# Pinnacle Drive Improvements Exhibit

# **FOR**

ROADWAY IMPROVEMENT PLANS

# PINNACLE DRIVE EXTENSION

# SOUTHCREEK BUSINESS CENTER ROMEOVILLE, ILLINOIS PALENCIA PROPERTIES LLC

# LEGEND

PROPOSED (PR.)	DESCRIPTION	EXISTING (EX.)
<del></del>	STORM SEWER	
	WATER MAIN WITH SIZE	
<b>_</b>	SANITARY SEWER	
	RIGHT-OF-WAY	
<del></del> 842	CONTOUR	————701————
×805.25	SPOT GRADE	+701.30
•	SANITARY MANHOLE	
lacktriangle	STORM MANHOLE	$\odot$
	STORM INLET	
	STORM CATCH BASIN	0
•	FIRE HYDRANT	Ŏ
● →	PRESSURE CONNECTION	$\oplus$
$lue{ullet}$	GATE VALVE W/VAULT	
<del>-*</del> -	STREET LIGHT	- <del>-</del> -
<b></b>	STREET LIGHT W/MAST	•
<b>←</b>	OVERFLOW DIRECTION	
	CURB & GUTTER	
XX	SILT FENCE	
•	ROAD SIGN	
[0_0_0_0_0_0_0]	HANDICAP DETECTABLE WARNING SURFACE	
	UNDER DRAIN	
<del>-</del> O <del>-</del>	UTILITY POLE	———
	DEPRESSED CURB FOR RAMP/DRIVEWAY	
TF	TOP OF FOUNDATION	
EP	EDGE OF PAVEMENT	EP
TC/TD	TOP OF CURB, DEPRESSED	BC/DC
TW/BW	TOP/BOTTOM OF RETAINING WALL	,
R=ELEV.	RIM ELEVATION FOR STRUCTURES	
CO	CLEAN OUT FOR SANITARY SERVICE	(CO)
HWL/NWL	HIGH/NORMAL WATER LEVEL	
T	TRANSFORMER	
x	FENCE LINE	X
	GUARD RAIL	
<b>─</b>	FORCE MAIN	
———т——	UNDERGROUND TELEPHONE	T
——— E———	UNDERGROUND ELECTRIC	E
OHE	OVERHEAD ELECTRIC	
G	GAS LINE	G
	COMBINATION SEWER	>)



# WARNING CALL BEFORE YOU DIG (48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

Municipality: VILLAGE OF ROMEOVILLE

County: WILL Township: T36N Range: R10E

Section: S8

J.U.L.I.E. DIG NUMBERS: X2590666, X2590685, X2590738, X2590746, X2590783, X2590809 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM THE FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION

AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



# LOCATION MAP

REFERENCE BENCHMARKS: WILL COUNTY STATION 403 3-D MARKER ON THE SOUTH SIDE OF ROMEO ROAD. 0.25 MILES WEST OF THE INTERSECTION OF ILLINOIS ROUTE 53 AND ROMEO ROAD. ELEVATION=628.26 (WILL COUNTY DATUM/NAVD88)

WILL COUNTY STATION 421 3-D MARKER NEAR THE INTERSECTION OF RENWICK ROAD (ILLINOIS ROUTE 7) AND OLD RENWICK ROAD. (SEE DATA SHEET FOR MORE DETAILED DESCRIPTION). ELEVATION=647.34 (WILL COUNTY DATUM/NAVD88)

SITE BENCHMARKS: BM 1 (JHA CP92) CUT CROSS IN TOP OF CONCRETE CURB IN FRONT OF FIRE HYDRANT AT THE SOUTH ENTRANCE OF 148 S. PINNACLE

ELEVATION=632.58 (NAVD88 DATUM)

CUT CROSS IN TOP OF CONCRETE CURB ON THE EAST SIDE OF SOUTHCREEK DRIVE ACROSS FROM THE EASTERLY EXTENSION OF THE NORTHERLY BUILDING LINE OF CHICAGO TUBE AND ELEVATION=666.08 (NAVD88 DATUM)

EXISTING CONDITIONS OBTAINED FROM TOPOGRAPHIC SURVEY COMPLETED BY JACOB & HEFNER ASSOCIATES, DATED FEBRUARY 2022.

	PERMITS	S
DATE	PERMIT #	AGENCY
		VILLAGE OF ROMEOVILLE
		IEPA WATER
		IHPA
		IDNR
7/31/10	ILR10B593	IEPA - NPDES

# Sheet List Table

Sheet Number	er Sheet Title
C1	COVER
C2	GENERAL NOTES & TYPICAL SECTIONS
C3	EXISTING CONDITIONS & DEMOLITION PLAN
C4	GEOMETRIC PLAN
C5	GRADING PLAN
C6.0	PLAN & PROFILE STA. 6+00 TO STA. 15+50
C6.1	PLAN & PROFILE STA. 15+00 TO STA. 24+00
C7	EROSION CONTROL PLAN
C8.0	STORMWATER POLLUTION PREVENTION PLAN
C8.1	SWPPP DETAILS
C9	SPECIFICATIONS
C10.0	DETAILS - 1
C10.1	DETAILS - 2
C10.2	DETAILS - 3
C11.0-C11.11	PINNACLE DRIVE CROSS SECTIONS

# DRAINAGE CERTIFICATE

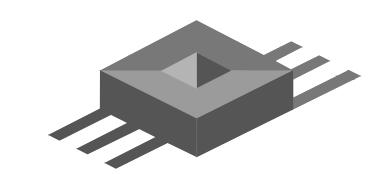
I, JASON SNYDER, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THIS DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

	REVISIONS	
No.	Description	Date
1	ISSUE FOR REVIEW	5/27/22
2	CLIENT REVISIONS	6/8/22
3	VILLAGE COMMENTS	9/22/22
4	VILLAGE COMMENTS	2/16/23

ENGINEER JASON J. SNYDER	
JSNYDER@JACOBANDHEFNER.CO	)N

ILLINOIS REGISTRATION NO. 062-055425

EXPIRES 11/30/2023 ENGINEER ONLY CERTIFIES SHEETS <u>C1 - C11.11</u>
THESE PLANS, OR ANY PART THEREOF, SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND MARKED "FOR CONSTRUCTION".



# JACOB & HEFNER ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601

www.jacobandhefner.com

FOR REVIEW PURPOSES ONLY

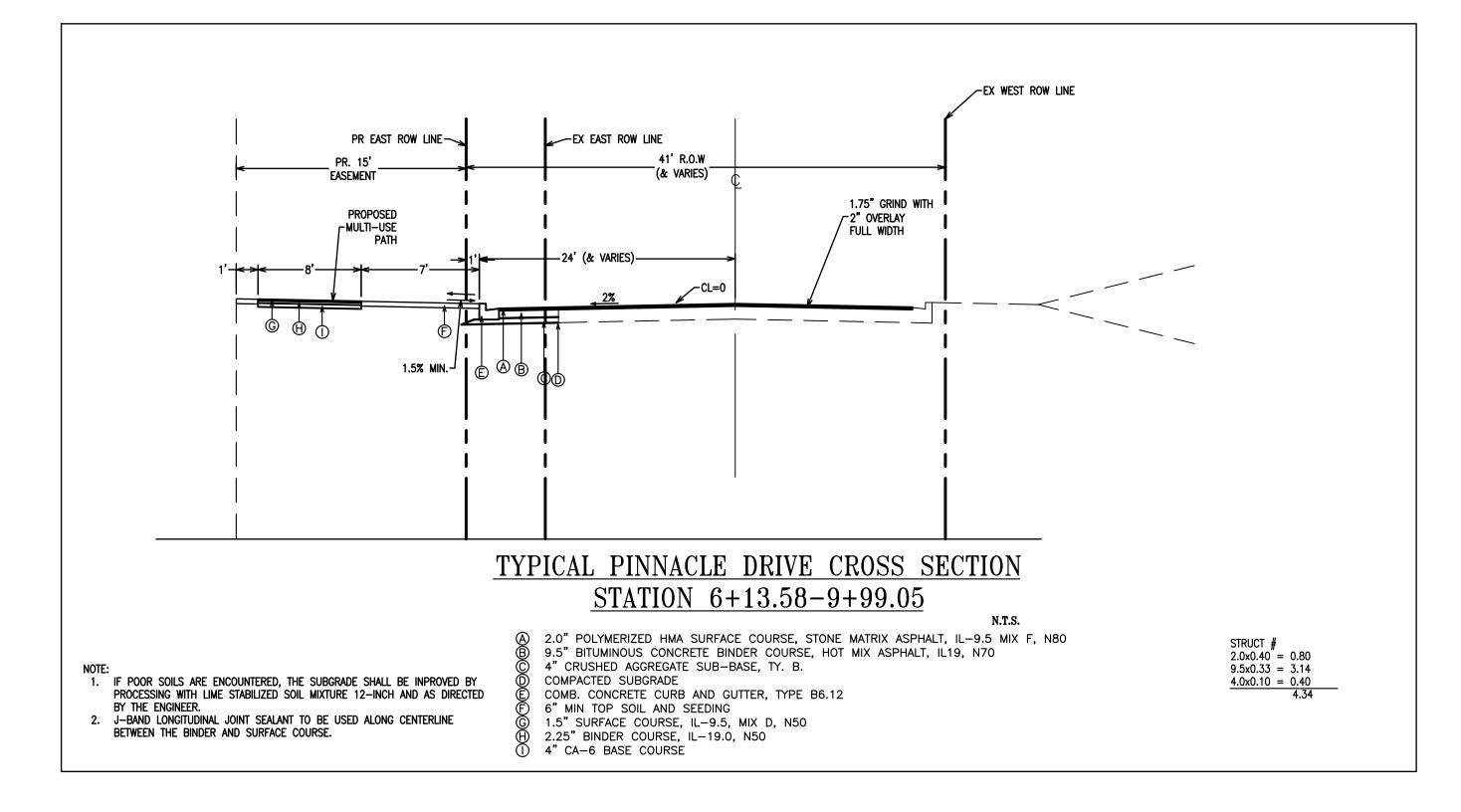
#### **GENERAL NOTES**

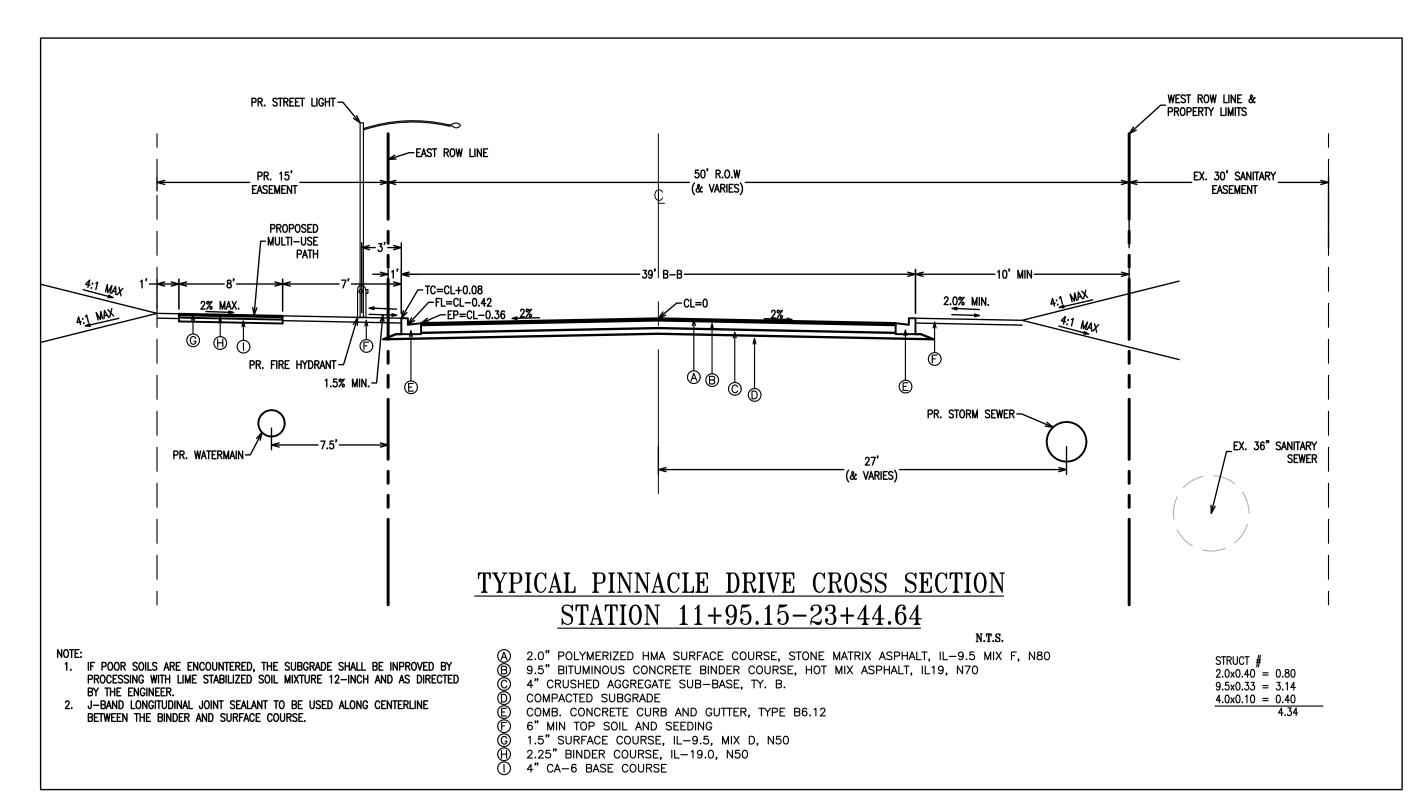
- 1. ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE.
- 2. ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
- 3. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
- 4. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE SUBCONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
- 5. NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION EACH SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE SUBCONTRACTOR MUST VERIFY THE SURVEYOR'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE SUBCONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE SUBCONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE SUBCONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- 6. NOTIFICATION OF COMMENCING CONSTRUCTION
  - A. THE GENERAL CONTRACTOR SHALL NOTIFY THE VILLAGE OF ROMEOVILLE/PUBLIC WORKS DEPARTMENT (815)0886-1870 IN WRITING AT LEAST THREE (3) FULL WORKING DAYS PRIOR TO COMMENCMENT OF CONSTRUCTION
  - B. EACH SUBCONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE SUBCONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER VILLAGE'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
  - C. FAILURE OF SUBCONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE SUBCONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY SUBCONTRACTOR.
- 7. EACH SUBCONTRACTOR SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
- 8. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
- 9. EACH SUBCONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE SUBCONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE PROJECT'S SURVEYOR AT SUBSUBCONTRACTOR'S COST.
- 10. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER SUBCONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE SUBCONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE VILLAGE AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
- 11. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE SUBCONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE SUBCONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- 12. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE SUBCONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
- 13. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT.
- 14. ALL WORK PERFORMED SHALL BE GUARANTEED BY THE SUBCONTRACTOR
  FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE
  SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF
  WHATEVER NATURE DURING THAT PERIOD.
- 15. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE SUBCONTRACTOR'S WORK HAS BEEN
- 16. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS—OF—WAY ARE SHOWN ON THE PLANS ACCORDING TO KNOWN AVAILABLE RECORDS. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, JACOB AND HEFNER ASSOCIATES, INC. IS RESPONSIBLE TO RESOLVE THE CONFLICT. JACOB AND HEFNER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
- 17. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE SUBCONTRACTORS, HOWEVER, SHALL FURNISH EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
- 18. EACH SUBCONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
- 19. EACH SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB RELATINING TO THEIR SCOPE OF WORK IN ACCORDANCE WITH OSHA REGULATIONS.
- 20. EACH SUBCONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, INCLUDING THE REMOVAL OF STAKES, LATHE, ETC. SET BY SURVEYORS FOR CONSTRUCTION PURPOSES, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN—UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS PROHIBITED.
- 21. IT SHALL BE EACH SUBCONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC AND PEDESTRIANS WITHIN THE AREA OF THEIR CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH THE REGULATIONS OF THE MUNICIPALITY OR D.O.T.
- 22. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

- 23. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
- 24. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- 25. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
- 26. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
- 27. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE SUBSUBCONTRACTOR AT HIS OWN EXPENSE.
- 28. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- 29. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE SUBCONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
- 30. SUBCONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- 31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND BEDDING MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-7.
- 32. WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. DRAINAGE STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE SUBCONTRACTOR AT HIS OWN EXPENSE.
- 33. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR FLUSHING OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE SUBCONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
- 34. AS THE STORM SEWER SYSTEM IS CONSTRUCTED THE SUBCONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJECENT AND/OR UPSTREAM DRAINAGE AREAS.
- 35. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND SHALL BE MAINTAINED BY THE SUBSUBCONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
- 36. CONTRACTOR SHALL PROVIDE ONE MYLAR AND REQUIRED COPIES OF "RECORD DRAWINGS" TO THE VILLAGE AND OWNER PRIOR TO ANY REQUEST FOR FINAL INSPECTION. SAID PLANS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDE VERIFICATION OF ALL BUILDING PADS, TOP OF FOUNDATION, INVERT, RIM, AND SPOT GRADE ELEVATIONS, LOCATION OF ALL WATER SERVICE B-BOXES, SANITARY SERVICES, AND STORM SERVICES AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE VILLAGE AND SIGNED BY A PROFESSIONAL LAND SURVEYOR.
- 37. AN ON-SITE GEOTECHNICAL ENGINEER WILL BE RETAINED TO MONITOR EARTHWORK AND GRADING ACTIVITY, IN ORDER TO IDENTIFY UNSUTABLE SOILS FOR REMOVAL FROM THE SITE.
- 38. SOILS REPORT PREPARED BY TESTING SERVICE CORPORATION 510K OFFICE/WAREHOUSE FACILITY SOUTHCREEK PARCEL -DATED SEPTEMBER 24, 2021
- 39. PINNACLE DRIVE EXTENSION SHALL NOT BE OPEN TO TRAFFIC UNTIL AFTER THE FINAL PAVEMENT SURFACE COURSE IS PLACED, INSPECTED AND APPROVED BY THE VILLAGE OF ROMEOVILLE— INCLUDING ALL PAVEMENT MARKINGS AND STREET LIGHTING.

