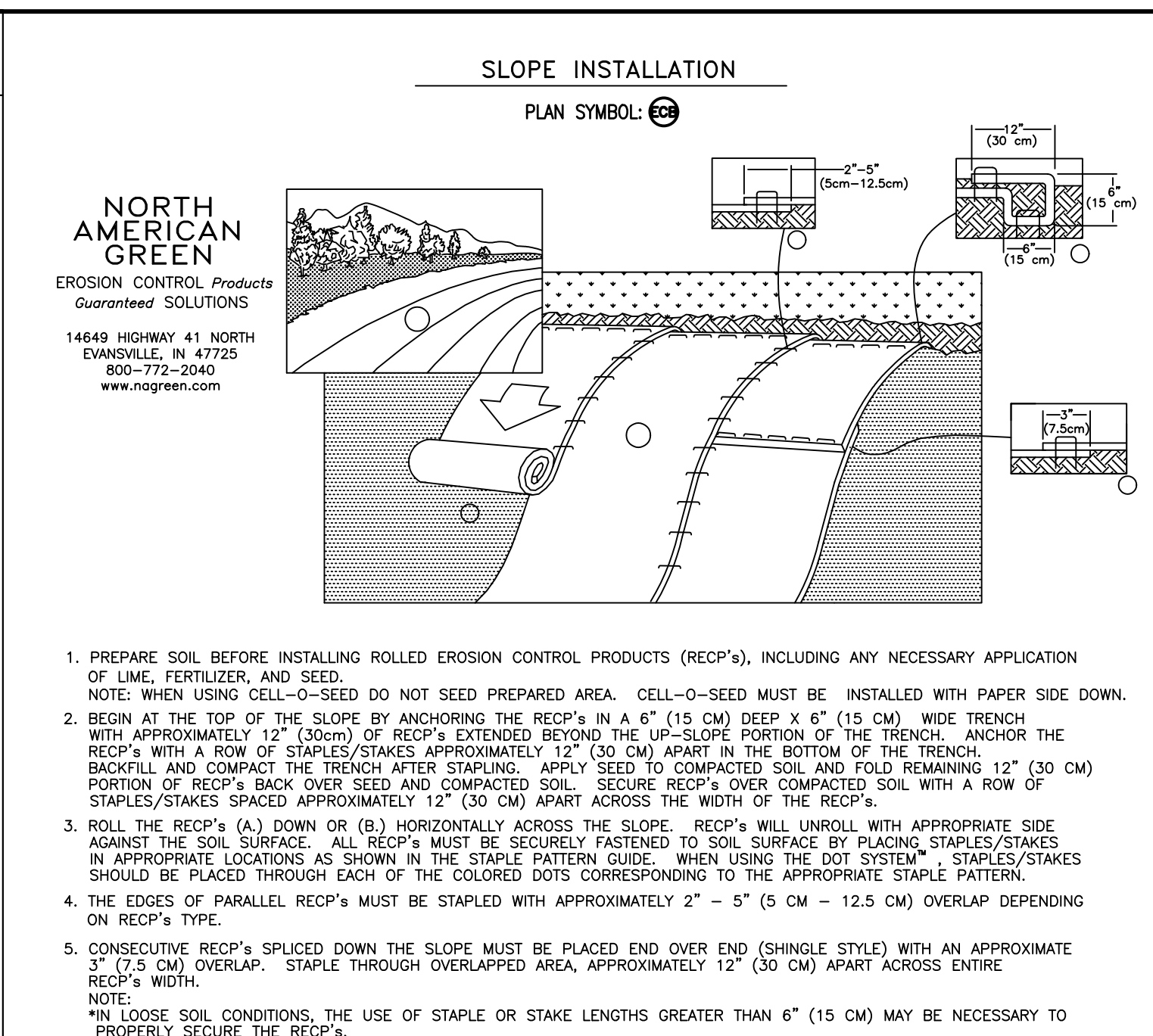
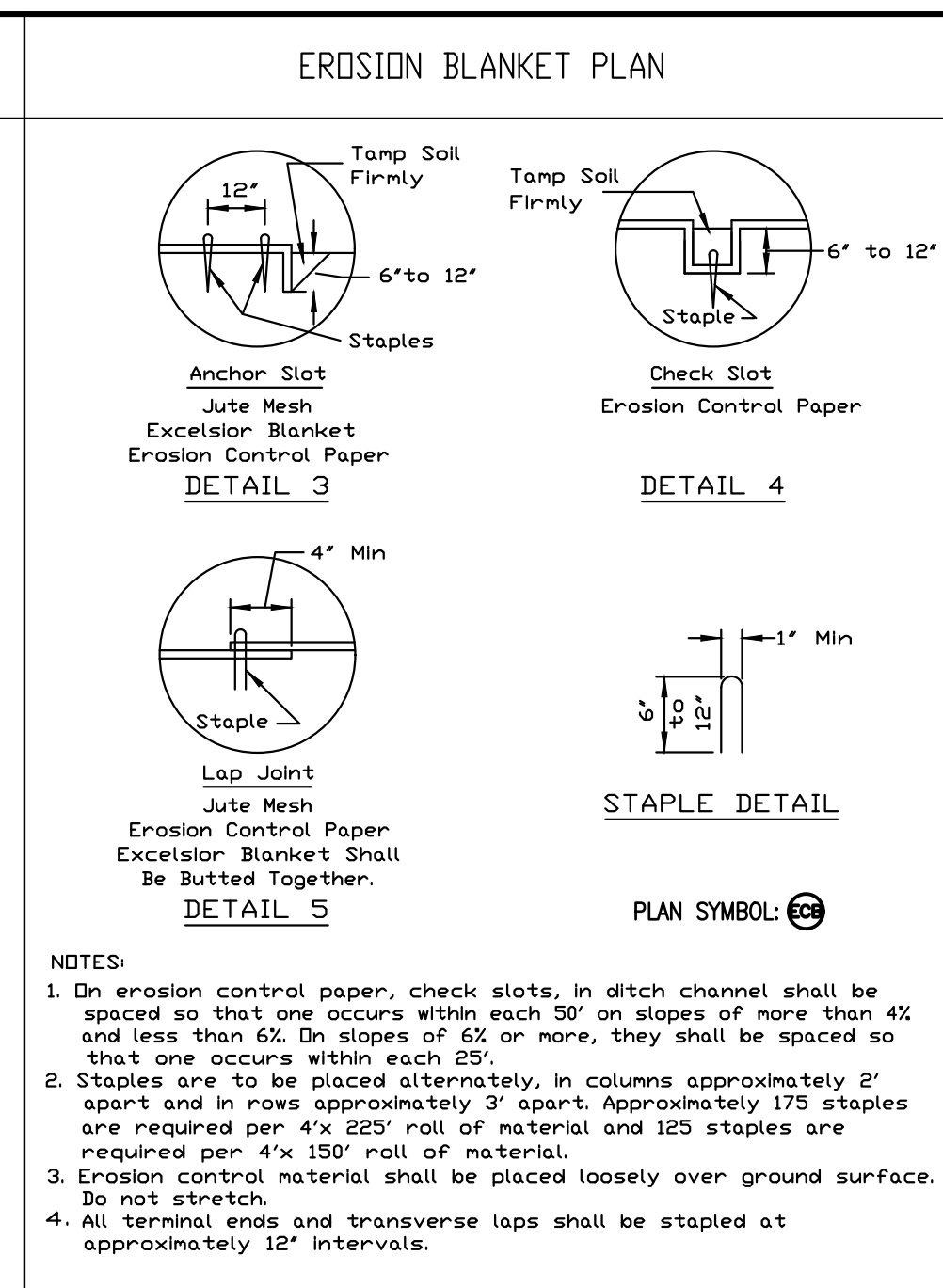
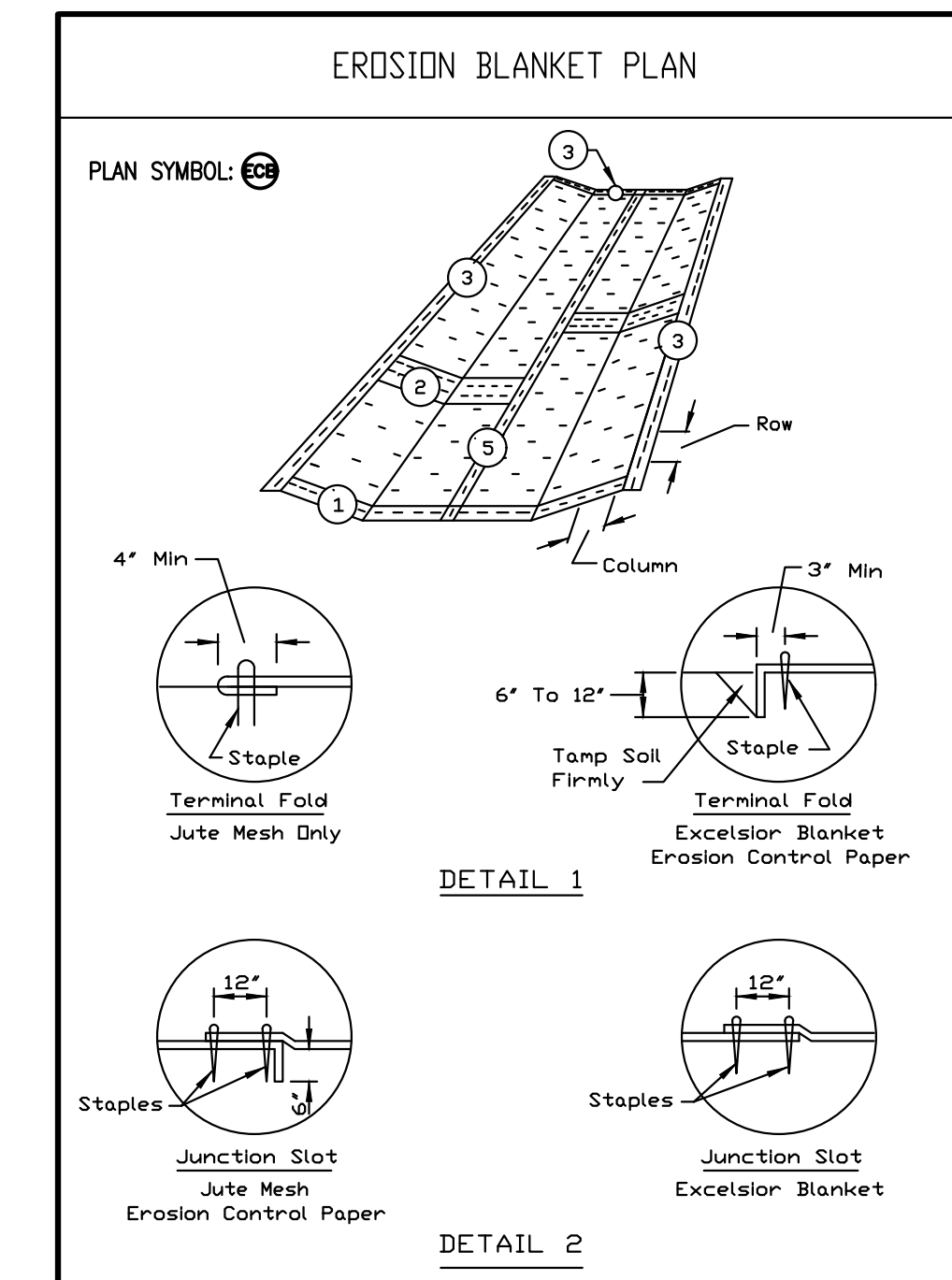
10/4/23  
2/22/23  
Date

D190aj

N.T.S.