					2/16	9/22	9/9	5/27
VILLAGE OF ROMEOVILLE CONTACT: MR. JONATHAN ZABROCKI, P.E. C/O VILLAGE OF ROMEOVILLE 1050 WEST ROMEO ROAD ROMEOVILLE, IL 60446 PH: (815) 886-1870	CONTRACTOR: HOWARD GREEN MERIDIAN DESIGN BUILD 9550 W HIGGINS ROAD, SUITE 400 ROSEMONT, ILLINOIS 60018 PH: 847-374-9200				AGE COMMENTS	VILLAGE COMMENTS	$1 \sim 1$	UE FOR REVIEW
<u>ENGINEER:</u> JASON SNYDER, P.E.	<u>OWNER/DEVELOPER:</u> ARNOLD KOZYS		_		4 VILL	3 VILI	Н	1 ISSUE
JACOB & HEFNER ASSOCIATES 5030 38TH AVENUE MOLINE, ILLINOIS 61265 PH: (309) 757-1900	PALENCIA PROPERTEIS, LLC 2202 W, 166TH STREET MARKHAM, ILLINOIS 60428 PH: 708-968-3333	SZ	2	ı				

**CONTACTS** 





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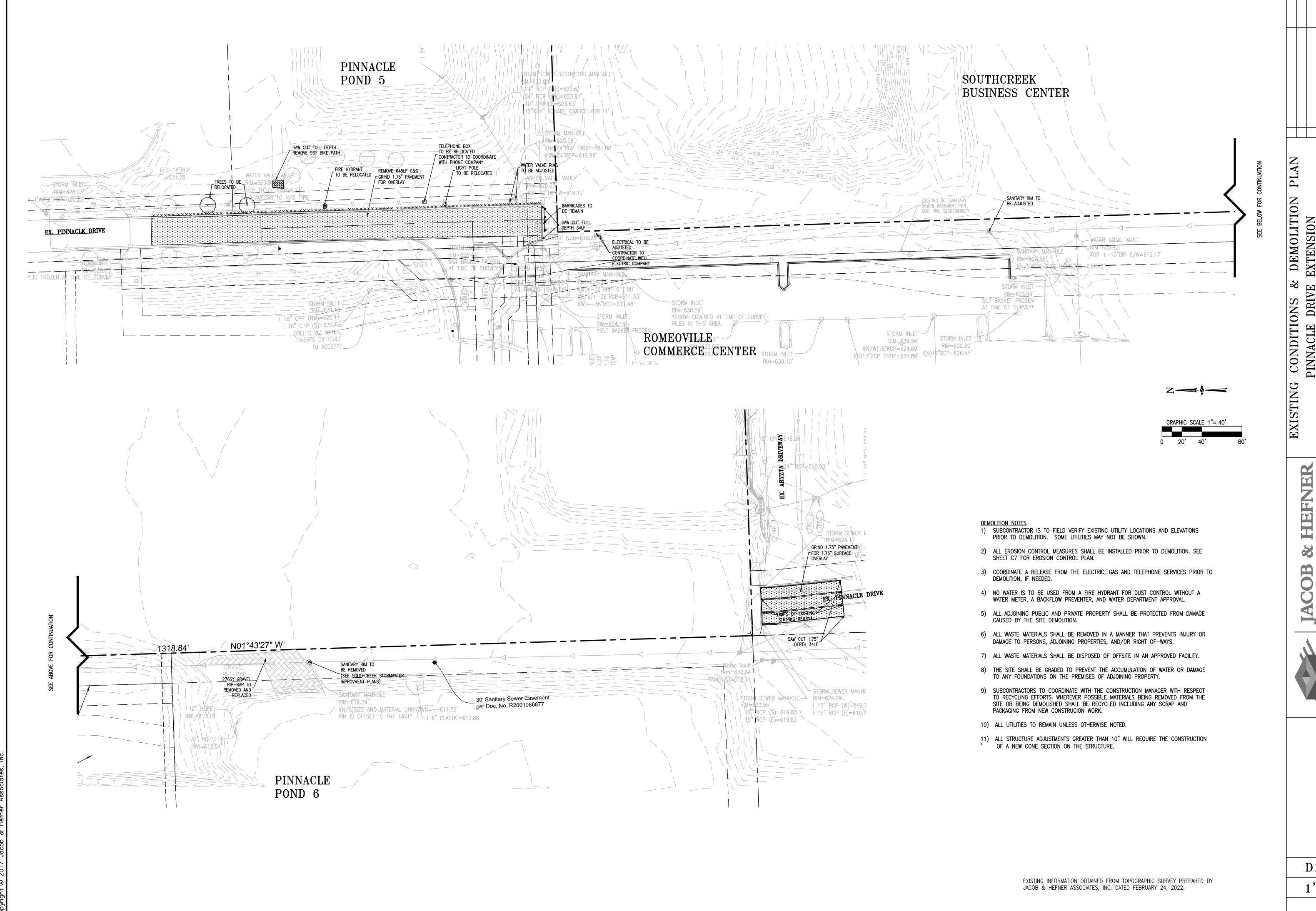
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SION ENTER S LLC

NACLE 'HCREEK ENCIA

A S

C2



| XISTING CONDITIONS & DEMOLITION PLAN | PINNACLE DRIVE EXTENSION | 4 village comments | 3 village comments | 2 client revisions | PALENCIA PROPERTIES LLC | 1 ISSUE FOR REVIEW | EN OMEOVILLE, ILLINOIS | No. Description |

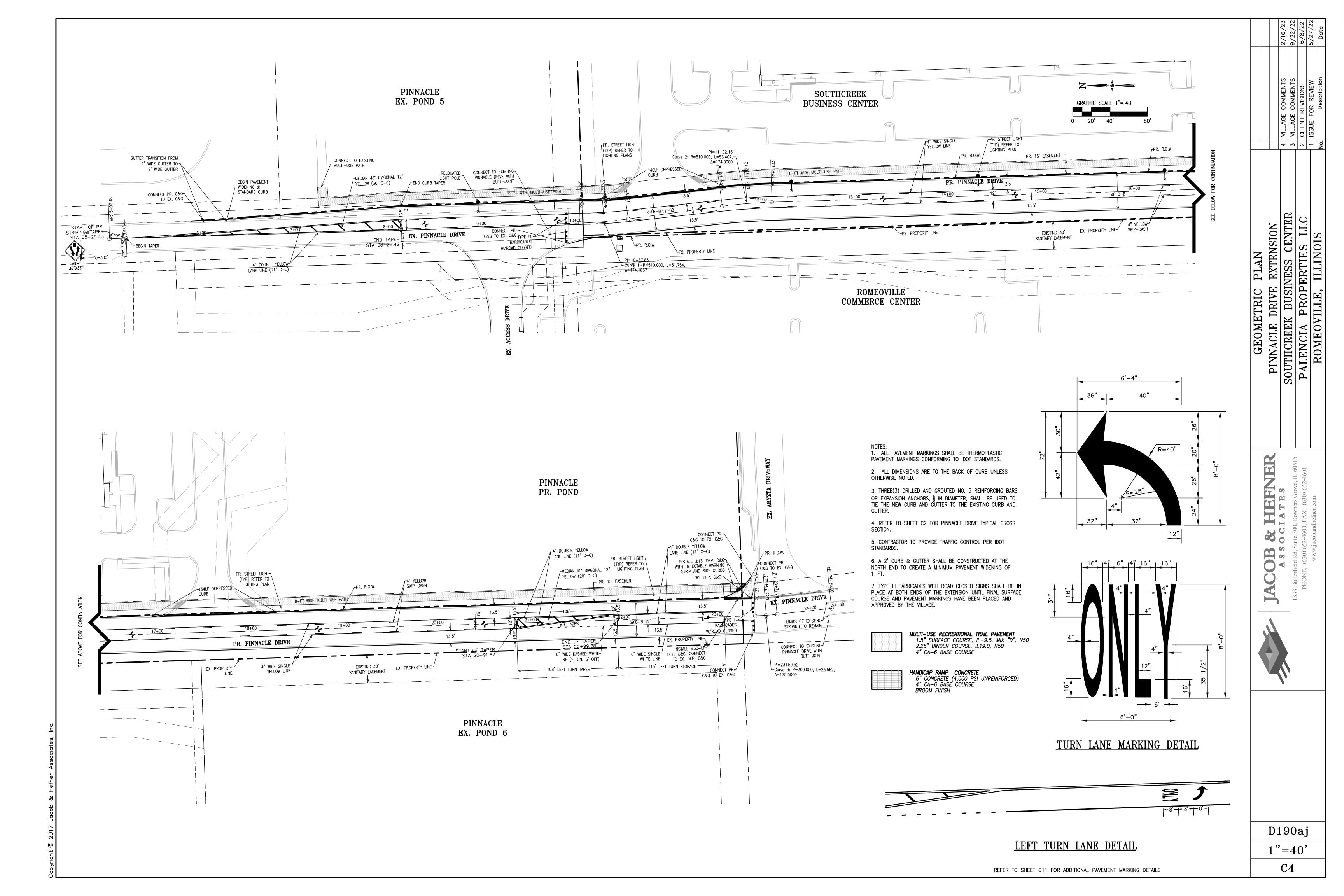
COB & HEFINER
A S S O C I A T E S

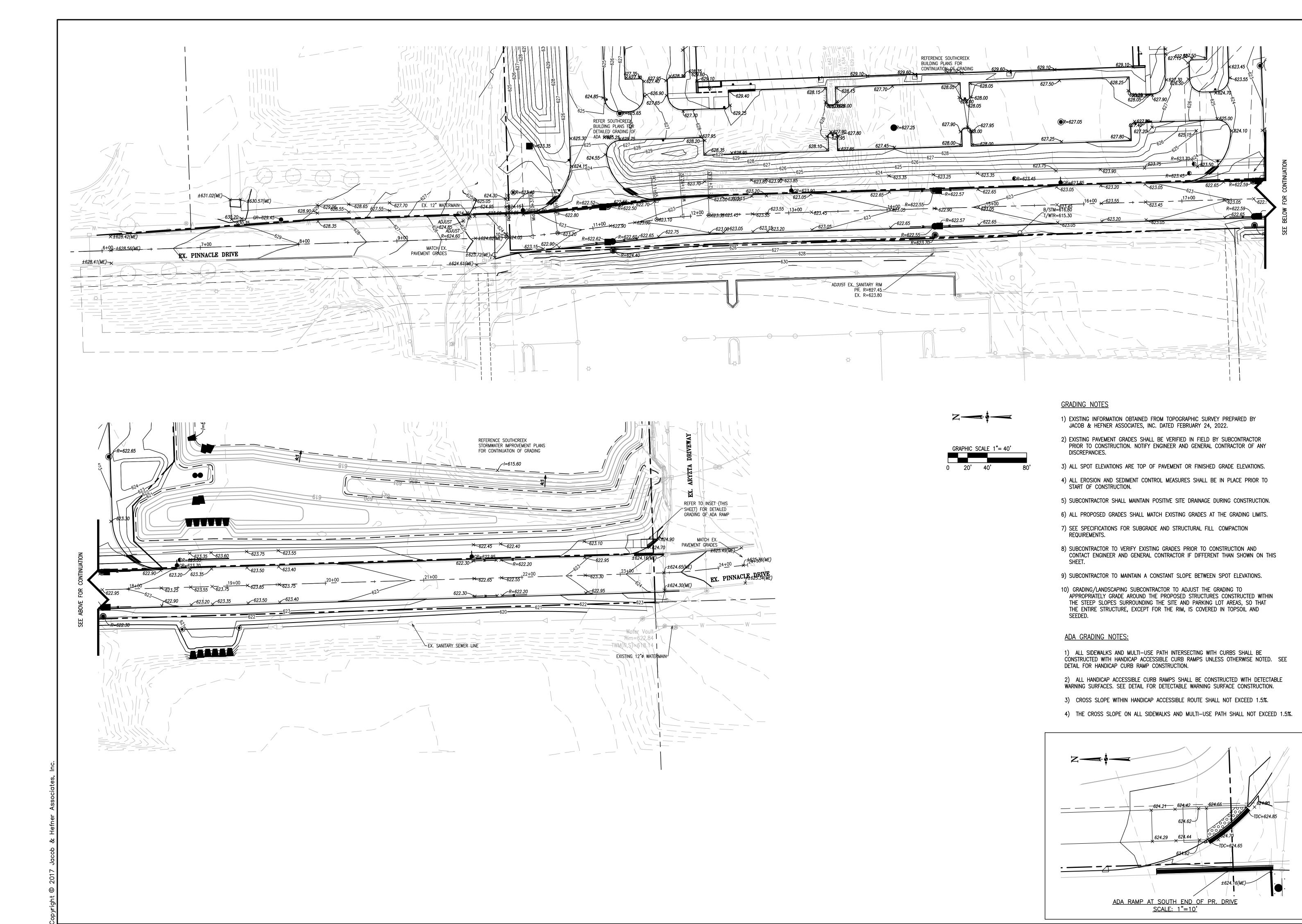
Sutterfield Rd, Suite 300, Downers Grove, IL 60515

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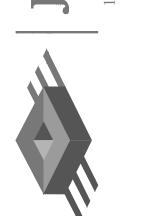
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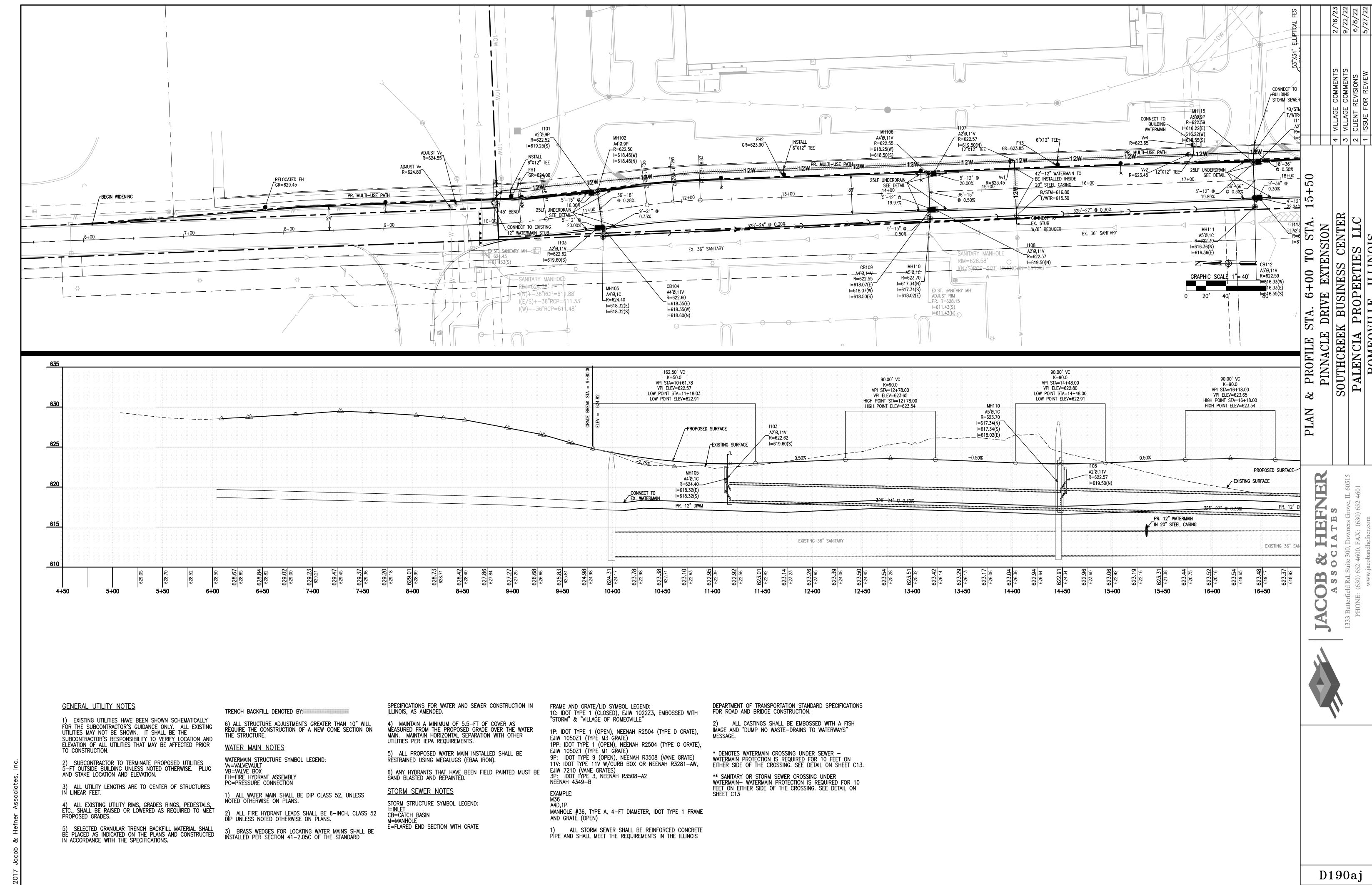
GRADING PLANGRADING PLANPINNACLE DRIVE EXTENSION4 village commentsSOUTHCREEK BUSINESS CENTER3 village commentsPALENCIA PROPERTIES LLC2 client revisionsROMEOVILLE, ILLINOIS1 issue for reviewNo. Description

ACOB & HEFINER
A S S O C I A T E S
33 Butterfield Rd, Suite 300, Downers Grove, IL 60515



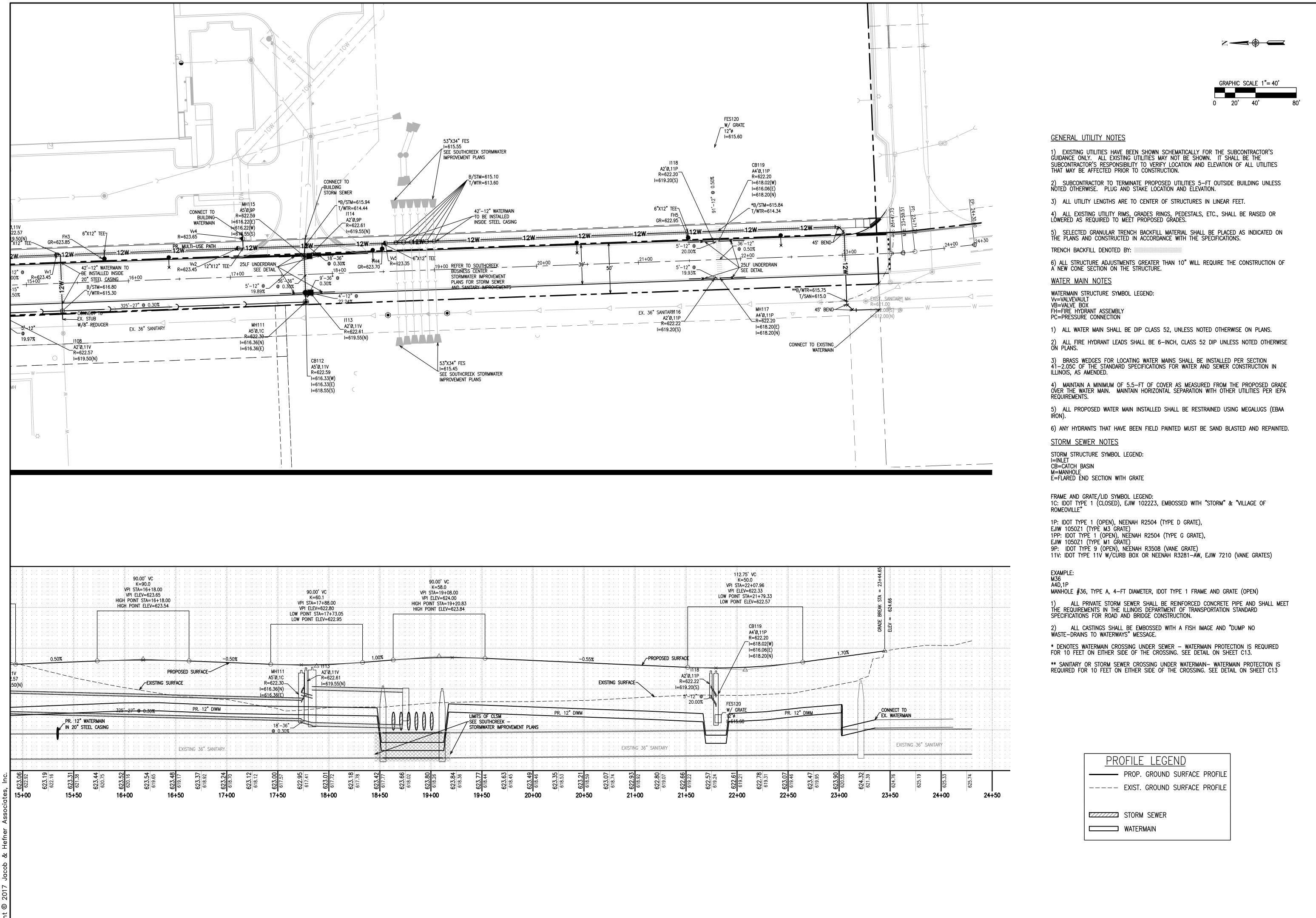
D190aj

 $\frac{1"=40'}{C5}$ 



H:1" = 40'V:1"=5'

C6.0



PLAN & PROFILE STA. 15+00 TO STA. 24+00

PINNACLE DRIVE EXTENSION

SOUTHCREEK BUSINESS CENTER

PALENCIA PROPERTIES LLC

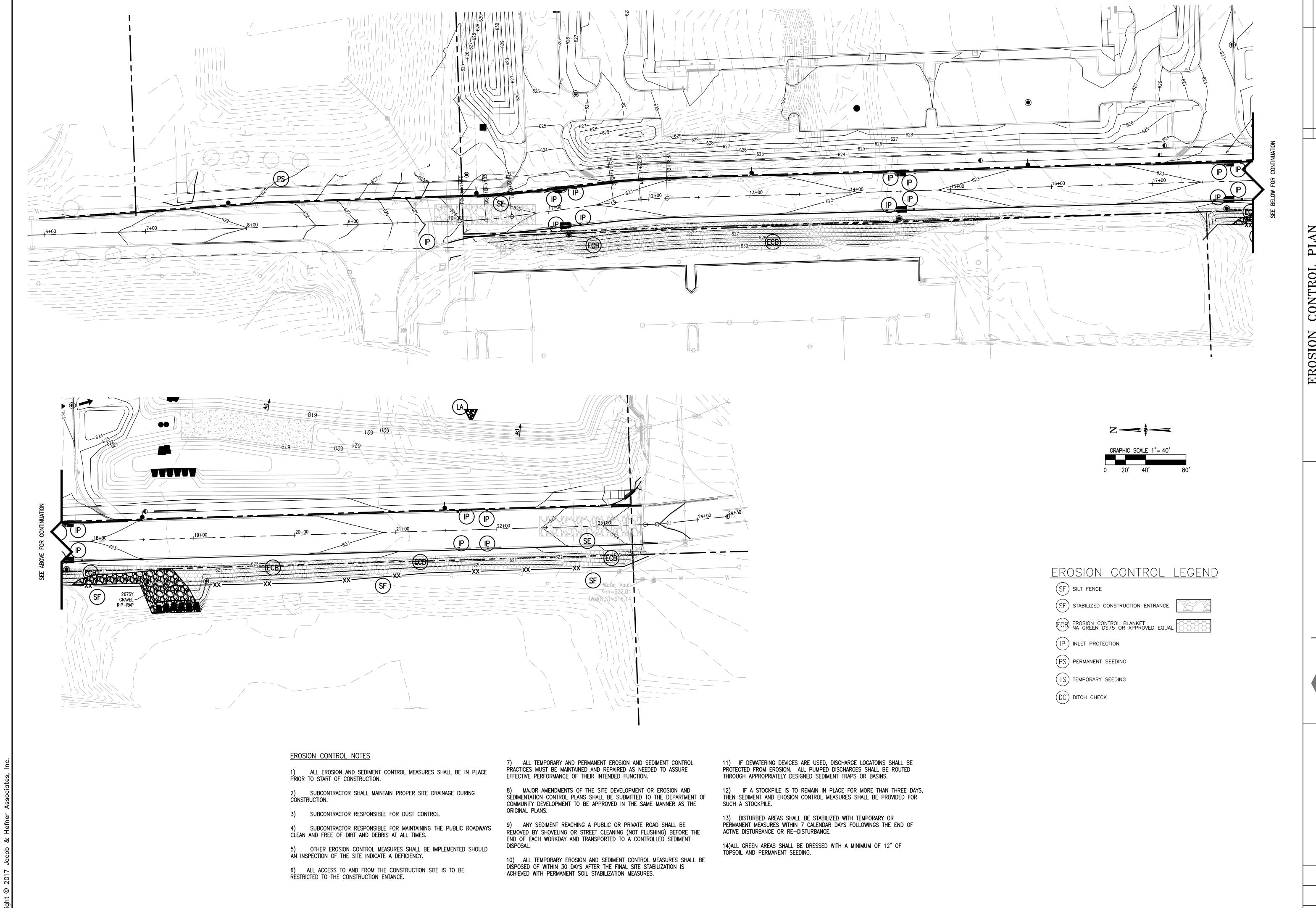
ROMEOVILLE, ILLINOIS

JACOB & HEFFNIER
A S S O C I A T E S
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515



D190aj H:1"=40' V:1"=5

V:1"=5 C6.1



SOUTHCREEK BUSINESS CENTER

PALENCIA PROPERTIES LLC

ROMEOVILLE, ILLINOIS

1 ISSUE
No.

OB & HEFNER
ASSOCIATES

A S S O C I A T E S S O C I A T E S S O C I A T E S S O C I A T E S S O C I A T E S O



D190aj

1"=40'

CONTROL MEASURE GROUP	CONTROL MEASURE	APPL.	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMNT	MAINTENANCE FREQUENC
	TEMPORARY SEEDING	X	ट्य	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
VEGETATIVE	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		х	REDO ANY FAILING AREAS.
SOIL COVER	DORMANT SEEDING		(DS)	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	х	RE-SEED IF NEEDED.
	SODDING		<u>so</u>	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGE WAYS WHERE SEEDING MAY BE DIFFICULT.	X	х	N/A
	MACHINE TRACKING		60	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.		х	N/A
NON VEGETATIVE	POLYMER		P	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X	х	REAPPLY EVERY $1\frac{1}{2}$ MONTHS.
SOIL COVER	AGGREGATE COVER		(AG)	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF—SITE.	X	х	CLEAN UP DIRT FROM STONE AS NEED
COVER	PAVING	X	P	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		х	N/A
	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	х	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		@	TYPICALLY USED TO DIVERT FLOW.	X	х	REPLACE PROTECTION WHEN NEEDED.
DIVERSIONS	COMBINATION DIVERSION		(DIC)	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	x	REPLACE PROTECTION WHEN NEEDED.
Ì	CURB AND GUTTER	X	@	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		x	N/A
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	×	N/A
	VEGETATIVE CHANNEL		(ve)	PROVIDED ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	×	REDO ANY FAILING AREAS.
WATERWAYS	LINED CHANNEL		(e)	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.	X	×	REPLACE PROTECTION WHEN NEEDED.
ENCLOSED	STORM SEWER	X	<b>67</b>	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		×	CLEAN SEDIMENT OUT.
DRAINAGE	UNDER DRAIN		9	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DEWATER SEDIMENT BASINS.	X	×	N/A
	STRAIGHT PIPE SPILLWAY		<b>₽</b>	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		x	CLEAN OUT CONSTRUCTION DEBRIS.
SDII I WAVS	DROP INLET PIPE SPILLWAY		OIS	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		x	CLEAN OUT CONSTRUCTION DEBRIS.
SPILLWAYS	WEIR SPILLWAY		W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.	X	х	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BS	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.	X	х	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON		(4)	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.	X	×	REPAIR DISLODGED STONES OR EROSION UNDER RIP-RAP AS NEEDED
SEDIMENT	SEDIMENT BASIN		(SB)	USED TO COLLECT SMALLER PARTICLES — DETAIN WATER WITH CONTROLLED RELEASE.	X	×	CLEAN SEDIMENT OUT WHEN HALF-FUL
BASINS	SEDIMENT TRAP		জ	USED TO COLLECT LARGER PARTICLES — DETAIN WATER WITH CONTROLLED RELEASE.	X	×	CLEAN SEDIMENT OUT WHEN HALF-FUL
SEDIMENT	SILT FENCE	X	(SF)	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF—FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
FILTERS	VEGETATIVE FILTER		<b>(F)</b>	USED ALONG DRAINAGE WAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X	x	REDO ANY FAILING AREAS.
MUD AND	STABILIZED CONST. ENTRANCE	X	(SE)	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X	x	SCRAPE MUD AND REPLACE STONE AS NEEDED.
DUST CONTROL	DUST CONTROL	X	<b>6</b>	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X	x	RE-APPLY AS NEEDED.
	EROSION CONTROL BLANKET	X	<b>€</b>	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.			REPLACE AS NEEDED
	TURF REINFORCEMENT MAT		(TRM)	REINFORCES TURF IN CHANNELS AND SHORELINES.			REPLACE AS NEEDED
EROSION	CELLULAR CONFINEMENT		Œ	USED TO HOLED TOPSOIL ON STEEP SLOPES.			REPLACE AS NEEDED
CONTROL	GABIONS		(GA)	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.			REPLACE AS NEEDED
	GEOTEXTILE FABRIC		(F)	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.			REPLACE AS NEEDED
	GEOBLOCK POROUS PAVEMENT		P	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.			REPLACE AS NEEDED
	INLET PROTECTION	X	P	USED FOR PROTECTION OF INLETS.			REPLACE OR CLEAN WHEN CLOGGED.
	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.			CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK	X	<u>®</u>	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.			CLEAN OUT WHEN HALF-FULL OF SILT.
SEDIMENT	FLOC LOG		(fl.)	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.			REPLACE WHEN HALF DISSOLVED.
CONTROL	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.			REPLACE WHEN FABRIC IS TORN OR H BEGIN TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.			REPLACE WHEN HALF-FULL, FABRIC IS OR HOLES BEGIN TO FORM.
	CONCRETE WASHOUT	V	(cw)	FOR CONCRETE TRUCKS TO WASHOUT.			CLEAN OUT WHEN HALF-FULL, CLEAN WASHOUT GRAVEL AREA AS NEEDED.

USED TO PREVENT SILT BUILD UP IN STREETS.

## SEEDING CHART

				<u> SEEI</u>	ט טאווע	<u> </u>						
STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	ост.	NOV.	DEC.
PERMANENT SEEDING			<b>*</b>				*_		-			
DORMANT SEEDING	B		4								+ <del>B</del>	
TEMPORARY SEEDING			<del>c</del>				+ <u>D</u>					
SODDING			+E++						<b>^</b>			
MULCHING	F											

- KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS
- C SPRING OATS 100 LBS/ACRE
- KFNTUCKY BLUEGRASS 135 LBS/ACRE
- D WHEAT OR CEREAL RYE 150 LBS/ACRE.
- MIXED WITH PERENNIAL RYEGRASS
  45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.

\* IRRIGATION NEEDED DURING JUNE AND JULY.