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Project	10/4/23	Date
Checked	2/22/23	Date
Approved	1 FOR REVIEW	No.
2 VILLAGE COMMENTS		
1 FOR REVIEW		
No.		
Description		
SWPPP DETAILS		
SOUTH PINNACLE DRIVE MULTI-USE PATH		
SOUTHCREEK BUSINESS CENTER		
PALINCA PROPERTIES		
ROMEIOVILLE, ILLINOIS		
JACOB & HEFNER ASSOCIATES		
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515		
PHONE: (630) 652-4600, FAX: (630) 652-4601		
www.jacobandhefner.com		
D190aj		
N.T.S.		
C8		

**EARTHWORK**

- TOPSOIL EXCAVATION**
  - TOPSOIL, ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM AREAS REQUIRING STRUCTURAL FILL.
  - PLACEMENT OF EXCAVATED MATERIAL SHALL BE DESIGNED BY THE OWNER FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED OR AS FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL.
  - EXCESS MATERIALS NOT UTILIZED AS FILL OR NOT STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- EARTH EXCAVATION**
  - EXCAVATION OF EARTH AND OTHER MATERIALS, WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL SHALL BE WITHIN A TOLERANCE OF 0.05 FEET FOR PADS AND PAVEMENT, AT 0.1 FEET +/- OF THE PLAN SUBGRADE ELEVATIONS. THE +/- TOLERANCE WITHIN PAVEMENT AREAS UTILIZING EARTH MATERIALS SHALL "BALANCE" AS PART OF THE FINE GRADING OPERATION.
  - PLACEMENT OF EARTH AND OTHER SUITABLE MATERIALS SHALL BE PLACED WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS WITHIN A TOLERANCE OF 0.1 FEET +/-, THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS, NOT EXCEED EIGHT INCHES IN THICKNESS. THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE THE REQUIRED COMPACTION. EARTH MATERIAL MAY BE PLACED WITHIN THOSE AREAS OF THE SITE NOT REQUIRING STRUCTURAL FILL WITHIN THE PLAN SUBGRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS. THE STRUCTURAL SUBGRADE AREA SHALL EXTEND TO THE ZONE OF INFLUENCE IN ALL FILL AREAS.
  - COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DRY DENSITY. THIS INCLUDES AREAS WITHIN PROPOSED PAVEMENT AND BUILDING PAD LOCATIONS, SIDEWALKS, ETC. IN NON-STRUCTURAL FILL AREAS, 90% TO 95% OF THE MODIFIED PROCTOR DRY DENSITY IS REQUIRED.
- UNSUITABLE MATERIAL**
  - UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION. IF IT IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION, IT SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL APPROVED BY THE SOILS ENGINEER. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- THE GRADING CONTRACTORS RESPONSIBILITIES**
  - MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
  - SPREAD AND COMPACT UNIFORMLY ALL EXCESS TRENCH SPILL, AS SPECIFIED, AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
  - SCARIFY AND COMPACT THE UPPER 12 INCHES OF THE SUITABLE SUBGRADE MATERIAL, AS SPECIFIED, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
  - PROVIDE ADDITIONAL WATER TO DRY MATERIAL TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
  - BACKFILL THE CURB AND GUTTER AFTER CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
  - ACCOUNTABLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS DESCRIBED ON THE PLANS. ALL CONTRACTORS SHALL COMPLY WITH THE SWPPP AND NPDES REQUIREMENTS.
  - PERFORM LIME STABILIZATION OF THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS ENGINEER.
- TESTING AND FINAL ACCEPTANCE**
  - THE CONTRACTOR SHALL PROVIDE, AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE. PROOF ROLLING SHALL BE PERFORMED PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND BASE MATERIAL. THIS SHALL BE WITNESSED AND APPROVED BY THE MUNICIPAL ENGINEER AND OWNER.
  - ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING, SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT. PROOF ROLLING SHALL BE PERFORMED UNTIL THE SUBGRADE IS APPROVED BY THE MUNICIPAL ENGINEER, OWNER AND SOILS ENGINEER.
  - THE WORK AREAS SHALL BE POSITIVELY DRAINED DURING CONSTRUCTION. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.

**PAVEMENT**

- FINE GRADING**
  - PRIOR TO THE CONSTRUCTION OF CURB AND GUTTER AND PLACEMENT OF THE BASE MATERIAL, THE STREETS SHALL BE FINE GRADED TO WITHIN 0.05 FEET OF FINAL SUBGRADE ELEVATION, TO A POINT TWO FEET BEYOND THE BACK OF CURB.
- CURB AND GUTTER**
  - THE TYPE OF THE CURB AND GUTTER SHALL BE AS DETAILED ON THE ENGINEERING PLANS.
  - THE CURBS SHALL BE BACKFILLED AFTER CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.
  - THE STONE COST UNDER THE CURB AND GUTTER SHALL BE CONSIDERED INCIDENTAL.
  - DEPRESSED CURBS FOR DRIVEWAYS AND HANDICAPPED RAMPS SHALL BE INSTALLED PER THE PLANS AND IDOT STANDARDS.
- CONCRETE PAVEMENT**
  - CONSTRUCTION JOINTS SHALL INCLUDE DOWELS PER "CONSTRUCTION JOINT TABLE" ALL DOWELS SHALL BE SMOOTH EPOXY COATED; GREASE ONE END.
  - CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINT 5' OFF OF FACE OF BUILDING.
  - EXCEPT AT FIRST PANEL FROM THE FACE OF BUILDING, CONCRETE PANEL LENGTH SHALL NOT EXCEED ITS WIDTH BY MORE THAN 25%.
  - CONSTRUCTION JOINTS SHALL BE CUT TO A DEPTH D/4 FOR CONVENTIONAL CONCRETE, OR D/3 FOR FIBER REINFORCED CONCRETE. WIDTH OF SAW-CUT SHALL BE PER JOINT SEALANT MATERIAL MANUFACTURER'S RECOMMENDATIONS.
  - ALL JOINTS SHALL BE CAULKED
    - SIKASIL-728SL (SAWCUT JOINTS)
    - SIKAFLEX-1C/SL (EXPANSION JOINTS)
    - OR APPROVED EQUAL.
  - CURB & GUTTER WITHIN CONCRETE PAVEMENT AREAS SHALL BE MONOLITHICALLY POURED OR SHALL BE TIED TO THE FIRST PANEL.

DOWEL SIZE AND SPACING AT CONSTRUCTION JOINTS		
PAVEMENT DEPTH (INCH)	CONSTRUCTION JOINT DOWEL DIMENSIONS (NCH)	DOWEL SPACING C-C (NCH)
5 TO <6	3/4 x 10	12
6 TO <8	1 x 13	12
8 TO <10	1-1/4 x 15	12
10 TO 12	1-1/2 x 18	12

- PAVEMENT**
  - THE PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS. DEPTHS SPECIFIED SHALL BE CONSIDERED THE MINIMUM COMPACTED THICKNESS.
- GENERAL**
  - THE PAVING CONTRACTOR SHALL:
    - REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.
    - SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. ANY DAMAGE TO THE BINDER COURSE SHALL BE REPAIRED BY THE CONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.
    - PROVIDE CONSTRUCTION, EXPANSION AND CONSTRUCTION JOINTS FOR CURB AND GUTTER AND P.C.C. SIDEWALK PER IDOT STANDARDS AND MUNICIPAL STANDARDS.
    - REMOVE ALL EXCESS MATERIALS AND DEBRIS. DISPOSE OF MATERIALS OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.
- TESTING AND FINAL ACCEPTANCE**
  - PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE LOCATIONS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE SUBGRADE SHALL HAVE A MINIMUM IBR VALUE OF 3.0.
  - PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED AND AS REQUIRED. THICKNESS VERIFICATION WILL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
  - FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND VERIFICATION REQUIREMENTS CITED ABOVE.
- METHOD OF MEASUREMENT**
  - CURB AND GUTTER AND BASE COURSE SHALL BE MEASURED IN THE FIELD BY THE CONTRACTOR. THE QUANTITIES SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION WHEN REQUESTED BY THE OWNER.
  - WHEN REQUESTED BY THE OWNER, DOCUMENTATION FOR THE INSTALLED BASE COURSE, BITUMINOUS CONCRETE BINDER AND SURFACE COURSE, SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION AS REQUIRED BY THE MUNICIPALITY. WHERE DIRECTED, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE BITUMINOUS CONCRETE WITH A CORE DRILL TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED BY THE METHOD DESCRIBED IN THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADES, WARNING DEVICES AND SAFE TRAFFIC MANAGEMENT WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION. THIS SHALL BE IN ACCORDANCE WITH THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY.**
- LONGITUDINAL JOINT CONSTRUCTION**
  - AS MANY LONGITUDINAL JOINTS AS PRACTICAL SHALL BE CLOSED AT THE END OF EACH DAY OF PAVING. A TACK COAT SHALL BE APPLIED TO THE "COLD" SIDE OF THE LONGITUDINAL JOINT PRIOR TO THE PLACEMENT OF THE HOT SIDE MAT.
  - LONGITUDINAL JOINT CONSTRUCTION SHALL BE COMPLETED BEFORE THE "COLD" SIDE OF THE JOINT FALLS BELOW 200°F.
  - IN THE EVENT THE TEMPERATURE OF THE "COLD" SIDE OF A JOINT FALLS BELOW 200°F PRIOR TO JOINT CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL PERFORM THE FOLLOWING:
    - HEAT THE COLD SIDE JOINT TO 200°F EITHER BY MEANS OF A HAND TORCH OR AN INFRARED HEATER. THE CONTRACTOR SHALL AVOID BURNING THE ASPHALT DURING REHEATING.
    - APPLY TACK COAT TO THE REHEATED JOINT PRIOR TO ASPHALT PLACEMENT.
  - THE CONTRACTOR SHALL OFFSET SURFACE COURSE JOINTS FROM BINDER COURSE JOINTS, WHEREVER PRACTICABLE.
- LONGITUDINAL JOINT DENSITY SPECIFICATIONS**
  - COMPLETED LONGITUDINAL JOINTS SHALL BE ASSESSED BASED ON SECTION 1030 OF THE STANDARD SPECIFICATIONS AND THE "HOT MIX ASPHALT - DENSITY TESTING OF LONGITUDINAL JOINTS" (BDE) AS FOLLOWS:
 

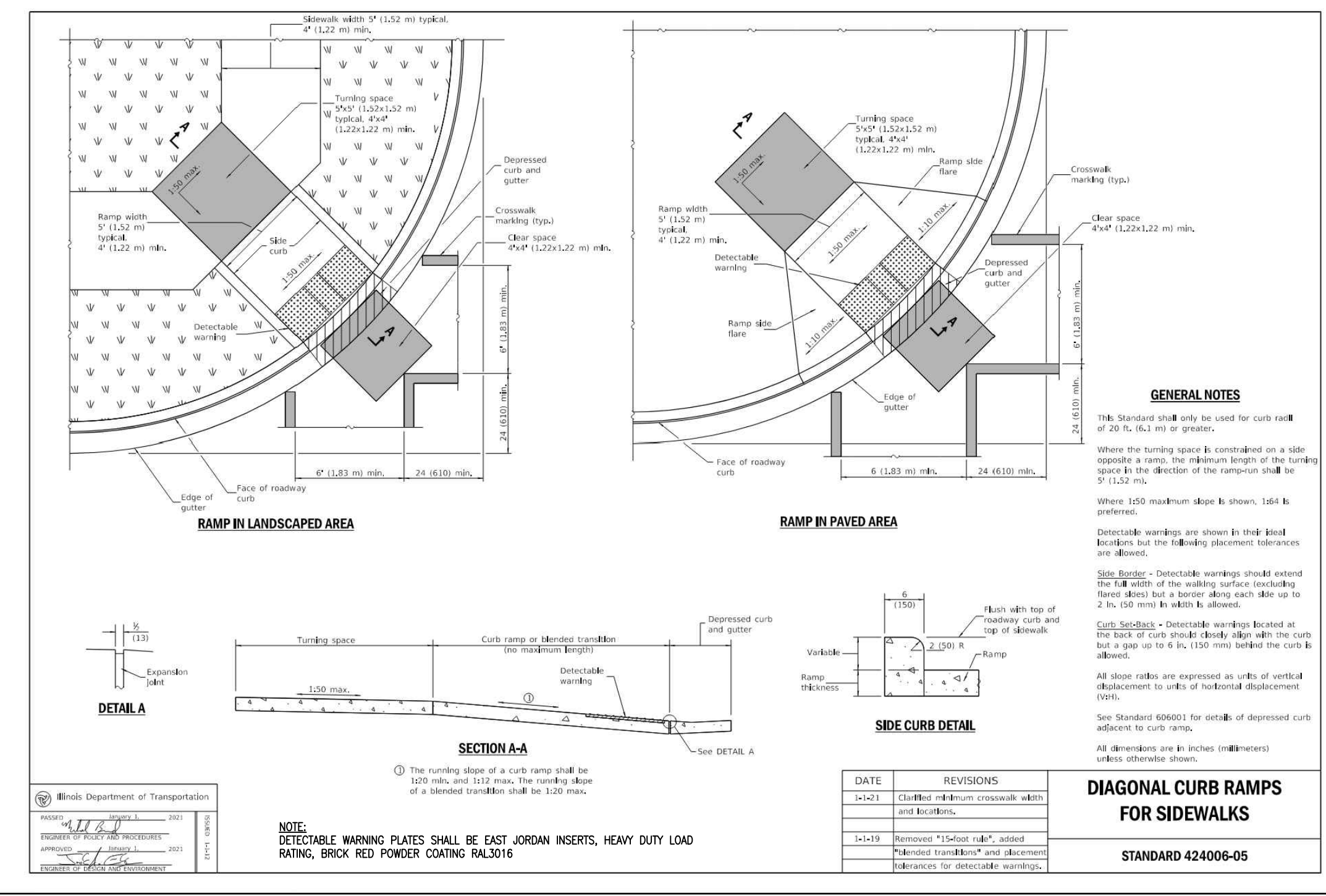
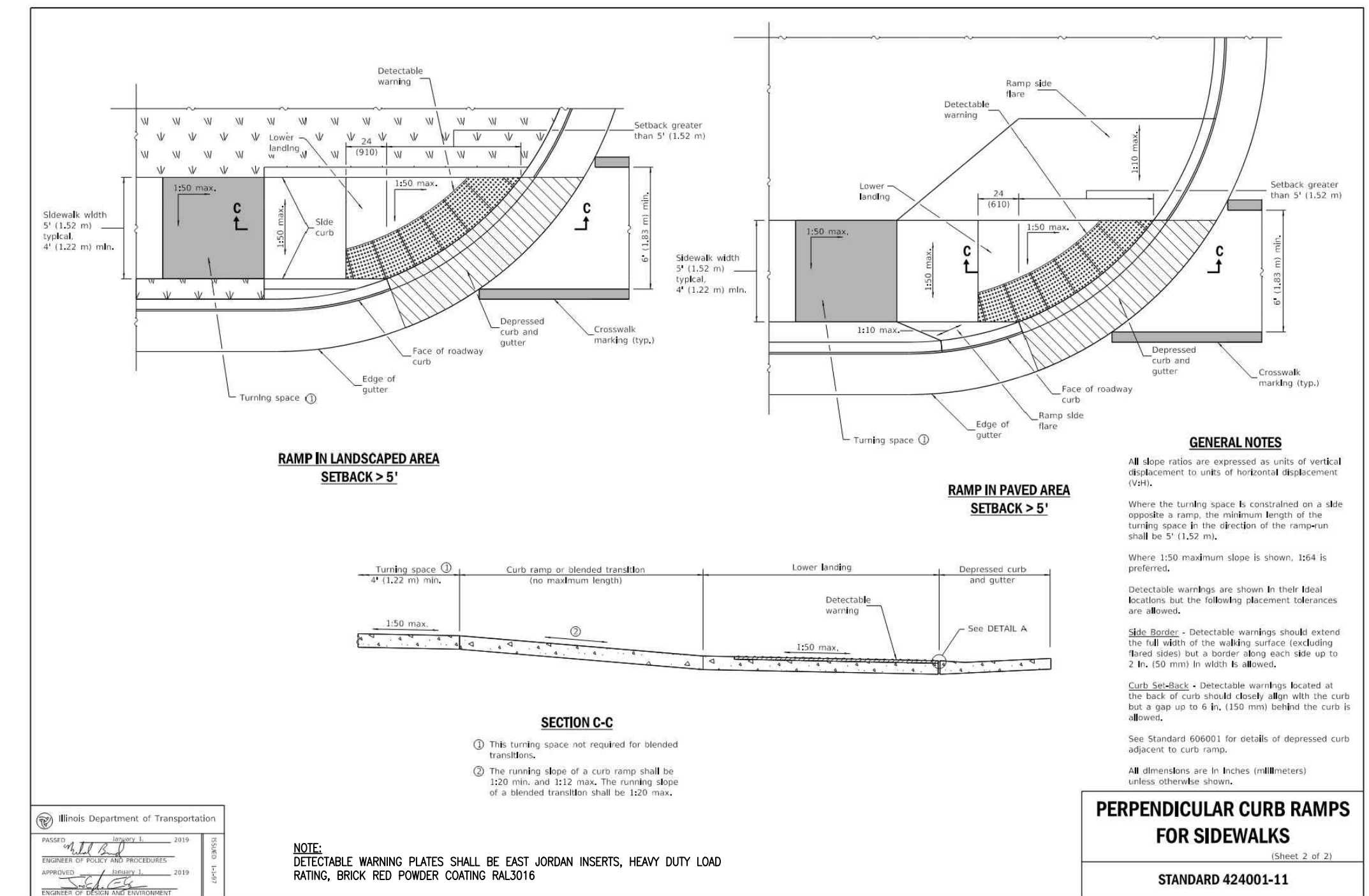
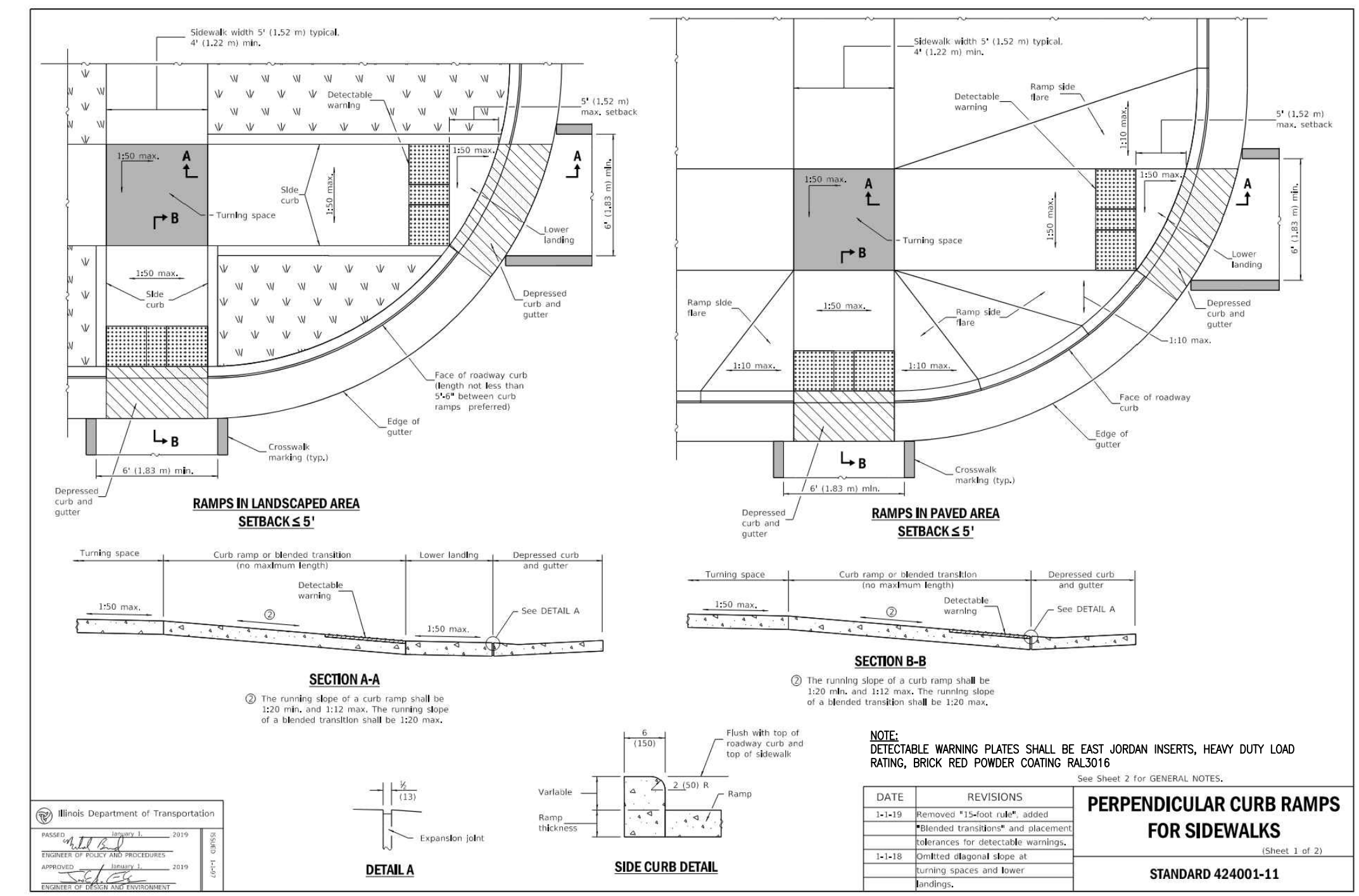
LONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED AT EACH RANDOM DENSITY TEST LOCATION. LONGITUDINAL JOINT TESTING SHALL BE LOCATED AT A DISTANCE EQUAL TO THE LIFT THICKNESS OR A MINIMUM OF TWO INCHES FROM EACH PAVEMENT EDGE. I.E. FOR A FOUR INCH LIFT, THE NEAR EDGE OF THE DENSITY GAUGE OR CORE BARREL SHALL BE WITHIN FOUR INCHES FROM THE EDGE OF PAVEMENT. LONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED USING EITHER A CORRELATED NUCLEAR GAUGE OR CORES.

    - CONFINED EDGE: EACH CONFINED EDGE DENSITY TEST SHALL BE REPRESENTED BY A ONE-MINUTE NUCLEAR DENSITY READING OR A CORE DENSITY. THE TESTING SHALL BE INCLUDED IN THE AVERAGE OF DENSITY READINGS OR CORE DENSITIES TAKEN ACROSS THE MAT, WHICH REPRESENTS THE INDIVIDUAL TEST.
    - UNCONFINED EDGE: EACH UNCONFINED EDGE JOINT DENSITY TEST SHALL BE REPRESENTED BY AN AVERAGE OF THREE ONE-MINUTE DENSITY READINGS OR A SINGLE CORE DENSITY AT THE GIVEN DENSITY TEST LOCATION. THE TESTING SHALL MEET THE DENSITY REQUIREMENTS SPECIFIED HEREIN. THE THREE, ONE-MINUTE READINGS SHALL BE SPACED TEN FEET APART LONGITUDINALLY ALONG THE UNCONFINED PAVEMENT EDGE AND CENTERED AT THE RANDOM DENSITY TEST LOCATION.