- F STRAW MULCH 2 TONS/ACRE.
- \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD. \*\*\* MOW LAWNS AS NECESSARY

STREET SWEEPING

OBSERVATION	& MAINTENANCE	E SCHEDULE
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION— MAINTENANCE	CONTRACTOR	DURING CONSTRUCTIO
STABILIZATION DURING CONSTRUCTION— OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EAC RAINFALL EVENT IN EXCESS OF 0.5".
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

### NOTES:

This plan has been prepared to comply with the provisions of the NPDES Permit Number ILR10B593, issued by the Illinois Environmental Protection Agency for Stormwater Discharges from Construction Site Activities and Soil Erosion and Sediment Control Ordinance for the County.

### Site Description.

a. The following is a description of the construction activity following mass grading which is the subject of this

- The proposed development consists of construction of a roadway and associated utilities. The construction activities for site improvements will include:
- sedimentation control measures, as a minimum. b. The following is a description of the intended sequence of major activities which will disturb soils for major portions of the construction site, such as grubbing, excavation, and grading:

mass grading, pavement construction, installation of utilities including storm sewers, soil erosion and

- The sequence of the construction activities may be as follows: 1) install silt filter fence and stabilized construction entrance, 2) mass grading, 3) underground utilities installation, 4) fine grading in pavement area and 5) pavement construction. The soil erosion and sedimentation control items will be constructed as
- c. The total area of the construction site is estimated to be <u>2.5</u> acres.

needed during the above construction activities.

- The total area of the site that it is estimated to be disturbed by excavation, grading, or other activities,
- d. The estimated runoff coefficients of the various areas of the site after construction activities are completed are contained in the project drainage study, titled Stormwater Management for Pinnacle Drive Extension prepared by Jacob & Hefner Associates. Inc. which is hereby incorporated by reference in this plan. The estimated proposed overall site runoff coefficient is 0.85
- e. Existing data describing soils or quality of discharge (soils report if available) Poor/Fair/Good/Not Available
- f. Name of receiving water(s) South Creek Business Center Pond Name of ultimate receiving water(s) Mink Creek

#### 2. Controls.

This section of the plan addresses the various controls that will be implemented for each of the major construction activities described in 1.b above. For each measure discussed, the contractors will be responsible for its implementation as indicated. Each such contractor has signed the required certification on forms which are attached to, and are a part of, this plan.

#### a. Erosion and Sediment Controls.

(i) STABILIZATION PRACTICES. Provided below is a description of interim and permanent stabilization practices, including site-specific scheduling of the implementation of the practices. Site plans will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Except as provided in 2.a.(i).(A) and 2.b., stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased on all disturbed portions of the site where construction activity will not occur for a period of 21 or more calendar days.

Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall by initiated as soon as

The following interim and permanent stabilization practices, as a minimum, will be implemented to stabilize

- Permanent seeding Silt filter fence
- Vegetative Filter Stabilized construction entrance
- (ii) STRUCTURAL PRACTICES. Provided below is a description of structural practices that will be implemented, to the degree attainable, to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. The installation of these devices
- Detention Pond
- Storm sewer system Rip-rap for outlet protection Permanent seeding

may be subject to Section 404 of the Clean Water Act.

- (iii) DUST CONTROL: Dust Control shall be provided per standard 825 of Illinois Urban Manual. Following are the dust control that can be used.
- Spray on adhesive Vegetative cover

#### Mulching b. Stormwater Management.

(i)Provided below is a description of measures that will be installed during the construction process to control pollutants in stormwater discharges that will occur after construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act.

The practices selected for implementation were determined on the basis of the technical guidance contained in IEPA's Standard Specifications for Soil Erosion and Sedimentation Control, and other ordinances listed in the Specifications.

The stormwater pollutant control measures shall include:

State, except as authorized by a Section 404 permit.

- 1. Silt filter fence Barrier filters
- Storm sewers 4. Retention/Detention ponds
- (ii) Velocity dissipation devices will be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity flow from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydroperiod and hydrodynamics present prior to the initiation of construction activities).
- Stormwater Management Control includes:
- Rip-rap for outlet protection
- 2. Ditch check

#### (i) Waste Disposal. The solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed off-site by the contractor. The contractor is responsible to acquire any permit required for such disposal. Burning on the site will not be permitted. No solid materials, including building materials, shall be discharged into Waters of the

- (ii) The provisions of this plan shall ensure and demonstrate compliance with applicable State and/or local waste disposal, sanitary sewer or septic system regulations.
- The sanitary sewage will be discharged to the proposed sanitary sewer constructed per IEPA and local
- d. Approved State or Local Plans.

The management practices, controls, and other provisions contained in this plan are at least as protective as the requirements contained in the Illinois Environmental Protection Agency's Standards and Specifications for Soil Erosion and Sediment Control dated October 1987, Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Plan, and the Municipal Subdivision Ordinance. Requirements specified in sediment and erosion control site plans or site permits or stormwater management site plans or site permits approved by local officials that are applicable to protecting surface water resources are, upon submittal of an NOI to be authorized to discharge under this permit, incorporated by reference and are enforceable under this permit even if they are not specifically included in the plan.

CLEAN ONCE A WEEK, OR AS NEEDED

TO KEEP STREET CLEAN.

The following is a description of procedures that will be used to maintain, in good and effective operating conditions, vegetation, erosion and sediment control measures and other protective measures identified in this plan and Standard Specifications.

Stabilized construction entrance: The entrance shall be maintained to prevent tracking of sediment onto public streets. This will be done by top dressing with additional stones, remove and replace top layer of stones or washing the entrance. The sediment washed on the public right-of-way will be removed immediately.

Vegetative erosion control measures: The vegetative growth of temporary and permanent seeding, sodding, vegetative channels, vegetative filter, etc. shall be maintained periodically and supply adequate watering and fertilizer. The vegetative cover shall be removed and reseeded as necessary.

Sedimentation basins/traps: The sediments shall be removed when 40-50 percent of the total original

capacity is occupied by the sediment. In no case shall the sediment be built up to more than 1 foot below the crest elevation. At this stage, the basin shall be cleaned out to restore its original volume. Silt filter fence: The damaged silt filter fence shall be restored to meet the standards or removed and

Straw bale barrier filters: The straw bale barrier filter shall be inspected frequently and shall be repaired or removed and replaced as needed.

Rip-Rap outlet protection: It shall be inspected after high flows for any scour beneath the Rip-Rap or for stones that have been dislodged. It shall be repaired immediately.

The Owner, or Owner's representative shall provide qualified personnel to inspect disturbed areas of the construction site which have not been finally stabilized, structural control measures, and location where vehicles enter or exit the site. Such inspections shall be conducted at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater or equivalent snowfall.

- a. Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off site sediment tracking.
- b. Based on the results of the inspection, the description of potential pollutant sources identified in section 1 above and pollution prevention measures identified in section 2 above shall be revised as appropriate as soon as practicable after such inspection. Any changes to this plan resulting from the required inspections shall be implemented within 7 calendar days following the inspection.
- c. A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this stormwater pollution prevention plan, and actions taken in accordance with section 4.b. shall be made and retained as part of the plan for at least three (3) years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the general permit.
- d. If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this plan, the Resident Engineer or Resident Technician shall complete and file an "Incidence of Noncompliance" (ION) report for the identified violation. The Resident Engineer or Resident Technician shall use forms provided by the Illinois Environmental Protection Agency and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted from the noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with Part VI. G of the general permit. The report of noncompliance shall be mailed to the following address:
- ALL PACKAGES: Illinois Environmental Protection Agency Division of Water Pollution Control Attn: Compliance Assurance Section 1024 North Grand Avenue, East
- Illinois Environmental Protection Agency Division of Water Pollution Control Attn: Compliance Assurance Section Post Office Box 19276 Springfield, IL 62794-9276

#### 5. Non-Stormwater Discharge

the discharge:

Except for flows from fire fighting activities, sources of non-stormwater that may be combined with stormwater discharges associated with the residential activity addressed in this plan, are described below:

Water main flushing

Springfield, IL 62794

Fire hydrant flushing Watering for dust control

Irrigation drainage for vegetative growth for seeding, etc. The pollution prevention measures, as described below, will be implemented for non-stormwater components of

The fire hydrant and water main shall not be flushed directly on the exposed area or subgrade of the pavement. Hoses shall be used to direct the flow into the storm sewer system.

The erosion due to irrigation of seeding shall be considered minor.

#### NPDES CERTIFICATE

This certification statement is a part of the Storm Water Pollution Prevention Plan for the project described below, in accordance with NPDES Permit No. ILR10B593, issued by the Environmental Protection Agency on July 31, 2010

PROJECT TITLE: PINNACLE DRIVE PROJECT LOCATION: ROMEOVILLE

CITY/VILLAGE

DEVELOPER: SATORI PROPERTIES

I certify under penalty of law that I understand the terms of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site identified as part of this certification.

Signature:

CONTRACTOR/SUBCONTRACT	FOR CERTIFICATION STATEMENT
Name:	Signature

#### VILLAGE NOTES:

1) THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.

2) ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO

3) A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LÉAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER ONE ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.

4) AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.

5) A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.

#### **EROSION CONTROL CERTIFICATE:**

THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND COMPLIES WITH THE URBAN SOIL EROSIONS CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

## RIP-RAP DIMENSION TABLE

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON La (FT)	MEDIAN RIPRAP SIZE C (IN)	WIDTH OF APRON U/S FACE 3d (FT)	WIDTH OF APRON D/S FACE 3d+La (FT)	DEPTH OF RIP RAP Y (IN)	AREA OF RIP RAP (SQ.YDS.)	VOLUME OF RIP RAP (CU.YDS.)
FES1	24		18	9	6.00	24.00	20	30.00	16.7
FES2	15		10	6	3.75	13.75	15	9.72	4.1

SS

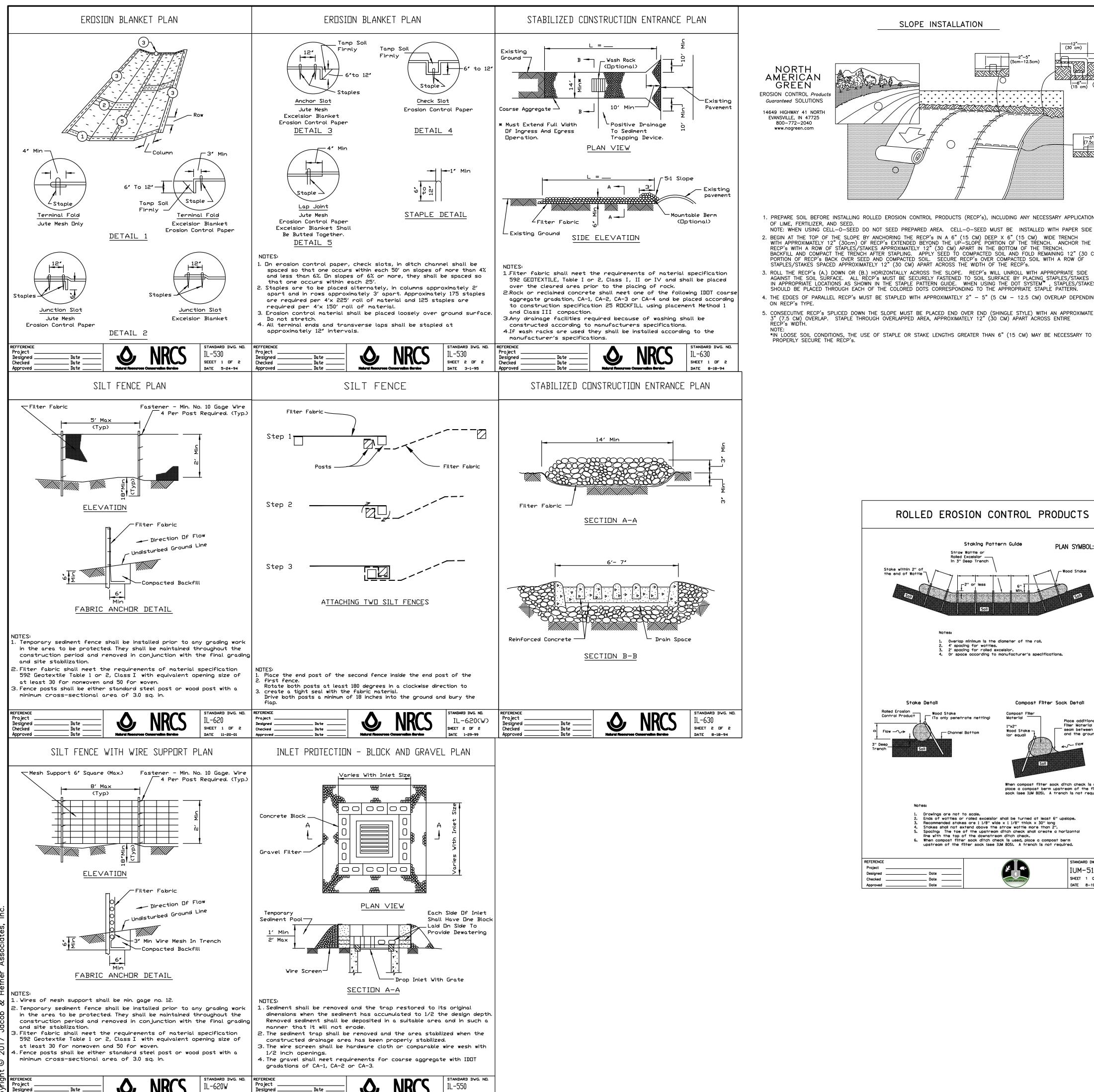
DRIVE EXTENSION
K BUSINESS CENTER
PROPERTIES LLC
VILLE, ILLINOIS

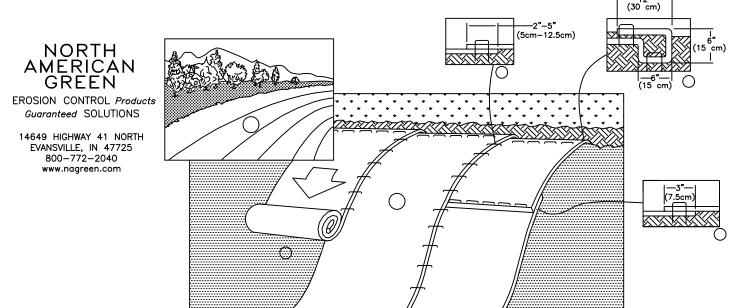
PINNACLE D SOUTHCREEK PALENCIA F ROMEOVI

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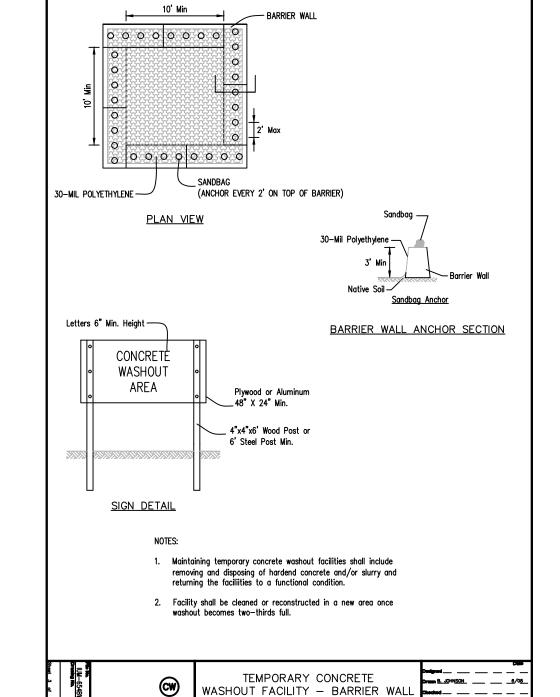
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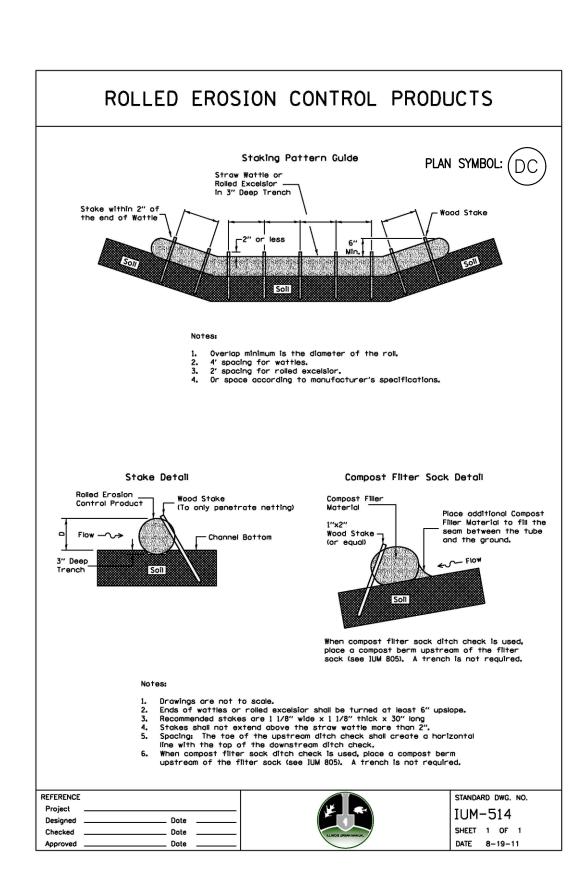