MIXTURE COMPOSITION	PARAMETER	INDIVIDUAL TEST (INCLUDES CONFINED EDGES)	UNCONFINED EDGE JOINT DENSITY MINIMUM
IL-9.5, IL-12.5	N <sub>design</sub> >= 90	92.0-96.0%	90%
IL-9.5, IL-9.5, IL-12.5	N <sub>design</sub> < 90	92.5-97.4%	90%
IL-19.0, IL-25.0	N <sub>design</sub> >= 90	93.0-96.0%	90%
IL-19.0, IL-19.0, IL-25.0	N <sub>design</sub> < 90	93.0-97.4%	90%
SM-1	N <sub>design</sub> = 50 & 80	93.5-97.4%	91%
ALL OTHER	N <sub>design</sub> = 30	93.0-97.4%	90%

**SOIL EROSION AND SEDIMENT CONTROL**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY AND THE ILLINOIS URBAN MANUAL.
- BEFORE STARTING SITE CLEARING AND GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS.
- THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGINNING ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT FROM CONSTRUCTION VEHICLES LEAVING THE SITE.
- SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE MUNICIPALITY'S ENGINEERING INSPECTOR, TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- STAINED SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF HALF AN INCH. AN INSPECTION REPORT SHALL BE COMPLETED EACH TIME AND KEPT WITHIN A BINDER ON THE JOB SITE AT ALL TIMES. THE NOI, NPDES PERMIT AND SWPP PLAN SHALL ALSO BE KEPT ON-SITE.
- AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED AND FREE OF DIRT AND DEBRIS. SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT INTO THE EXISTING STORM SEWER SYSTEM.
- THE TEMPORARY EROSION CONTROL MEASURES SHALL BE EFFECTIVELY IN PLACE UNTIL ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL.
- THE GUARANTEE PERIOD SHALL BEGIN AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVE.
- STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN SEVEN DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR THE STOCKPILE.
- IF THE VOLUME, VELOCITY, SEDIMENT LOAD OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED, UNLESS A HALF INCH OR GREATER RAINFALL EVENT IS FORECAST PRIOR TO SEVEN DAYS. IN THIS OCCURRENCE, THE PROPER SOIL PROTECTION SHALL BE INSTALLED IMMEDIATELY. STRIPPED AREAS NOT AT FINAL GRADE THAT REMAIN UNSTABILIZED FOR MORE THAN SEVEN DAYS AFTER INITIAL DISTURBANCE, SHALL BE PROTECTED FROM EROSION, UNLESS GRADING ACTIVITIES ARE RESUMED WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED. TEMPORARY COVER SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DENATURING, IRRIGATION OR FIRE HYDRANT FLUSHING, SHALL BE FILTERED PRIOR TO LEAVING THE PROJECT SITE.
- IF NECESSARY, GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH AND VEHICLE WASHDOWN FACILITIES, SHALL BE PROVIDED TO PREVENT THE DEPOSIT AND TRACKING OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS, ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED CONTINUOUSLY.
- ALL CONTRACTORS SHALL COMPLY WITH SWPP PLAN AND NPDES REQUIREMENTS. A SIGNED SWPP PLAN SHALL BE KEPT ON FILE WITH OWNER OR GENERAL CONTRACTOR.