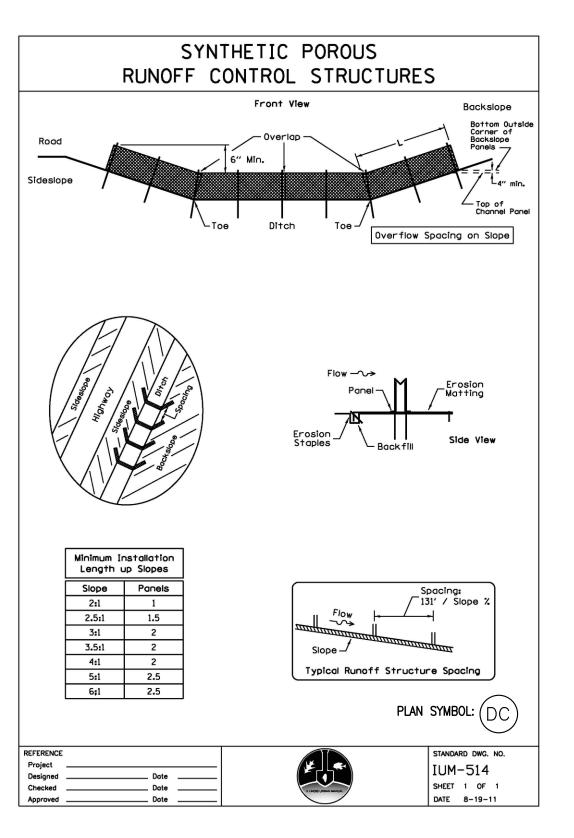


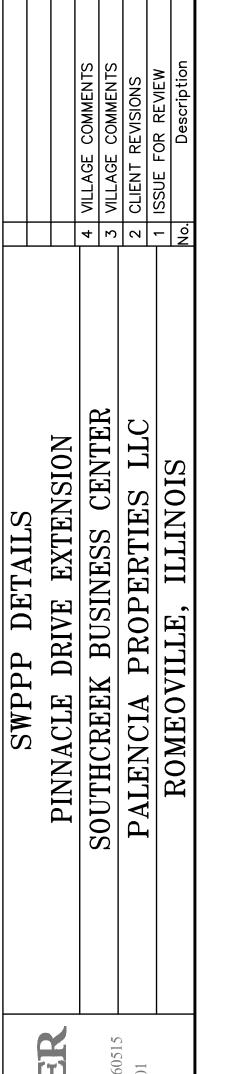
SLOPE INSTALLATION

- 1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP's. 3. ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- 4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" 5" (5 CM 12.5 CM) OVERLAP DEPENDING
- 5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE









∞2°



D190aj

N.T.S.

#### **SANITARY SEWER PAVEMENT SOIL EROSION AND SEDIMENT CONTROL EARTHWORK WATER MAIN** THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE I. TOPSOIL EXCAVATION 1. UNLESS NOTED OTHERWISE, ALL SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, CLASS 52. PIPE CONFORMING TO AWWA PLASTIC PIPE. ALL PIPE SHALL CONFORM TO ASTM D-3034 WITH ELASTOMERÌC RUBBER RING GAŚKET SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY, AND THE ILLINOIS URBAN MANUAL. C-151 (ANSI A-21.51) WITH CEMENT MORTAR LINING AND BITUMINOUS SEAL COATING CONFORMING TO A. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE JOINTS CONFORMING TO ASTM D3212. THE STANDARD DIMENSION RATIO (SDR) FOR PIPE SHALL BE 26. , ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE MATERIALS SHALL BE ANSI-A-21.4 (AWWA C-104). ALL WATER MAIN MUST BE WRAPPED IN V-BIO POLYETHYLENE USING BEFORE STARTING CLEARING AND SITE GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE WHERE SHOWN THE PVC SDR 21 SANITARY SEWER SHALL BE RING TITE PVC (POLYVINY) CHLORIDE) MATERIAL, THE PAVED AREAS SHALL BE FINE GRADED TO WITHIN 0.05 FEET OF FINAL SUBGRADE REMOVED FROM AREAS REQUIRING STRUCTURAL FILL. ALTERNATE MODIFIED METHOD A: WET TRENCH CONDITIONS. A LAYER OF ARC-SPRAYED ZINC PER ISO ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB. SHALL BE INSTALLED AS SHOWN ON THE PLANS. PLASTIC PIPE CONFORMING TO ASTM D-2241 WITH ELASTOMERIC RUBBER RING GASKET JOINTS 8179 IS REQUIRED ON EXTERIOR PIPE. ALL JOINTS MUST BE RESTRAINED WITH MEGALUGS (EBBA IRON) B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL CONFORMING TO ASTM D3139. THE PVC DR18 SANITARY SEWER SHALL CONFORM TO AWWA THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGINNING ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS 2. CURB AND GUTTER C900/C905 WITH RUBBER GASKET JOINTS CONFORMING TO AWWA C900/C905 2. THE JOINTS SHALL BE PUSH-ON JOINTS CONFORMING TO ANSI A-21.11 (AWWA C-111) AND ALL A. THE TYPE OF THE CURB AND GUTTER SHALL BE AS DETAILED ON THE ENGINEERING PLANS. TO REMOVE DIRT WHICH COULD LEAVE THE SITE BY CONSTRUCTION VEHICLES. C. EXCESS MATERIALS, IF NOT UTILIZED AS FILL OR IF NOT TO BE STOCKPILED FOR FUTURE 2. CONNECTING SEWER PIPE OF DISSIMILAR MATERIAL IS NOT ALLOWED. RETAINING GLANDS SHALL BE SET SCREW OR MEGA-LUG TYPE. WATER MAIN FITTINGS SHALL BE OF LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF DUCTILE IRON WITH CEMENT MORTAR LINING AND SEAL COATING WITH PUSH-ON JOINTS AND SHALL B. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER. CONNECTIONS TO EXISTING SANITARY 4. SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE CONFORM TO ANSI A21.10 (AWWA C-110). MUNICIPALITY'S ENGINEERING INSPECTOR TO PREVENT SEDIMENT FROM LEAVING THE SITE. SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY. EARTH EXCAVATION 4. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL CONFORMING TO ASTM D-2321, CL I. 3. MEGALUGS (EBAA IRON) RESTRAINED JOINTS SHALL BE INSTALLED ON ALL WATER MAINS AT ALL BENDS, C. STONE UNDER CURB AND GUTTER SHALL BE INSTALLED AS DETAILED ON THE ENGINEERING PLANS. INLET PROTECTION SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS AS A. EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.05 FEET FOR PADS AND PAVEMENT AND D. THE CURB DEPRESSIONS FOR DRIVEWAYS AND HANDICAPPED RAMPS SHALL BE INSTALLED PER THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES. DISTRIBUTION SYSTEM VALVES SHALL BE RESILIENT SEAT VALVE CONFORMING TO AWWA C-509 LATEST 5. COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER. 0.1 FEET +/- OF THE PLAN SUBGRADE ELEVATIONS. THE +/- TOLERANCE WITHIN PAVEMENT STANDARDS, AND SHALL BE APPROVED BY THE MUNICIPALITY. EACH VALVE SHALL BE INSTALLED IN A AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" AS PART OF THE FINE VALVE VAULT OR BOX OF SIZE SHOWN ON THE PLANS. THE LIDS SHALL BE EAST JORDAN 1050Z1 OR BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2". AN INSPECTION REPORT SHALL BE FILLED OUT EACH TIME AND SHALL BE KEPT IN A BINDER AT JOB SITE APPROVED EQUAL AND LETTERING ON THE CAST IRON FRAME AND LID SHALL INDICATE "WATER" AND SANITARY SEWERS. SANITARY SEWERS SHALL HAVE TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE A. THE PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS. THICKNESSES THE TOP OF THE PIPE TO A MINIMUM OF 12" FOR SANITARY SEWER PIPE. THE BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADTION CA-7 & INSTALLED PER ASTM D-2321 CLASS B. PLACEMENT OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. AT ALL TIMES ALONG WITH NOI, NPDES PERMIT & SWPPP PLAN. 5. A MINIMUM DEPTH OF COVER OF 5'-6" SHALL BE MAINTAINED OVER THE WATER LINES. 8. AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED AND FREE OF DIRT AND DEBRIS. THE SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER TOLERANCE OF 0.1 FEET +/-. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, (UNLESS OTHERWISE APPROVED BY SOILS ENGINEER) ALL WATER MAINS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH 7. WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. AWWA SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE TESTED FOR A MINIMUM OF 4 HOURS. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION. SYSTEM AND SHALL NOT BE WASHED OUT IN THE STORM SEWER SYSTEM. WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION. EARTH MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING 9. THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE EFFECTIVELY UNTIL ALL THE STRUCTURAL FILL, TO WITHIN PLAN SUBGRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL HOWEVER, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE 8. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE. B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL. ANY VISIBLE LEAKAGE FROM THE MAIN. THE STRUCTURAL SUBGRADE AREA SHALL EXTEND TO THE ZONE OF INFLUENCE IN ALL 9. THE TESTING OF PIPES' STRAIGHTNESS, AND FIELD TESTING SHALL BE IN ACCORDANCE WITH FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE WITH CAST IRON VALVE BOX. FIRE 10. A. STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS. DEVELOPMENT CODE OF THE MUNICIPALITY. C. PROVIDE CONSTRUCTION, EXPANSION, AND CONTRACTION JOINTS FOR CURB AND GUTTER, AND P.C.C. HYDRANTS SHALL CONFORM TO MEET ALL REQUIREMENTS DESCRIBED IN THE SUBDIVISION CONTROL B. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN SEVEN DAYS, THEN SEDIMENT AND C. COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 95% OF THE SIDEWALK PER IDOT STANDARDS AND MUNICIPAL STANDARDS. ORDINANCE OF THE MUNICIPALITY. THE HYDRANT SHALL FACE THE ROADWAY. THE FIRE HYDRANTS 10. SANITARY SEWER INSPECTION MANHOLES SHALL BE 5'-0" I.D, PRECAST REINFORCE CONCRETE RINGS OR MONOLITHIC CONCRETE CONFORMING TO ASTM D 478 AND SHALL HAVE AN ECCENTRIC CONE INSTALLED MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AND BUILDING PAD AREAS, SIDEWALK, SHALL BE PAINTED PER THE MUNICIPALITY. THE VALVE BOX LID SHALL HAVE WORD "WATER" EMBOSSED EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE. D. REMOVE ALL EXCESS MATERIALS AND DEBRIS AND DISPOSE OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. ETC., 90% TO 95% OF THE MODIFIED PROCTOR DRY DENSITY IS REQUIRED IN NON-STRUCTURAL ON THE LID. HYDRANTS SHALL BE EAST JORDAN 5BR20 WITH 6" PALIN-END SHOE WITH ATTACHED 6 11. IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION AND TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE NEENAH R-1981-I AT 16" INCH RESILIENT WEDGE MECHANICAL JOINT VALVE WITH STORZ PUMPER COMMECTION ALONG WITH TWO 2 ½" HOSE CONNECTIONS. SEE FIRE HYDRANT DETAIL ON DETAIL SHEETS. TESTING AND FINAL ACCEPTANCE 3. UNSUITABLE MATERIAL 11. ALL SANITARY SEWER MANHOLE LIDS SHALL BE EAST JORDAN 1050Z1. THE LIDS 8. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH CURRENT MANUFACTURER'S A. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE SUBGRADE LOCATIONS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL OR OTHERWISE REMEDIATED IN SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH "O" RING GASKET. THE A. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE RECOMMENDATIONS AND AWWA SPECIFICATIONS. LIDS SHALL HAVE THE WORD "SANITARY" AND "THE VILLAGE OF ROMEOVILLE" EMBOSSED ON THE LID. 12. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IF IT IS ENCOUNTERED BELOW NORMAL ALL MANHOLE JOINTS SHALL BE EXTERNALLY WRAPPED WITH MACWRAP OR EQUAL, AND RUBBER DURING CONSTRUCTION. TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION IT SHALL BE REMOVED AND REPLACED 9. BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE SUBGRADE SHALL HAVE GASKETED BOOTS ARE REQUIRED FOR THE MAIN AT THE MANHOLE WALL. WITH SELECT GRANULAR MATERIAL APPROVED BY THE SOILS ENGINEER OR, IF POOR SOILS ARE NEW WATER MAINS. SEE WATER MAIN DETAIL ON DETAIL SHEET. 13. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL ENCOUNTERED, THE SUBGRADE SHALL BE IMPROVED BY PROCESSING WITH LIME STABILIZED SOIL MIXTURE 12-INCH AND AS DIRECTED BY THE ENGINEER. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY THE SOILS ENGINEER WITH THE CONCURRENCE OF THE EROSION WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED UNLESS A ½" OR GREATER RAINFALL EVENT IS FORECAST PRIOR TO 7 DAYS. IN THAT CASE THE PROPER SOIL PROTECTION SHALL BE INSTALLED IMMEDIATELY. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 7 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION UNLESS GRADING ACTIVITIES ARE RESUMED WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED. THE PORARY COVER SHALL BE 12. ALL MANHOLE JOINTS SHALL BE SEALED WITH "O" RING JOINTS. ALL MANHOLES SHALL HAVE MISSION COUPLING TYPE FITTING FOR PIPE CONNECTIONS. 10. ALL WATER MAINS SHALL BE SUBJECTED TO A PRESSURE TEST AND A SEPERATE LEAKAGE TEST AT B. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE THE SUBCONTRACTOR, SYSTEM PRESSURE FOR 24 HOURS BY THE CONTRACTOR. HYDROSTATIC PRESSURE TEST AND LEAKAGE WHEN REQUIRED, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE SHALL BE BASED ON 150 PSI FOR 2 HOURS. WATER MAINS SHALL BE CHLORINIATED SO THAT THE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION, IN ACCORDANCE WITH THE "STANDARD 13. DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN 50 MG/L AND THAT A CHLORINE RESIDUAL OF NOT DIFFERENCE IN INVERT GRADES EXCEEDS TWO FEET (2') OR AT LOCATIONS SHOWN ON THE PLANS. THE ENTIRE DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". 4. THE GRADING CONTRACTOR SHALL: LESS THAN 25 MG/L REMAINS AFTER 24 HOURS IN THE PIPE. DISINFECTION AND TESTING SHALL BE PERFORMED WITH A VILLAGE REPRESENTATIVE PRESENT. C. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND A. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT 14. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING IRRIGATION, OR FIRE HYDRANT FLUSHING SHALL BE FILTERED PRIOR TO LEAVING PROJECT SITE. STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. 11. ALL VALVES SHALL BE AMERICAN FLOW OR EAST JORDAN (FLOWMASTER) CONFORMING TO AWWA C509. 14. INSPECTION OF MANHOLES: IT SHALL BE THE SUBCONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION AND IN ACCORDANCE WITH THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY. CAST IRON BODY, BRONZE-FITTED, MODIFIED WEDGE DISC RELILIENT SEAT TYPE WITH NON-RISING STEM B. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASHDOWN FACILITIES IF NECESSARY, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE AND O-RING PACKING DESIGNED FOR 200 POUND WORKING PRESSURE. 1" TAPS WITH 1" SHUTOFF ALL MANHOLES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS AND ALL VISIBLE LEAKAGE COMPLETION OF THE UNDERGROUND IMPROVEMENTS. VALVES SHOULD BE INSTALLED UPSTREAM AND DOWNSTREAM OF THE VALVE WITHIN THE VAULT. C. SCARIFY AND COMPACT TO THE DEGREE SPECIFIED THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE SUBCONTRACTOR SHALL AVOID DAMAGING THE PAINT OF THE HYDRANTS DURING INSTALLATION AND BACKFILLING. HYDRANTS EXHIBITING PAINT DAMAGE, AT THE SOLE DETERMINATION BY THE THE VILLAGE OF ROMEOVILLE WATER SUPERINTENDENT, MUST BE SAND BLASTED AND REPAINTED BY A VILLAGE ROADWAY SHALL BE REMOVED CONTINUOUSLY. 15. TESTING FOR ACCEPTANCE OF SANITARY SEWERS AND MANHOLES ALL SANITARY SEWERS INCLUDING SERVICE LINES SHALL BE TESTED FOR LOW PRESSURE AIR TEST. AND DEFLECTION TEST PER STANDARD 16. ALL SUBCONTRACTORS SHALL COMPLY WITH SWPPP PLAN AND NPDES REQUIREMENT & SHALL SIGN SWPPP ON FILE WITH OWNER OR GENERAL CONTRACTOR. CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS. SPECIFICATIONS AND SUBDIVISION REGULATIONS OF THE MUNICIPALITY AND SHALL BE APPROVED BY APPROVED CONTRACTOR PRIOR TO ACCEPTANCE HE MUNICIPALITY BEFORE ACCEPTANCE. ALL SANITARY MANHOLES SHALL BE VACCUM TESTED FOR LONGITUDINAL JOINT CONSTRUCTION: D. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE LEAKAGE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND ASTM C 1244-02 PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION. A. AS MANY LONGITUDINAL JOINTS AS PRACTICAL SHALL BE CLOSED AT THE END OF EACH DAY OF PAVING. A TACK COAT SHALL BE APPLIED TO THE "COLD" SIDE OF THE LONGITUDINAL JOINT PRIOR TO THE PLACEMENT OF THE HOT SIDE MAT. 13. IEPA WATER MAIN PROTECTION 16. TELEVISION TESTING: ALL SANITARY SEWERS SHALL BE TELEVISED AND A COPY OF THE TAPE AND A E. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE WRITTEN REPORT SHALL BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL. THE REPORT SHALL INCLUDE STUB LOCATIONS AND DESCRIPTION OF ALL DEFECTS, WATER LEVEL, AND LEAKS. IDENTIFY LENGTHS FROM MANHOLE NUMBER SPECIFIED ON THE APPROVED PLANS. ALL COSTS SHALL BE INCIDENTAL TO THE WORK. TESTING SHALL BE WITNESSED AND APPROVED BY THE MUNICIPALITY BEFORE FINAL ACCEPTANCE. THE LOCATION OF T.V. INSPECTION SHALL BE AS DESIGNATED BY THE MUNICIPAL B. LONGITUDINAL JOINT CONSTRUCTION SHALL BE COMPLETED BEFORE THE "COLD" SIDE OF THE JOINT F. BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS DESCRIBED ON THE PLANS. ALL CONTRACTORS SHALL COMPLY WITH SWPPP AND a) WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR C. IN THE EVENT THE TEMPERATURE OF THE "COLD" SIDE OF A JOINT FALLS BELOW 200° F PRIOR TO PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICES CONNECTION. JOINT CONSTRUCTION COMPLETION THE SUBCONTRACTOR SHALL PERFORM THE FOLLOWING: 1. HEAT THE COLD SIDE JOINT TO 200° F EITHER BY MEANS OF A HAND TORCH OR AN INFRARED HEATER. CONTRACTOR TO AVOID BURNING ASPHALT DURING REHEATING. 17. TEST RESULTS: IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE SUBCONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE REPAIR, OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS MAY BE 5. TESTING AND FINAL ACCEPTANCE b) WATER MAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN: 2. APPLY TACK COAT TO REHEATED JOINT PRIOR TO ASPHALT PLACEMENT. A. THE GRADING SUBCONTRACTOR SHALL PROVIDE AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS. 1) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET; AND LONGITUDINAL JOINT DENSITY SPECIFICATIONS: 18. CERTIFICATION SUBCONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED AND APPROVED BY MUNICIPAL 2) THE WATER MAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND A. COMPLETED LONGITUDINAL JOINTS SHALL BE ASSESSED BASED ON SECTION 1030 OF THE STANDARD SPECIFICATIONS AND THE HOT MIX ASPHALT — DENSITY TESTING OF LONGITUDINAL JOINTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING 3) THE WATER MAIN IS IN A SEPARATE TRENCH. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT,OR, IF POOR SOILS ARE ENCOUNTERED, THE SUBGRADE SHALL BE IMPROVED BY PROCESSING WITH LIME STABILIZED SOIL MIXTURE 12-INCH AND AS DIRECTED BY THE ENGINEER. PROOF ROLLING SHALL BE PERFORMED UNTIL PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING", ASTM STANDARD D-2412. TESTS SHALL ALSO BE CONDUCTED IN ACCORDANCE WITH ASTM D-3212 TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT, AS SPECIFIED IN ASTM D-3212 SPECIFICATIONS. a. MANHOLES MUST CONFORM TO THE LATEST REQUIREMENTS OF ASTM C478. c) BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF PIPE EQUIVALENT b. NEVER TRANSPORT SECTIONS TO THE SITE UNTIL THEY HAVE CURED FOR AT ONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED AT EACH RANDOM DENSITY TEST TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN IT IS IMPOSSIBLE TO MEET (a) OR (b) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED LOCATION. LONGITUDINAL JOINT TESTING SHALL BE LOCATED AT A DISTANCE EQUAL TO THE LIFT LEAST TEN (10) DAYS. THE SUBGRADE IS APPROVED BY THE MUNICIPAL REPRESENTATIVE, OWNER AND SOILS ENGINEER. 19. MINIMUM OF TWO ADJUSTING RINGS (MIN 6" ADJUSTIN HEIGHT) AND A MAXIMUM OF THREE RINGS (MAX THICKNESS OR A MINIMUM OF 2 IN., FROM EACH PAVEMENT EDGE. (I.E. FOR A 4 IN. LIFT THE NEAR EDGE OF THE DENSITY GAUGE OR CORE BARREL SHALL BE WITHIN 4 IN. FROM THE EDGE OF SURCHARGE HEAD BEFORE BACKFILLING. c. MARK EACH PIECE PLAINLY WITH MANHOLE NUMBERS AND DATE OF MANUFACTURE 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE VERY THE WORK AREAS SHALL BE POSITIVELY DRAINED DURING CONSTRUCTION. FINAL GRADES SHALL BE SO IT CAN BE INSTALLED IN THE PROPER LOCATION, AS SHOWN ON THE PLANS. TOP RING SHOULD BE ONE(1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISER (1" TO 3" MAX PAVEMENT). LONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED USING EITHER A PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC. CORRELATÉD NUCLEAR GAUGE OR CORES. d. MAKE SURE FACTORY-INSTALLED CUTOUTS IN THE BOTTOM SECTION ARE a) A WATER MAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF APPROPRIATE FOR THE PIPE BEING LAID. 1. CONFINED EDGE. EACH CONFINED EDGE DENSITY SHALL BE REPRESENTED BY A ONE-MINUTE THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR NUCLEAR DENSITY READING OR A CORE DENSITY AND SHALL BE INCLUDED IN THE AVERAGE OF DENSITY READINGS OR CORE DENSITIES TAKEN ACROSS THE MAT WHICH REPRESENTS THE 20. FINAL ACCEPTANCE AND TESTING OF SANITARY SEWER: SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT e. PIPE CONNECTIONS AT MANHOLE - CUTOUTS SHOULD BE EQUIPPED WITH PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR RUBBER BOOTS TO ENSURE A WATERTIGHT CONNECTION. MATERIAL SHALL BE BEFORE FINAL ACCEPTANCE, THE SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO EQUAL TO KOR-N-SEAL CONNECTOR, AS MANUFACTURED BY NPC, INC. SECTION 31-1.11 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN. 2. UNCONFINED EDGE. EACH UNCONFINED EDGE JOINT DENSITY SHALL BE REPRESENTED BY AN LLINOIS". SPECIFICALLY, ALL PIPELINES CONSTRUCTED OF FLEXIBLE MATERIALS SHALL BE SUBJECT TO f. JOINT SEALANT - FLEXIBLE RUBBER SEALANT FOR JOINTS IN PRE-CAST AVERAGE OF THREE ONE-MINUTE DENSITY READINGS OR A SINGLE CORE DENSITY AT THE GIVEN b) IF IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (a) OR AIR EXFILTRATION TESTS, TELEVISING TEST, AND DEFLECTION TEST. THE DEFLECTION TEST SHALL BE MANHOLE SECTIONS SHALL PROVIDE PERMANENTLY FLEXIBLE WATERTIGHT JOINTS. DENSITY TEST LOCATION AND SHALL MEET THE DENSITY REQUIREMENTS SPECIFIED HEREIN. THE PERFORMED NO SOONER THAN THIRTY (30) DAYS OF BACKFILLING OPERATION AND SHALL CONSIST OF MEASURING THE PIPE FOR VERTICCAL RING DEFLECTION. MAXIMUM RING DEFLECTION OF THE PIPELINE STORM SEWER THE WATER MAIN PASSES UNDER A SEWER OR DRAIN, THEN ONE OF THE FOLLOWING SHALL REMAIN WORKABLE OVER A WIDE TEMPERATURE RANGE AND SHALL NOT IHREE ONE-MINUTE READINGS SHALL BE SPACED TEN FEET APART LONGITUDINALLY ALONG THE METHODS SHALL BE FOLLOWED: UNCONFINED PAVEMENT EDGE AND CENTERED AT THE RANDOM DENSITY TEST LOCATION. SHRINK, HARDEN OR OXIDIZE UPON AGING. MATERIAL SHALL BE EQUAL TO TYLOX JNDER LOAD SHALL BE LIMITED TO FIVE (5) PERCENT OF THE INTERNAL PIPE DIAMTER. ALL PIPE 1) THE STORM DRAIN SHALL BE CONSTRUCTED OF "O" RING JOINTS AND SANITARY SEWER XCEEDING THIS DEFLECTION SHALL BE CONSIDERED TO HAVE REACHED THE LIMIT OF ITS SUPERSEAL AND SHALL MEET ASTM C 443 AND ASTM C 361 REQUIREMENTS. DENSITY CONTROL LIMITS TABLE SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATER MAIN STANDARDS. SERVICEABILITY AND SHALL BE RE-LAID OR REPLACED BY THE DEVELOPER. DEFLECTION TESTING q. THE FRAME FOR THE LID SHALL BE INSTALLED WHEN CONE SECTION IS CAST. SHALL BE ACCOMPLISHED BY PULLING A MANDREL, SPHERE, OR PIN-TYPE "GO/NO-GO" DEVICE, WITH ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR 2) THE WATER MAIN MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE AS INDICATED ON THE A DIAMETER EQUAL TO NINTY—FIVE (95) PERCENT OF THE UNDEFLECTED INSIDE DIAMETER OF THE FLEXIBLE PIPE, THROUGH THE PIPELINE. IN ADDITION, ALL SANITARY SEWER HAVING A DIAMETER OF h. HEAT-SHRINKABLE ENCAPSULATION FOR EXTERNAL WRAPPING OF ALL JOINTS: WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND THE SUBDIVISION CONTROL ORDINANCE OF PLANS AND AS PER THE SPECIAL CROSSING DETAIL SHOWN ON THE DETAIL SHEE WRAPID SEAL AS MANUFACTURED BY CANUSA CPS, BIDCO EXTERNAL JOINT WRAP EIGHT (8) INCHES OR GREATER SHALL BE TELEVISED. COPIES OF ALL VIDEO TAPES MUST BE AS MANUFACTURED BY NPC, OR APPROVED EQUAL. c) A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND SUBMITTED TO THE VILLAGE OF ROMEOVILLE, UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE REINFORCED CONCRETE THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES CULVERT PIPE, ASTM C 76, WITH "O" RING RUBBER GASKET JOINTS CONFORMING TO ASTM C443, C361 UNDER SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING 21. FINAL TESTING OF SANITARY MANHOLES: VACUUM TESTING SHALL BE CARRIED OUT IMMEDIATELY AFTER ASSEMBLY AND PRIOR TO BACKFILLING ALL DOWNSPOUT AND FOOTING DRAINS SHALL BE DISCHARGED TO THE STORM SEWER SYSTEM OR ONTO d) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL OF MANHOLES THAT ARE UP TO SEVENTY—TWO (72) INCHES IN DIAMETER. ALL LIFT HOLES SHALL BE PLUGGED WITH A NON—SHRINK GROUT, OR RUBBER PLUG. THE MONHOLE FRAME AND ADJUSTING THE GROUND AS INDICATED. DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET. RINGS AND CHIMNEY SEALS SHALL BE IN PLACE BEFORE TESTING. NO GROUT SHALL BE PLACED IN MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR THE HORIZONTAL JOINTS. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE WITH THE VACUUM TESTING. MONOLITHIC CONCRETE, MANHOLES AND CATCH BASINS SHALL BE 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. MANHOLE JOINTS SHALL BE "O" RING GASKET JOINTS. A MAXIMUM OF SIX VACUUM TESTING SHALL TEST ALL MANHOLES FOR LEAKAGE. A VACUUM OF TEN (10) INCHES OF Village of Romeoville - Minimum chlorination standards: (6) INCHES ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. THE ADJUSTING RINGS MERCURY SHALL BE PLACED ON THE MANHOLE AND THE TIME MEASURESD FOR THE VACUUM TO DROP SHALL BE SET IN FULL MORTAR BED. a. Gas chlorine must be used for disinfection. O NINE (9) INCHES OF MERCURY. THE VACUUM DROP SHALL NOT EXCEED THE REQUIREMENTS b. The chlorination contractor must call 815-886-1870 a minimum of 24-hours in SHOWN IN TABEL 1 OF ASTM C1244-02. IF TESTING FAILS, DEVELOPER SHALL SEALL ALL LEAKS AND WATERMAIN RESTRAINED LENGTHS (FT) ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A BEDDING, 1/4" TO 3/4" IN SIZE, WITH A advance to schedule chlorination. RETEST UNTILL ACCEPTABLE. THE TESTING SHALL BE COMPLETED PRIOR TO BACKFILLING (WHENEVER MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN c. Only Village of Romeoville employees shall operate water system valves and turn 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE GRANULAR MATERIAL FOR BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA—6. THE GRANULAR MATERIAL FOR BEDDING AND INITIAL BACKFILL FOR FLEXIBLE PIPE SHALL BE NON—ANGULAR GRAVEL MATERIAL CONFORMING TO ASTM D—2321, CLASS I. THE COST OF BEDDING MATERIAL SHALL BE MERGED WITH POSSIBLE) SO THAT ANY LEAKS CAN BE FOUND AND FIXED EXTERNALLY, AND TO GIVE THE HORIZONTAL FITTING TYPE MANHOLE'JOINTS AN OPPORTUNITY TO TIGHTEN. on/off sampling whips while samples are being collected. INDIVIDUAL TEST UNCONFINED EDGE JOINT d. All chlorination and safety equipment must meet or exceed the standards and PARAMETER MIXTURE COMPOSITION (INCLUDES CONFINED EDGES) 11.25° DENSITY MINIMUM 22. FLOW MONITORING PRIOR TO ACCEPTANCE: recommendations set by The Chlorine Institute, Inc. DEADEND 90° BEND 45° BEND 22.5° BEND DIAMETER BEND THE UNIT PRICE BID FOR THE SEWER. THE BEDDING MATERIALS SHALL BE COMPACTED TO 95% OF THE e. The chlorinator must be a licensed plumber or certified Illinois water operator with THE DEVELOPER WILL BE REQUIRED TO MONITOR THE FLOWRATE FROM THE SITE FOR A PERIOD OF Ndesign < 90 IL-9.5, IL9.5L, IL-12.5 MODIFIED PROCTOR DENSITY. a minimum of 5 years experience working with chlorine disinfection of water TWO MONTHS (ENCOMPASSING AT LEAST TWO MAJOR STORM EVENTS) TO IDENTIFY ANY EXCESSIVE 21' 10' 2' | 1' IL-19.0, IL-25.0 Ndesign >= 90 supply lines. 93.0-96.0% INFLOW/INFILTRATION OCCURING IN THE SYSTEM. THE DATA MUST BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS. THE FRAME AND GRATE OR CLOSED LID SHALL BE AS SPECIFIED ON UTILITY PLANS. THE MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. ALL CASTINGS SHALL BE EMBOSSED WITH <u>-19.0, IL-19.0L, IL-25.0</u> 28' | 14' | 6' | Ndesign < 90 3' 2' 1' 93.0-97.4% f. The chlorination contractor must have two people present to chlorinate. One to monitor the cylinder and one to monitor in the field. Ndesign = 50 & 80 93.5-97.4% A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE. THE CLOSED LIDS SHALL 10'' 34' | 16' | 7' | 4' | 2' | 1' g. The chlorination contractor must be bonded and insured, and have proof of both on VILLAGE SANITARY MANHOLE NOTES: ALL OTHER HAVE THE WORD "STORM" AND THE MUNICIPALITY NAME EMBOSSED ON THE LID. THE JOINT BETWEEN 12" 40' | 19' | 8' | 4' | 2' | 1' file with the Village. CONCRETE SECTION AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND. ALL SANITARY MANHOLE CASTINGS, ADJUSTING RINGS AND MANHOLE SECTIONS SHALL BE SET IN BUTYL ROPE OR APPROVED EQUAL. EACH MANHOLE CONE AND BARREL SECTION JOINT SHALL ALSO BE EXTERNALLY SEALED WITH A 6" WIDE SEALING BAND OF RUBBER AND MASTIC. THE BAND SHALL HAVE AN OUTER LAYER OF RUBBER OR POLYETHYLENE WITH AN UNDER LAYER OF RUBBERIZED MASTIC h. The chlorination contractor must have updated 24-hour emergency phone numbers ALL STORM SEWERS SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING. on file with the Village. i. The chlorination contractor must comply with state and federal regulations RESTRAINED LENGTHS PER EBAA RESTRAINT LENGTH CALCULATOR AND LOCAL SOIL AFTER THE STORM SEWER STRUCTURE HAS BEEN CONSTRUCTED THE SUBCONTRACTOR SHALL PLACE regarding transportation and handling of chlorine cylinders: ALL JOINTS WITHIN THE CALCULATED LENGTH MUST BE RESTRAINED. IF THE DISTANCE BETWEEN FITTINGS IS LESS THAN OR EQUAL TO THE CALCULATED RESTRAINT LENGTH, ALL JOINTS BETWEEN THOSE FITTINGS SHALL BE RESTRAINED. RESTRAINED LENGTHS ARE FROM DEAD END, ON THE BRANCH OF A TEE, OR ON DEATL SIDES OF BENDS. EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY T Shipping and emergency papers for every job location EETING THE REQUIREMENTS OF ASTM C-877-02 (STANDARD SPECIFICATION FOR ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, EXTERNAL SEALING BANDS FOR CONCRETE PIPE, MANHOLES, AND PRECAST BOX Proof of insurance for hauling and handling chlorine gas WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM SECTIONS). PIPE CONNECTION TO NEW AND EXISTING MANHOLES THROUGH Commercial driver's license with Hazmat endorsement and medical card OPENINGS (CAST OR CORE-DRILLED) SHALL BE PROVIDED WITH A FLEXIBLE BOTH SIDES OF BENDS. Copy of Emergency Response Guidebook in vehicle RUBBER WATERTIGHT CONNECTOR CONFORMING TO ASTM C-923 (STANDARD 9. VILLAGE REQUIRES ALL SUBMISSION OF RECORDED VIDEO INSPECTIONS OF ALL PUBLIC STORM SEWERS. Hazmat certificate of registration SPECIFICATIONS FOR RESILIENT CONNECTIONS BETWEEN REINFORCED CONCRETE Hazardous materials placard displayed on vehicle MANHOLE STRUCTURES AND PIPES) Cylinder strapped upright in truck 2. INTERNAL CHIMNEY SEALS SHALL BE RAVEN 581 BRUSH GRADE, A 100% SOLIDS, FLUID APPLIED POLYURIA ELASTOMER REPAIR MATERIAL AS APPLIED PER THE j. Under no circumstances will chlorine contractors be allowed to apply heat to the