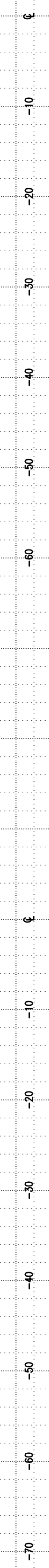
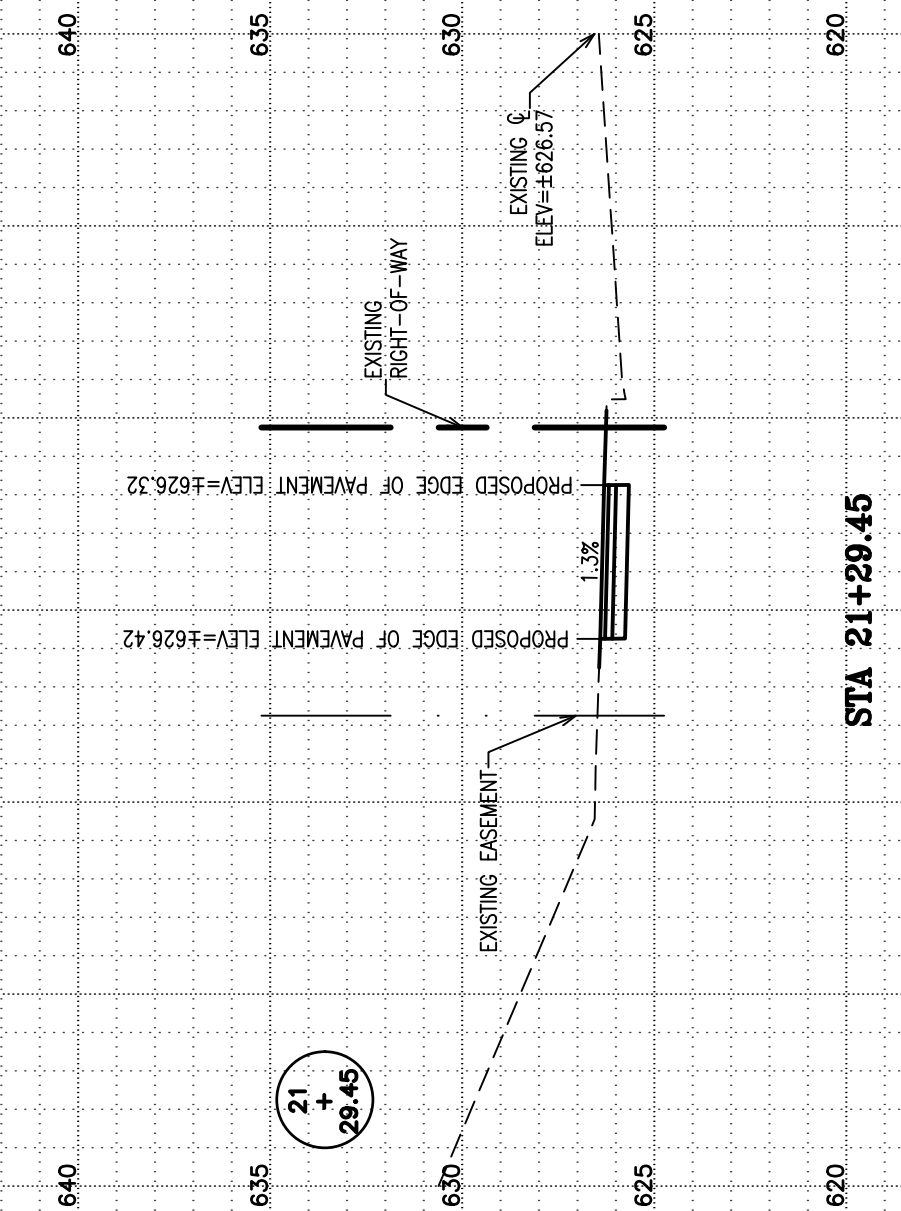
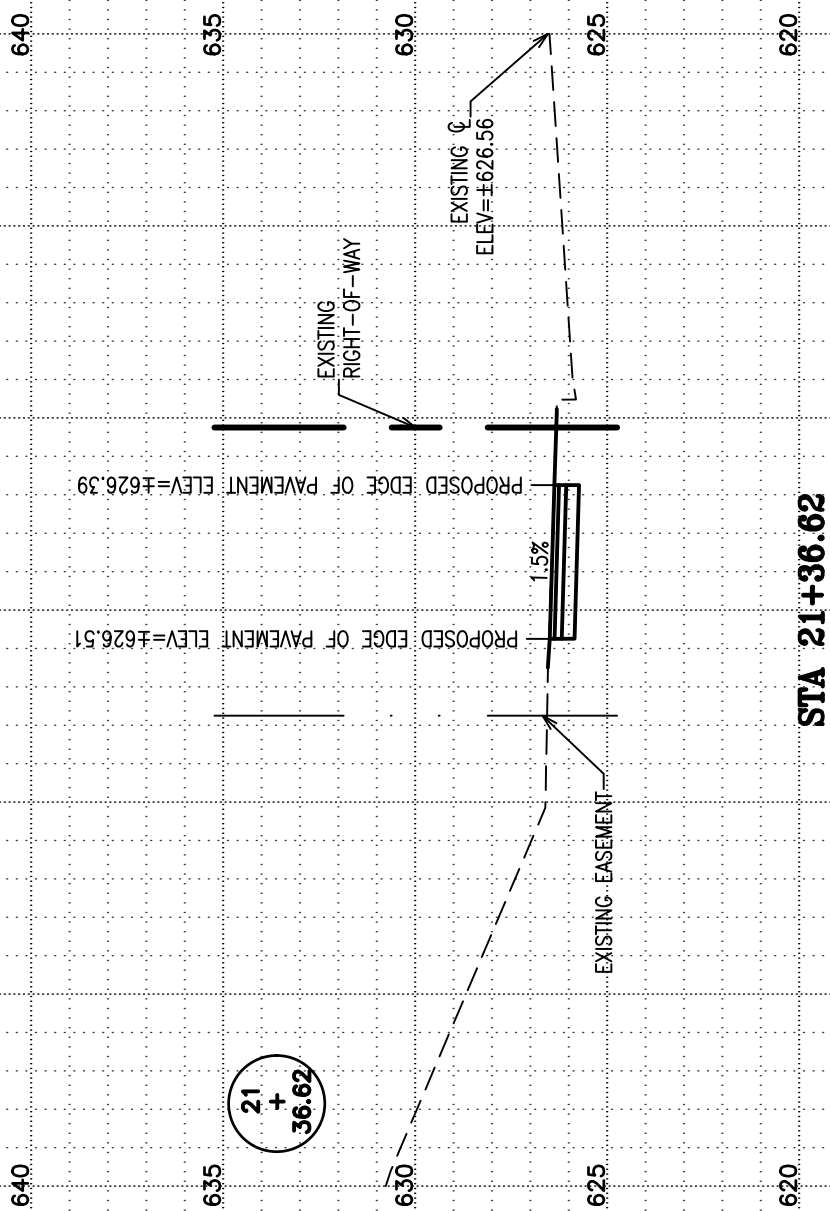
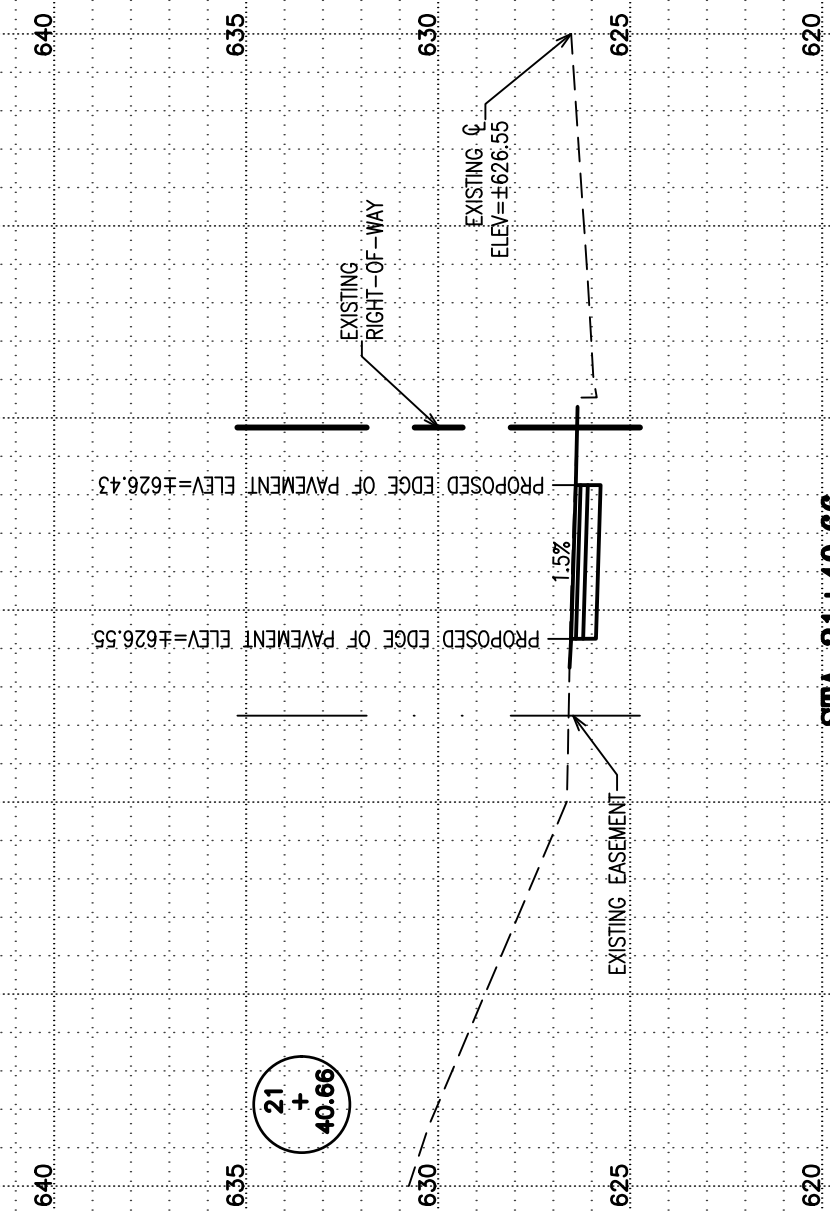
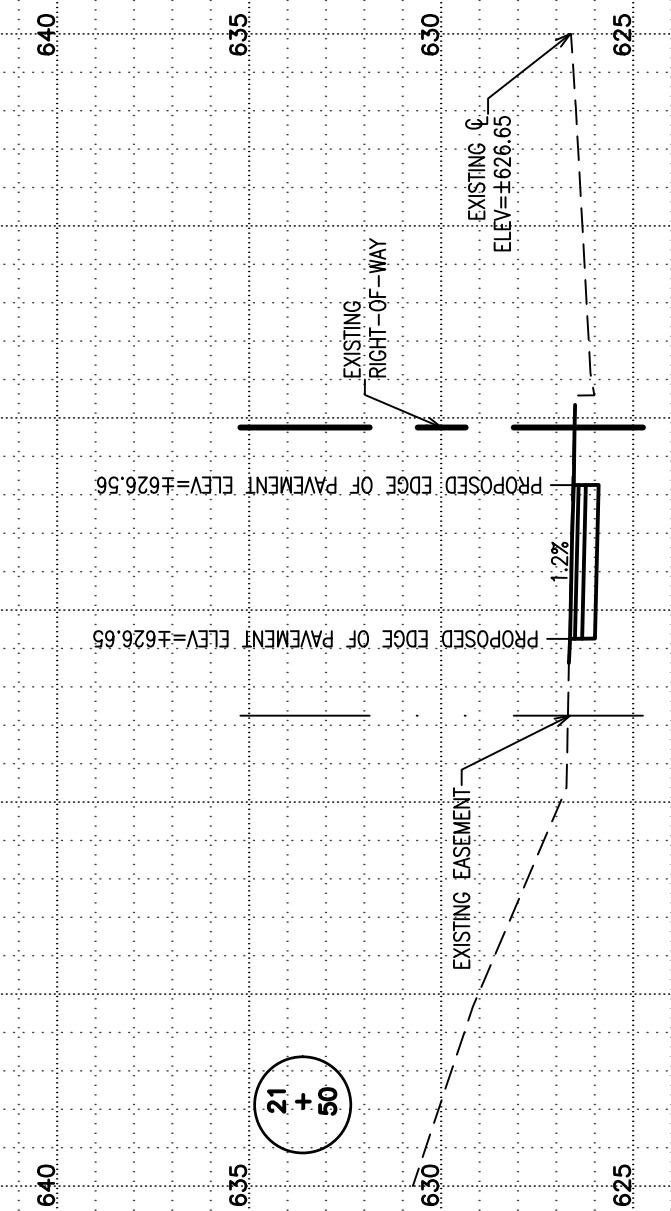
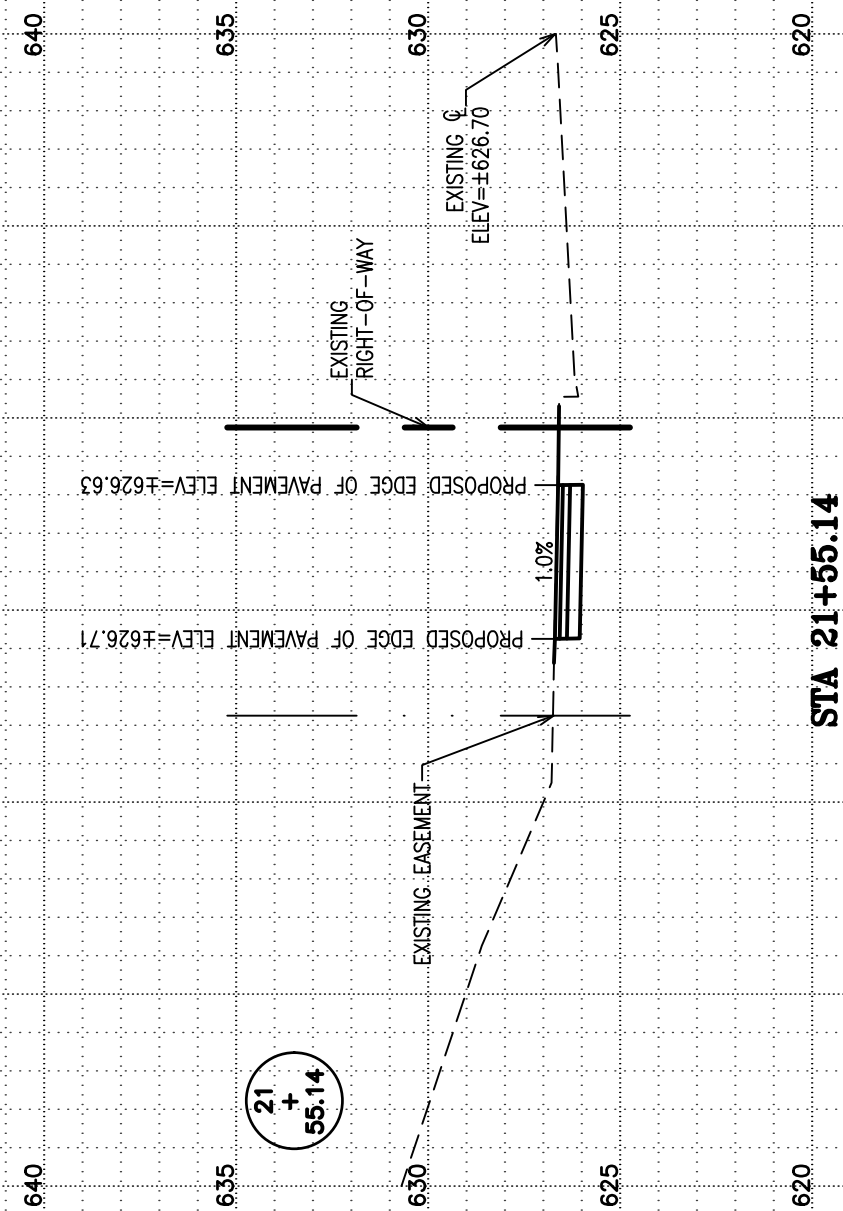