FOLLOWING: FOR SURFACE PREPARATION — SURFACES SHOULD BE THOROUGHLY CLEAN AND DRY. CONCRETE AND MORTAR MUST BE CURED AT LEAST 7 DAYS AND NO FROST OR WET CONDITIONS PRESENT DURING INSTALLATION. REMOVE ALL

LOOSE MORTAR AND FOREIGN MATERIAL. SURFACE MUST BE FREE OF LAITANCE, CONCRETE DUST, DIRT, FORM RELEASE AGENTS, MOISTURE CURING MEMBRANES,

LOOSE CEMENT AND HARDENERS. FILL BUG HOLES, AIR POCKETS, AND OTHER VOIDS WITH STEEL-SEAM FT190. AFTER ENSURING ALL SURFACES ARE CLEAN THE

CHIMNEY SEAL COATING MATERIAL SHALL BE APPLIED EVENLY BY SPRAYING OVER THE ENTIRE CHIMNEY SEAL AREA INCLUDING THE FRAME JOINT AREA AND THE

MANUFACTURE'S RECOMMENDATIONS AND FILM SHALL BE APPLIED AT A WET MILS SPREADING RATE OF BETWEEN 100 TO 125 MILS. THE FINAL INTERNAL CHIMNEY SEAL SHALL PASS VISUAL INSPECTION AND BE COMPLETELY FREE OF PINHOLES OR

VERTICAL RISER OF THE MANHOLE CONE INCLUDING ALL EXTENSIONS TO THE CHIMNEY AREA. APPLICATION SHALL BE MADE IN ACCORDANCE WITH

chlorine cylinder (i.e. hot baths, propane torches, etc.). While the cylinder is being

or all of the above information. Please contact the Village of Romeoville Public

used it must be in a vertical position, as well as being affixed to a solid object. k. Prior to chlorination, the chlorination contractor must provide a detailed written

chlorination and flushing plan to the Village for review and written approval. 1. At any time, the Village or its authorized representative may ask for proof of any

Works Department (815-886-1870) with any questions.

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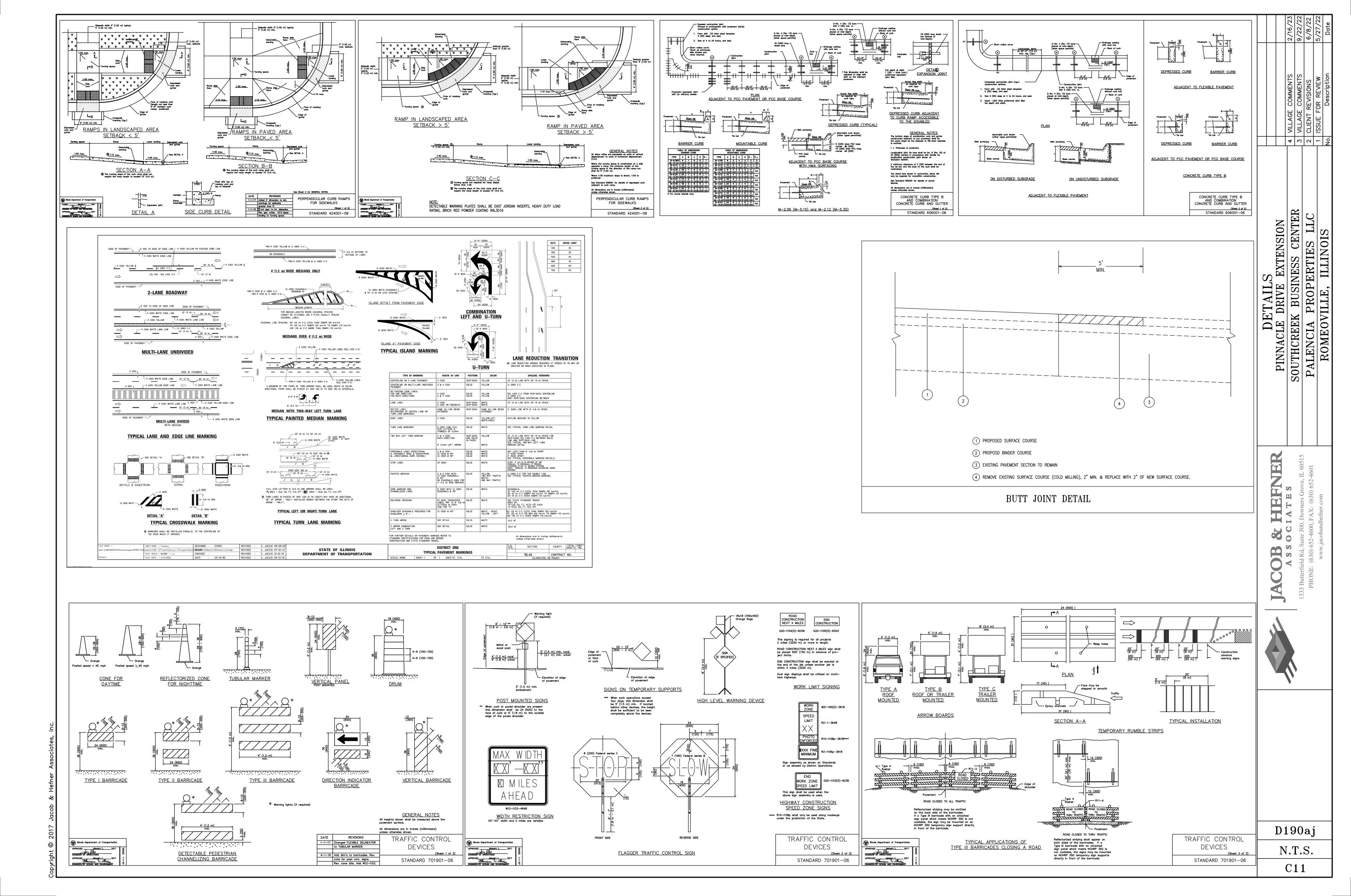
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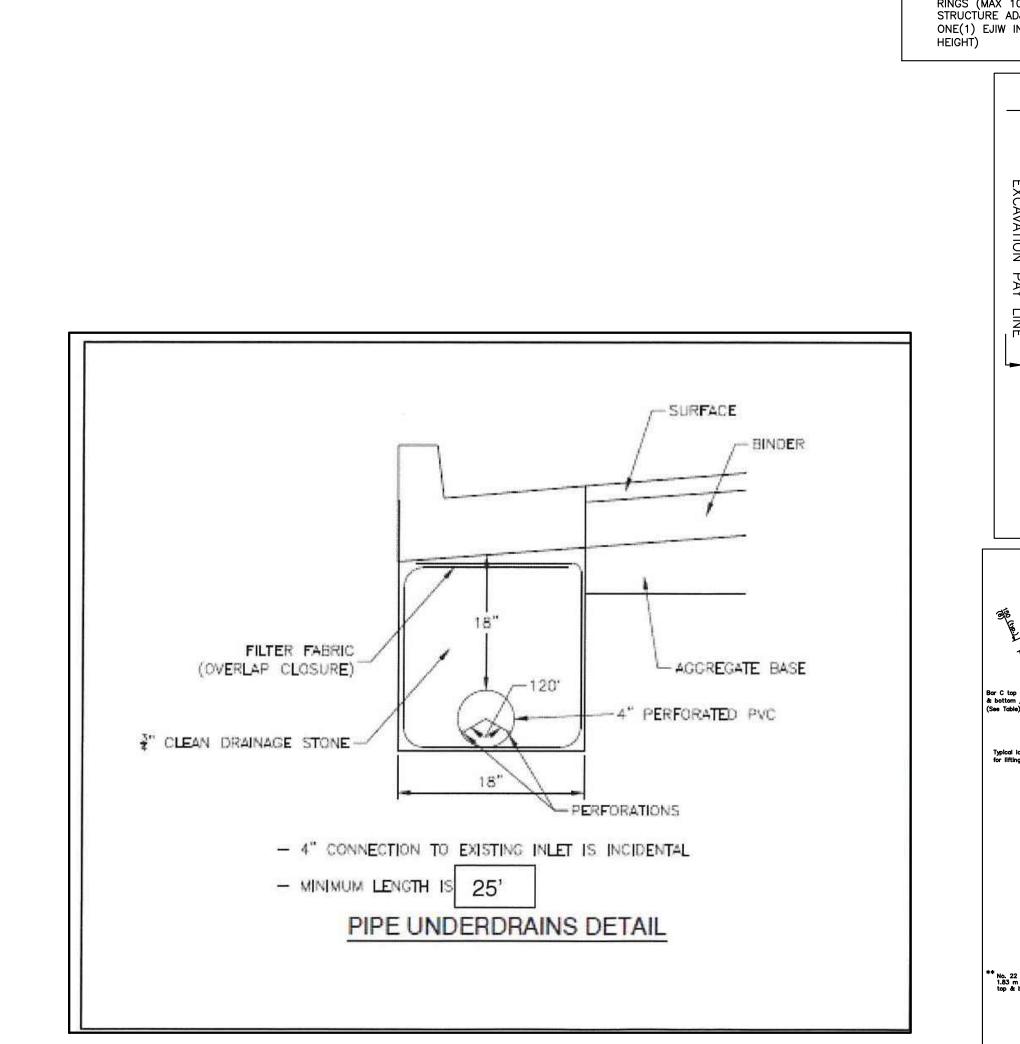
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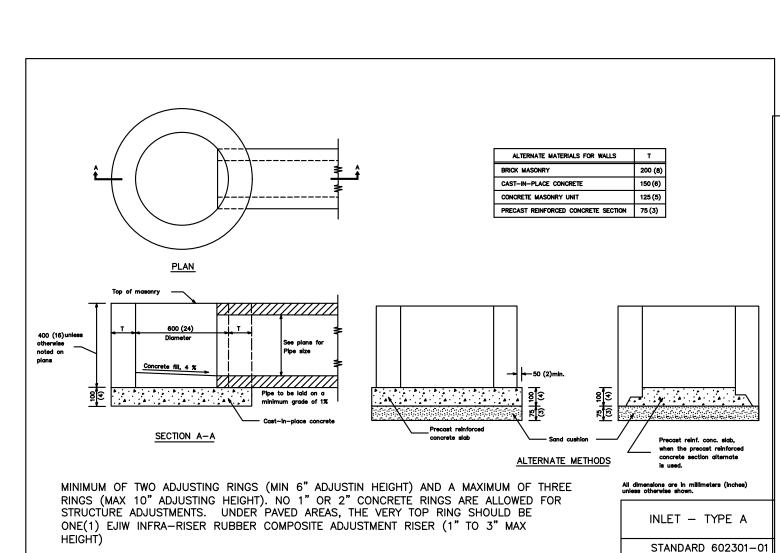
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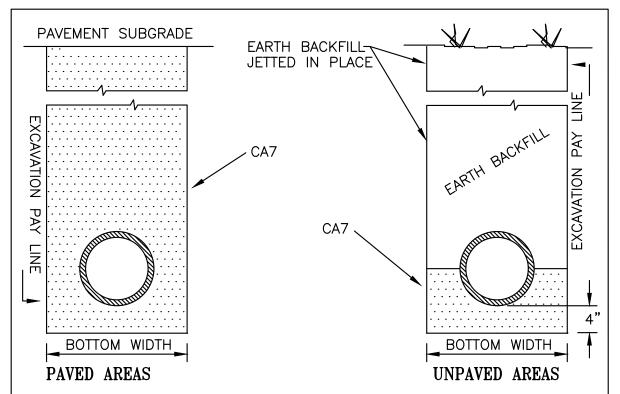
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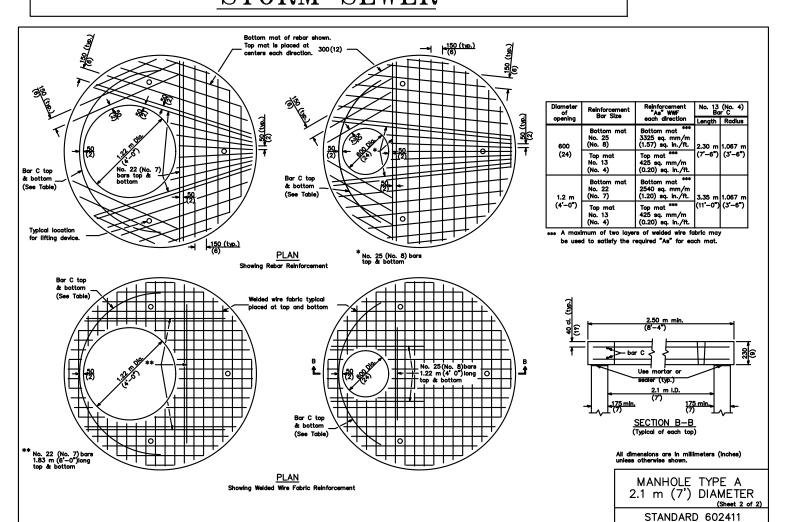


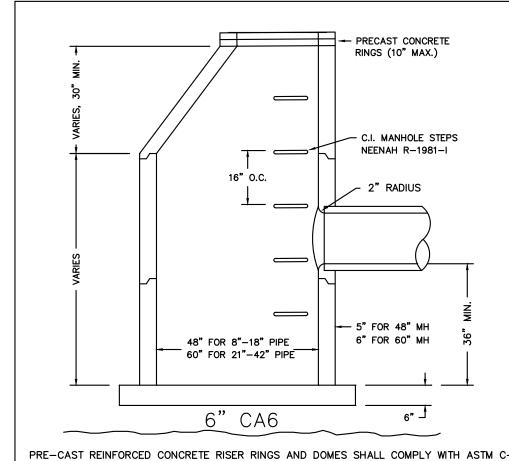






# TYPICAL TRENCH SECTION STORM SEWER



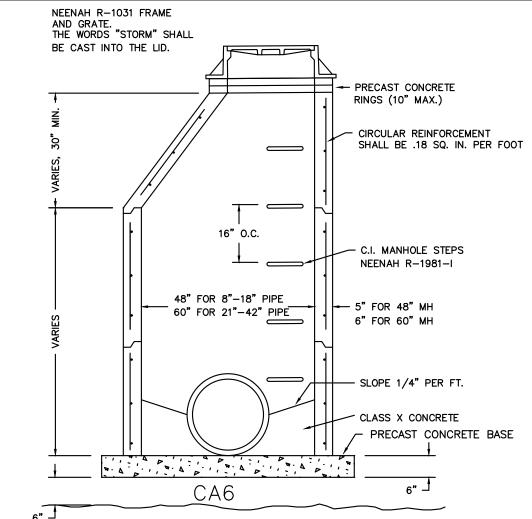


PRE-CAST REINFORCED CONCRETE RISER RINGS AND DOMES SHALL COMPLY WITH ASTM C-39. ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES SHALL BE SET IN PLACE WITH A BUTYL RUBBER JOINT SEALANT.

NEENAH R-3281-A OR EQUAL FRAME & GRATE FOR B6.12 C&G (SHOWN) NEENAH R-3501-P OR EQUAL FRAME AND GRATE FOR M3.12 ROLL CURB NEENAH R-4340-B OR EQUAL GRATE FOR YARD INLETS FOR SHALLOW CATCH BASINS OMIT PRE—CAST CONE SECTION AND PROVIDE 8" THICK FLAT TOP CONCRETE SLAB WITH 24" ECCENTRIC OPENING ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".

MINIMUM OF TWO ADJUSTING RINGS (MIN 6" ADJUSTIN HEIGHT) AND A MAXIMUM OF THREE RINGS (MAX 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE VERY TOP RING SHOULD BE ONE(1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISER (1" TO 3" MAX HEIGHT)

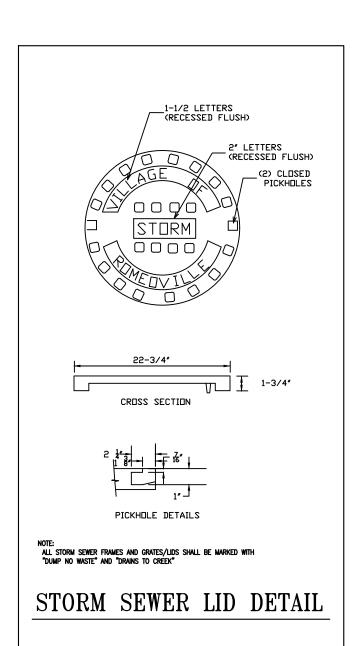
## CATCH BASIN TYPE A



PRE-CAST REINFORCED CONCRETE RISER RINGS AND DOMES SHALL COMPLY WITH ASTM C-39. ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES SHALL BE SET IN PLACE WITH A BUTYL RUBBER JOINT SEALANT.

FOR RESTRICTED DEPTH MANHOLES OMIT PRE—CAST CONE SECTION AND PROVIDE 8" THICK REINFORCED CONCRETE FLAT TOP SLAB WITH 24" ECCENTRIC OPENING MINIMUM OF TWO ADJUSTING RINGS (MIN 6" ADJUSTIN HEIGHT) AND A MAXIMUM OF THREE RINGS (MAX 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE VERY TOP RING SHOULD BE ONE(1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISER (1" TO 3" MAX HEIGHT) ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND

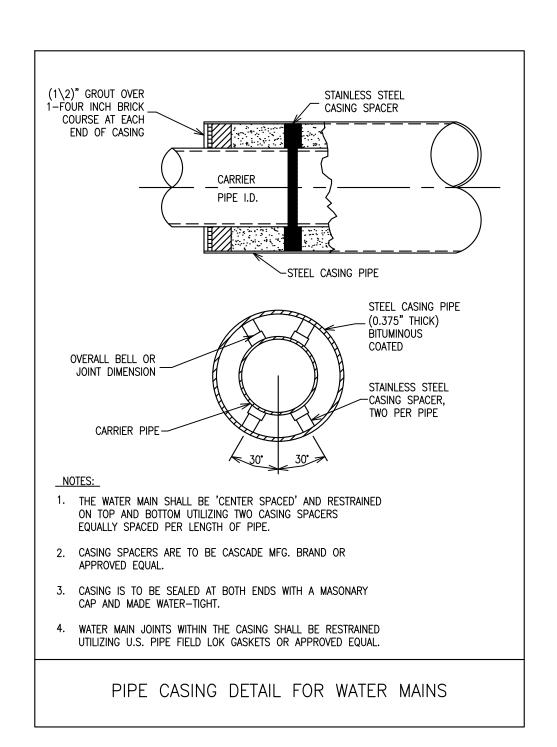


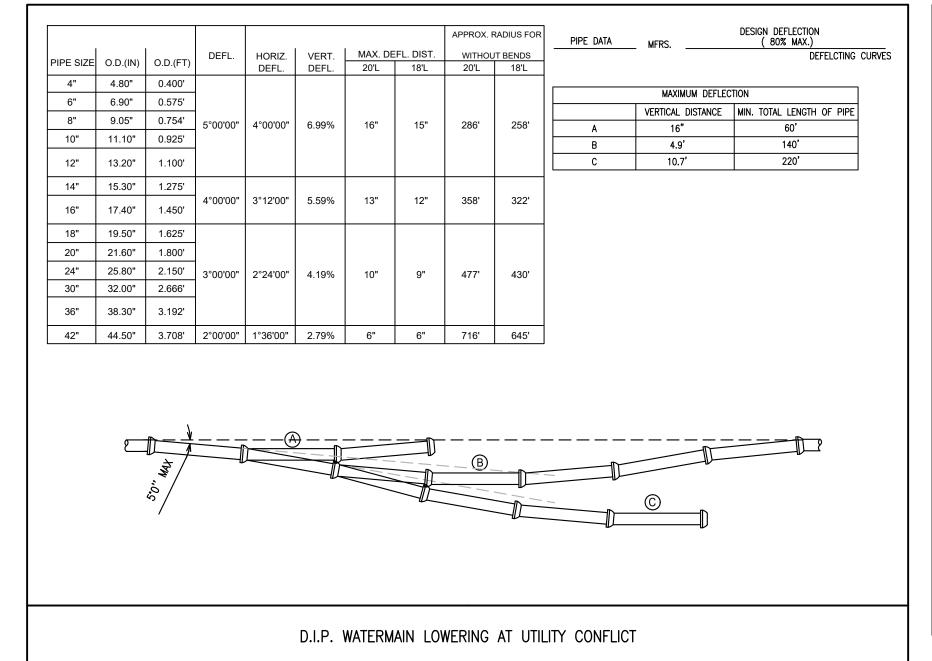


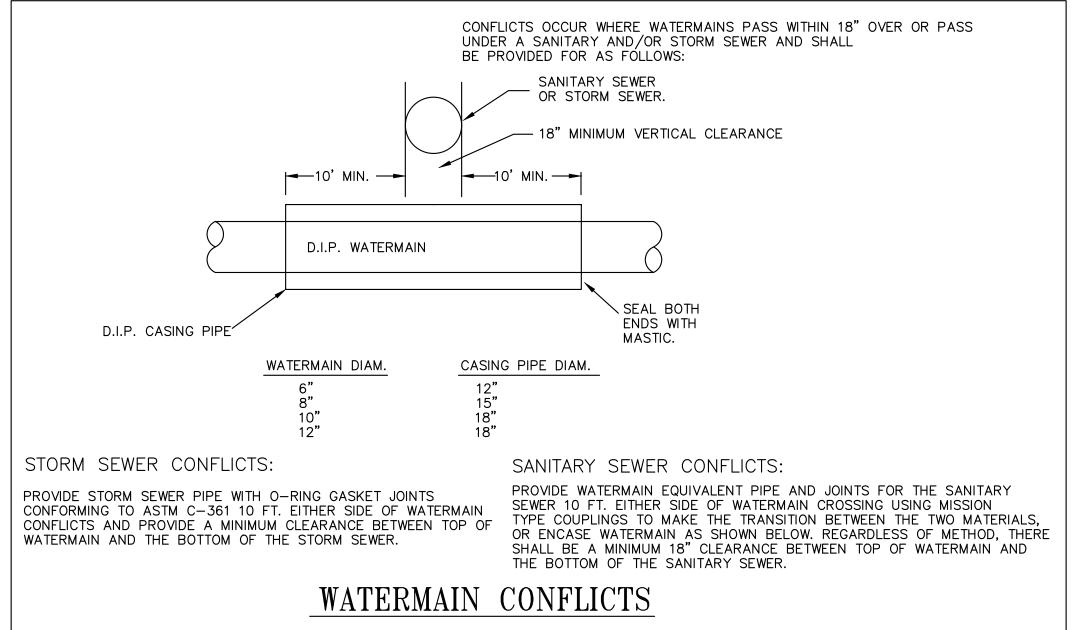
DETAILS
PINNACLE DRIVE EXTENSION
SOUTHCREEK BUSINESS CENTER
PALENCIA PROPERTIES LLC
ROMEOVILLE, ILLINOIS

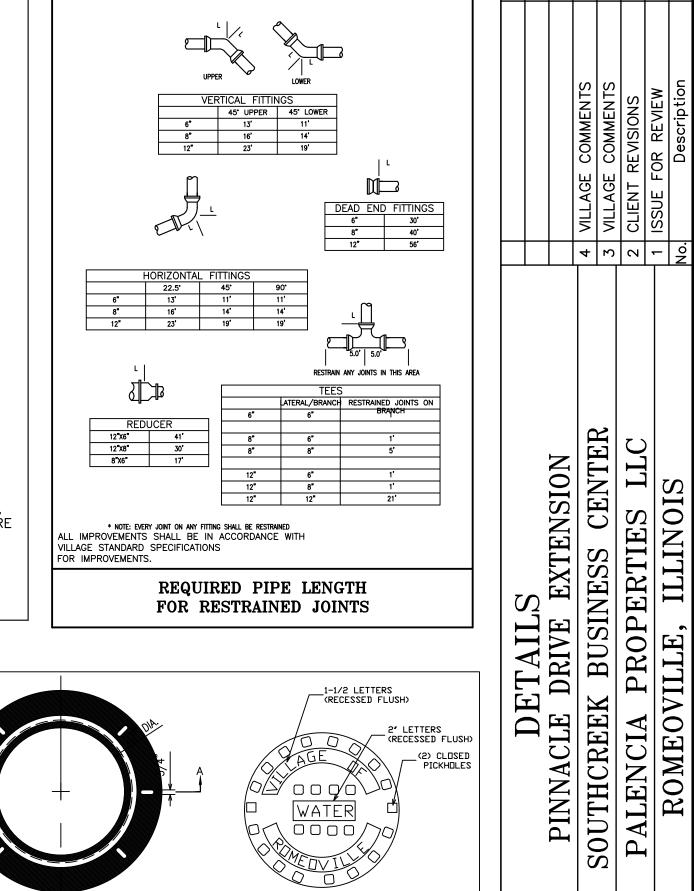
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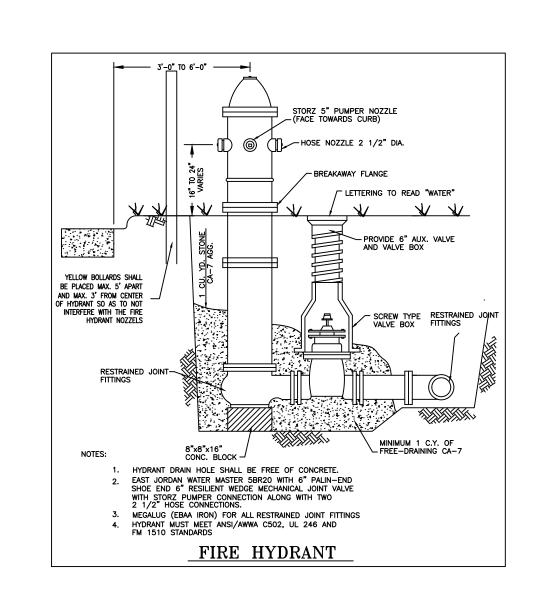
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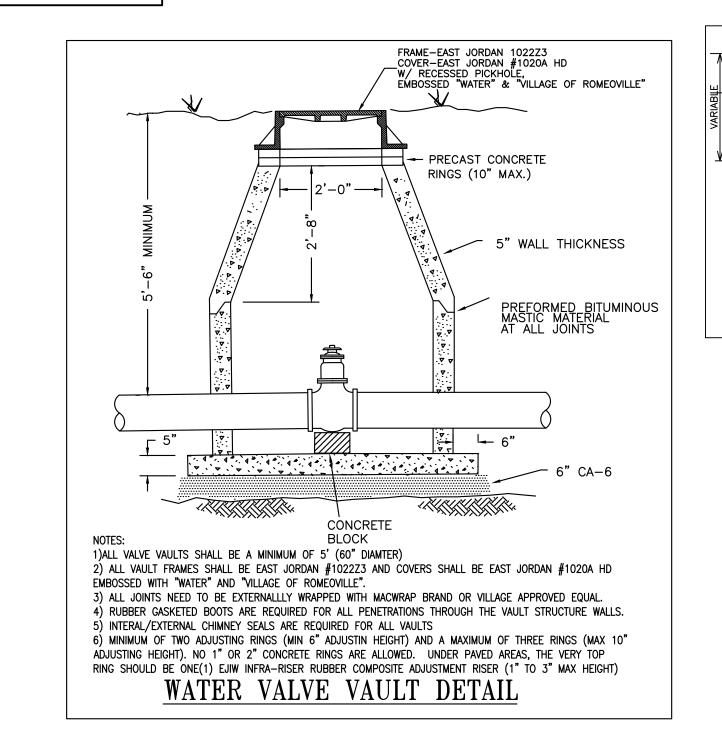


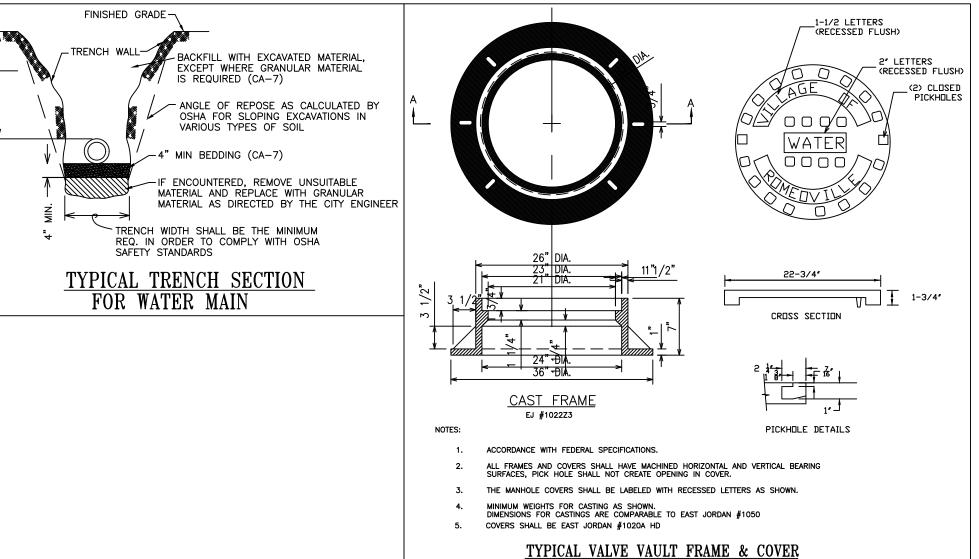
















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