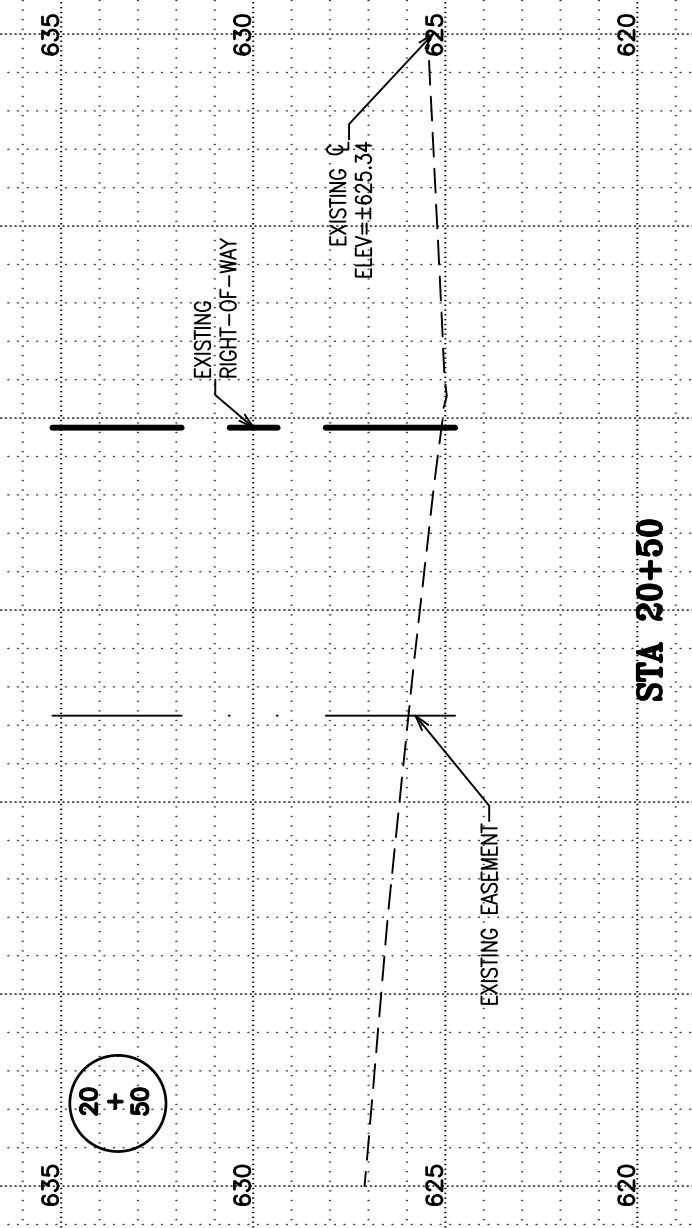
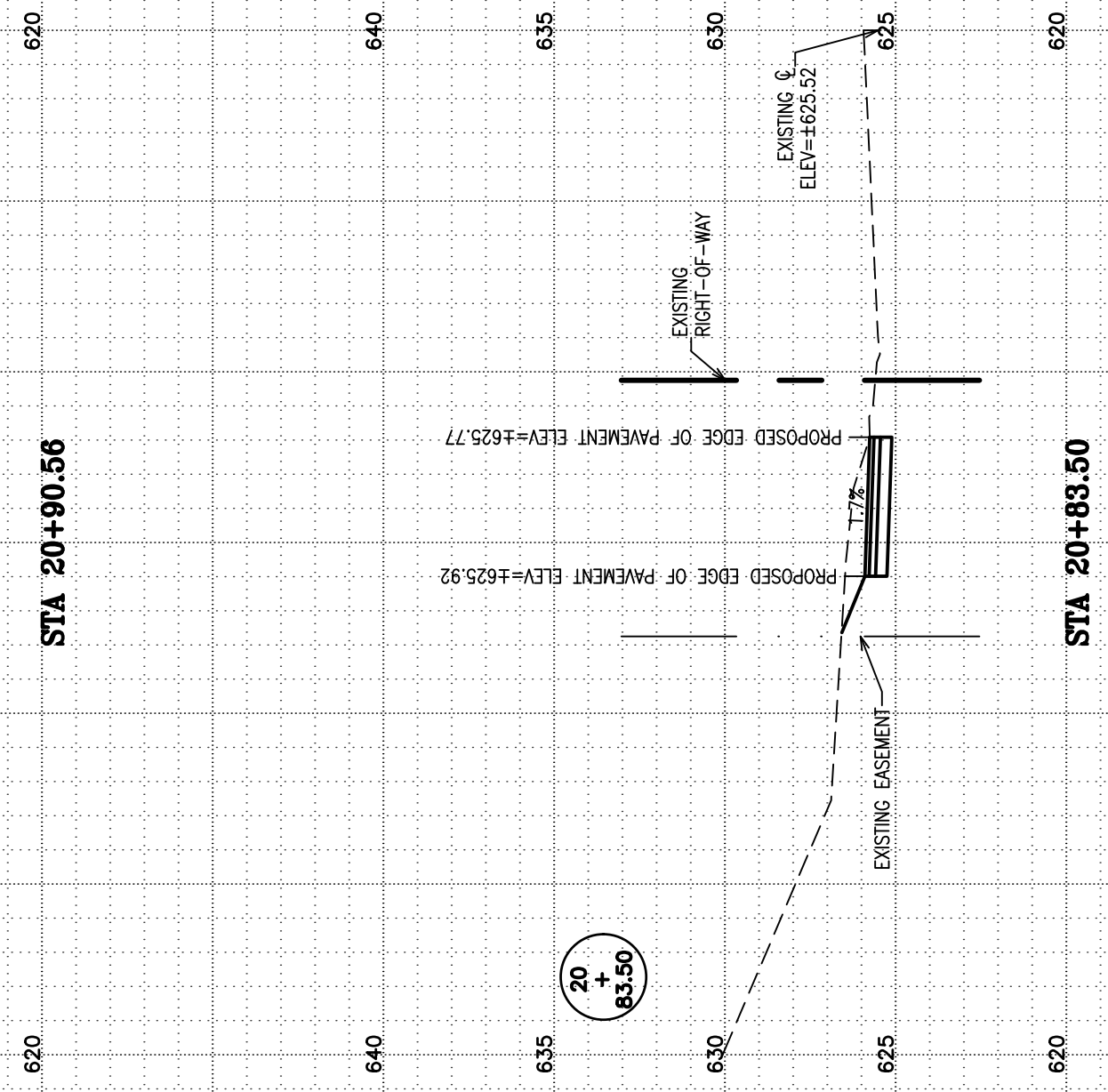
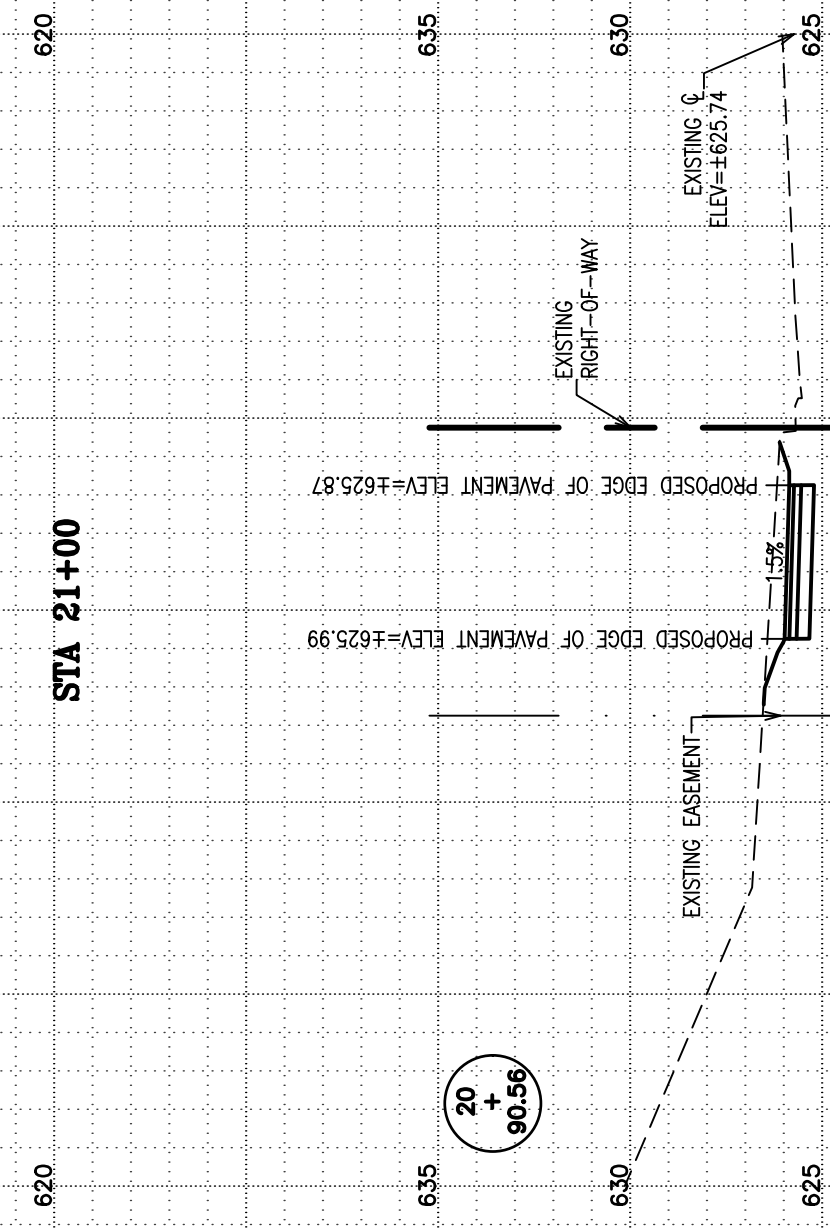
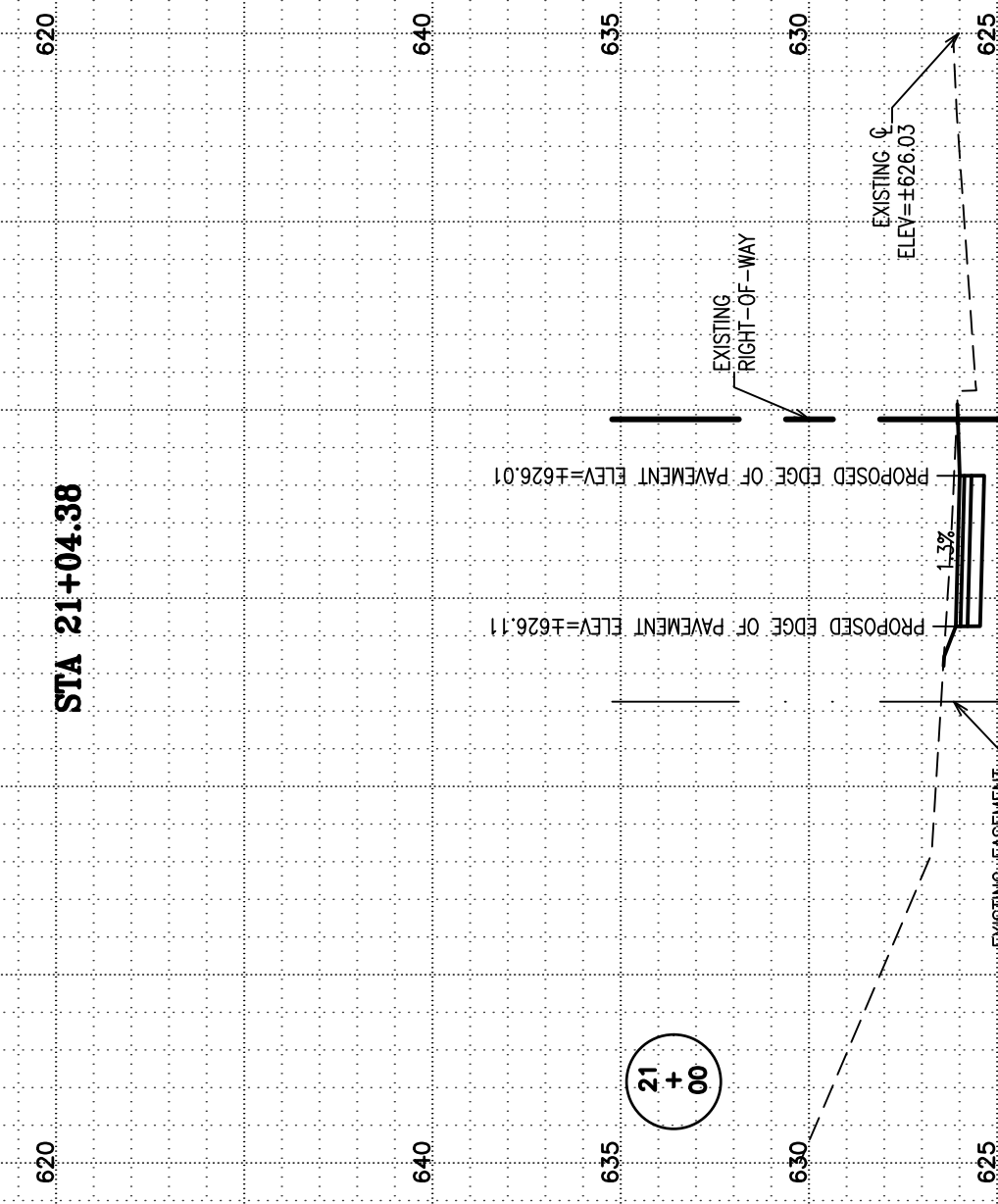
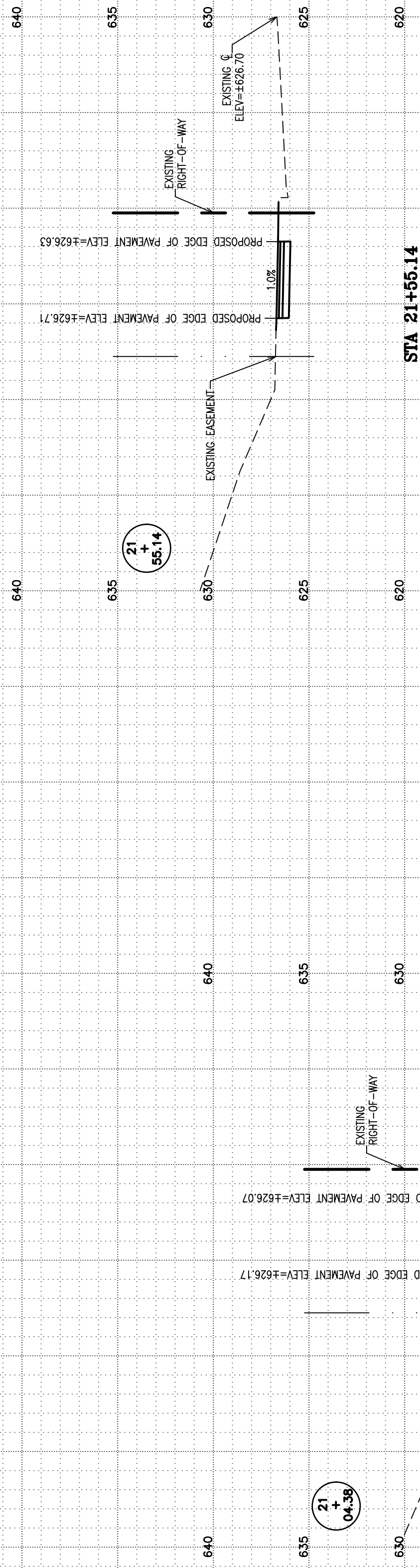


10/4/23	Date
2/2/23	1 FOR REVIEW
2 VILLAGE COMMENTS	No.

**SPECIFICATIONS AND DETAILS**  
**SOUTH PINNACLE DRIVE MULTI-USE PATH**  
**SOUTHCREEK BUSINESS CENTER**  
**PALINCIA PROPERTIES**  
**ROMEIOVILLE, ILLINOIS**

**JACOB & HEFNER ASSOCIATES**  
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
 PHONE: (630) 652-4600; FAX: (630) 652-4601  
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**D190aj**  
**N.T.S.**  
**C9**

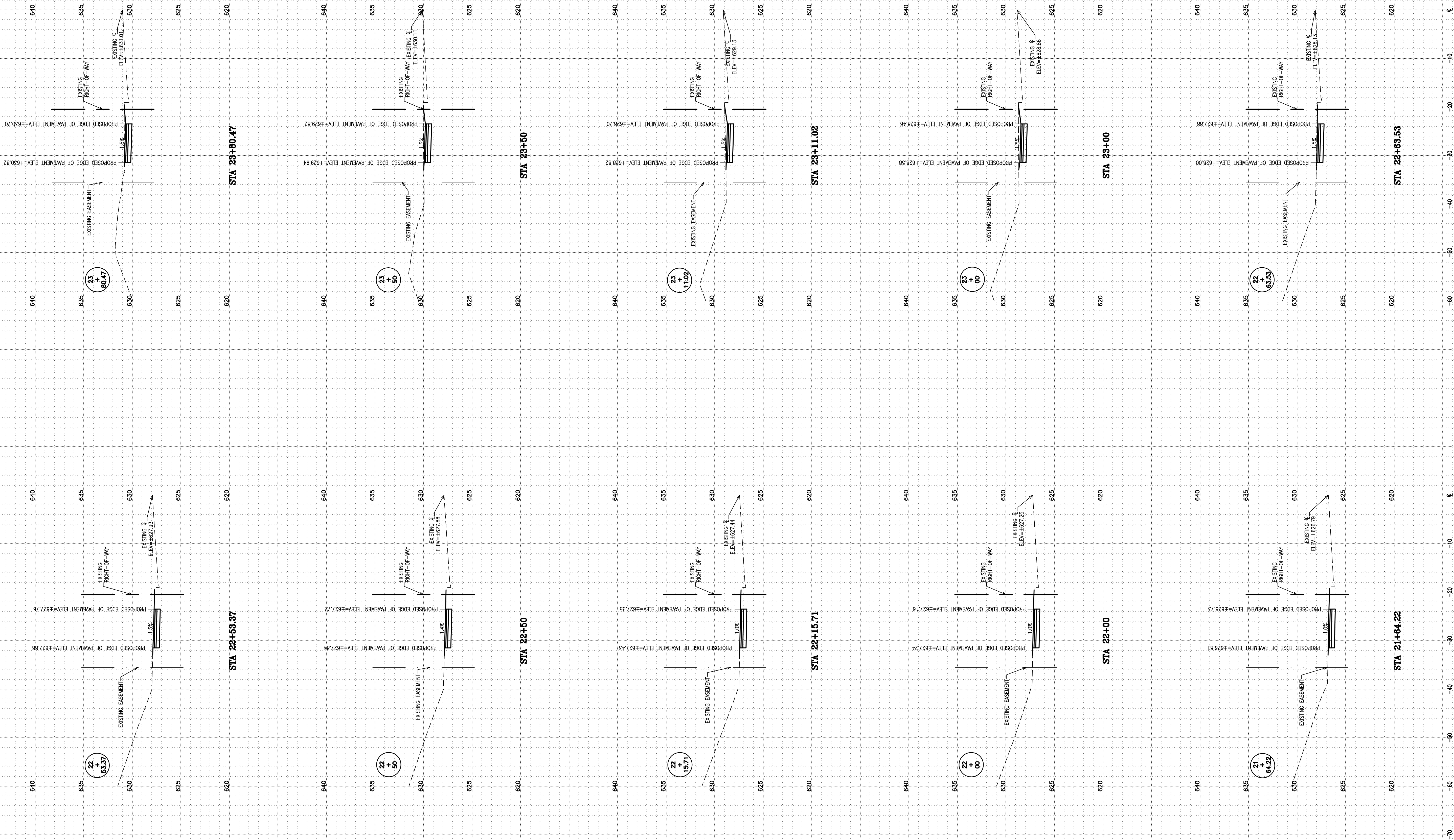


D190aj  
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 V: 1" = 5'  
 C10.0

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STA. 20+50 TO STA. 21+55.14  
 SOUTH PINNACLE DRIVE MULTI-USE PATH  
 SOUTHCREEK BUSINESS CENTER  
 PALINCA PROPERTIES  
 ROMEOVILLE, ILLINOIS

No.	Description	Date
2	VILLAGE COMMENTS	10/4/23
1	FOR REVIEW	2/22/23

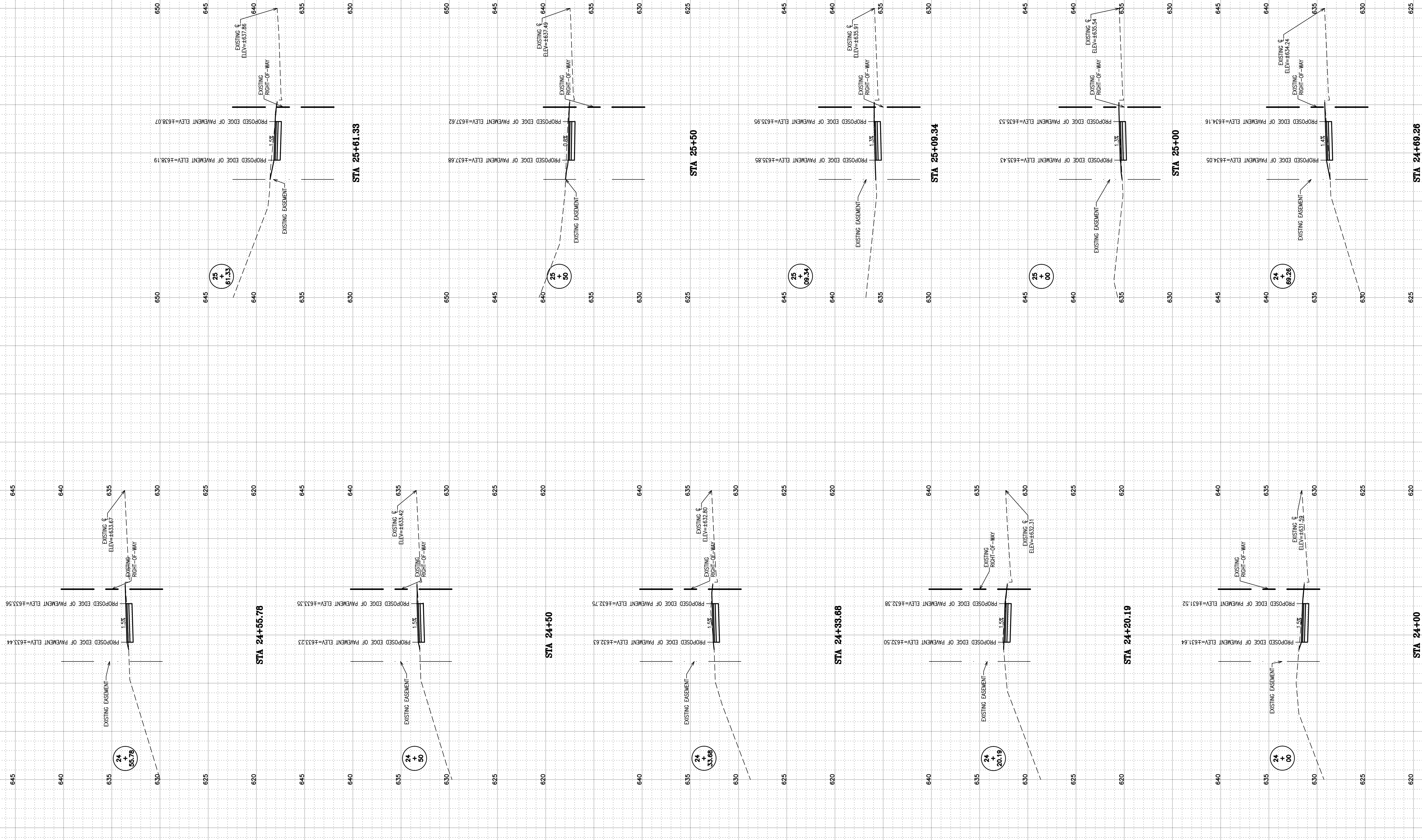


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 V: 1" = 5'

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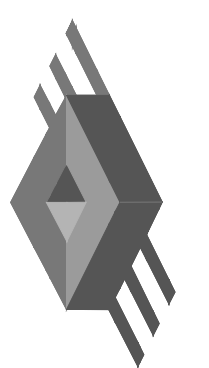
STA. 21+64.22 TO STA. 23+80.47  
 SOUTH PINNACLE DRIVE MULTI-USE PATH  
 SOUTHCREEK BUSINESS CENTER  
 PALINCA PROPERTIES  
 ROMEOVILLE, ILLINOIS

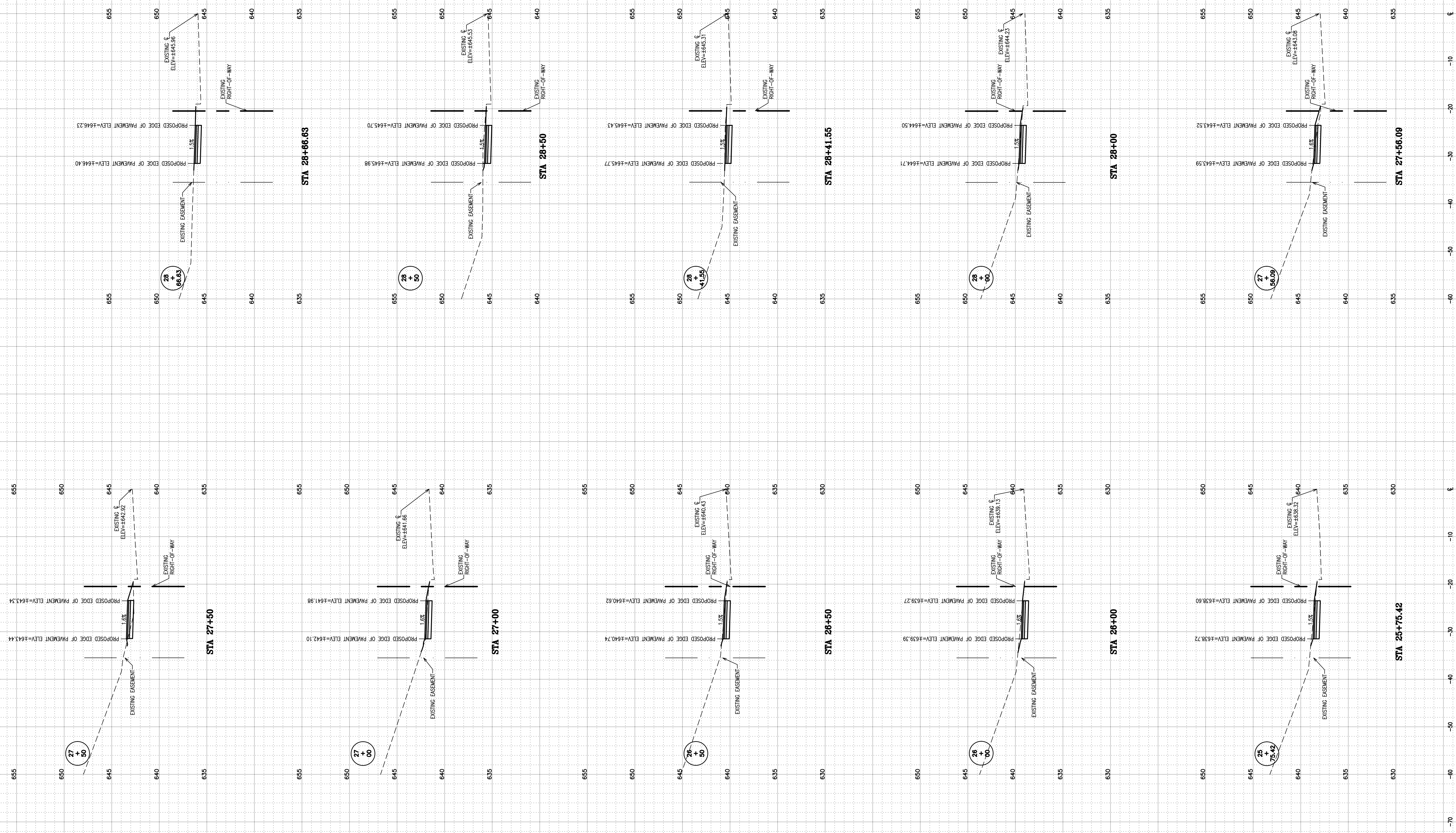
No.	Description	Date
2	VILLAGE COMMENTS	10/4/23
1	FOR REVIEW	2/22/23



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V: 1" = 5'		Description	
C10.2		2 VILLAGE COMMENTS	
		1 FOR REVIEW	
		10/4/23	
		2/22/23	
		Date	
<b>STA. 24+00 TO STA. 25+61.33.</b> <b>SOUTH PINNACLE DRIVE MULTI-USE PATH</b> <b>SOUTHCREEK BUSINESS CENTER</b> <b>PALINCA PROPERTIES</b> <b>ROMEIOVILLE, ILLINOIS</b>			

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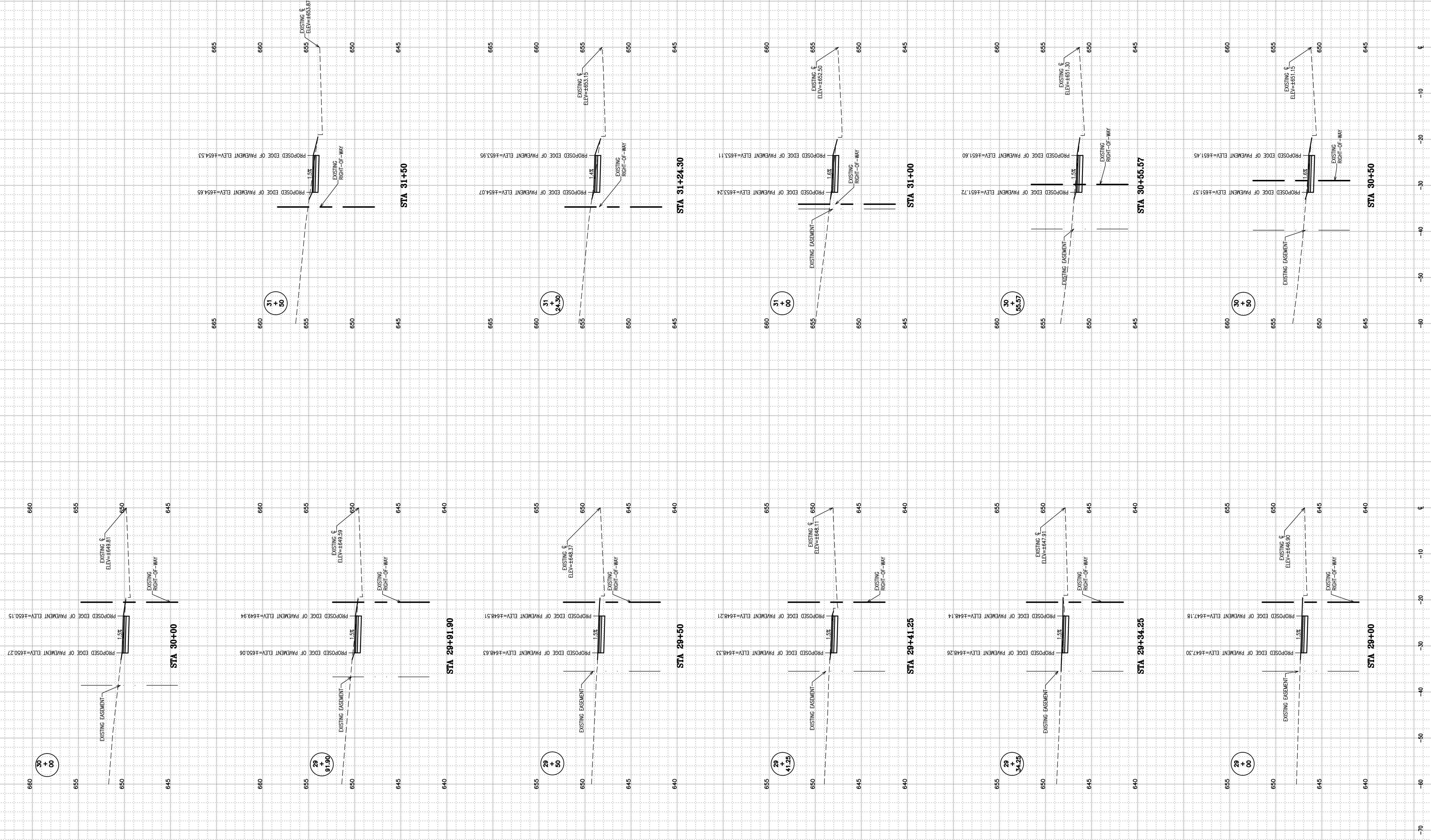


D190aj  
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 V: 1" = 5'  
 C10.3

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**STA. 25+75.42 TO STA. 28+66.63**  
**SOUTH PINNACLE DRIVE MULTI-USE PATH**  
**SOUTHCREEK BUSINESS CENTER**  
**PALINCA PROPERTIES**  
**ROMEIOVILLE, ILLINOIS**

No.	Description	Date
2	VILLAGE COMMENTS	10/4/23
1	FOR REVIEW	2/22/23

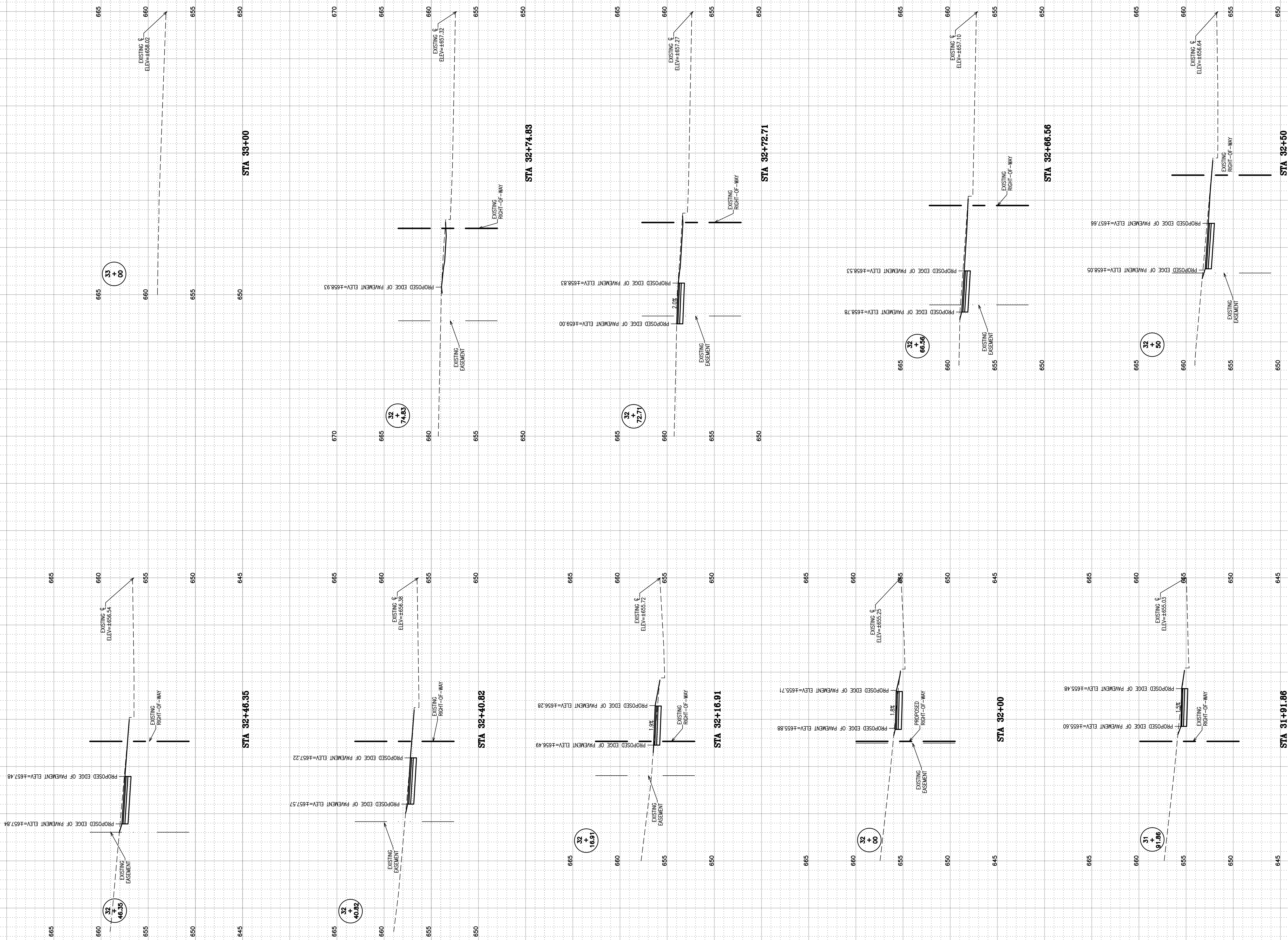


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 C10.4

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STA. 29+00 TO STA. 31+50  
 SOUTH PINNACLE DRIVE MULTI-USE PATH  
 SOUTHCREEK BUSINESS CENTER  
 PALINCA PROPERTIES  
 ROMEOVILLE, ILLINOIS

No.	Description	Date
2	VILLAGE COMMENTS	10/4/23
1	FOR REVIEW	2/22/23



D190aj  
 H: 1" = 10'  
 V: 1" = 5'

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**STA. 31+91.86 TO STA. 33+00**  
**SOUTH PINNACLE DRIVE MULTI-USE PATH**  
**SOUTHCREEK BUSINESS CENTER**  
**PALINCA PROPERTIES**  
**ROMEIOVILLE, ILLINOIS**

No.	Description	Date
2	VILLAGE COMMENTS	10/4/23
1	FOR REVIEW	2/22/23