

Pinnacle Drive Improvements Exhibit

# ROADWAY IMPROVEMENT PLANS

## FOR

# PINNACLE DRIVE EXTENSION

### SOUTHCREEK BUSINESS CENTER

### ROMEOVILLE, ILLINOIS

### PALENCIA PROPERTIES LLC

D190aj  
Pinnacle Drive  
2/16/23



#### LEGEND

PROPOSED (PR.)	DESCRIPTION	EXISTING (EX.)
	STORM SEWER	
	WATER MAIN WITH SIZE	
	SANITARY SEWER	
	RIGHT-OF-WAY	
	CONTOUR	
	SPOT GRADE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	GATE VALVE W/VAULT	
	STREET LIGHT	
	STREET LIGHT W/MAST	
	OVERFLOW DIRECTION	
	CURB & GUTTER	
	SILT FENCE	
	ROAD SIGN	
	HANDICAP DETECTABLE WARNING SURFACE	
	UNDER DRAIN	
	UTILITY POLE	
	DEPRESSED CURB FOR RAMP/DRIVEWAY	
	TOP OF FOUNDATION	
	EDGE OF PAVEMENT	
	TOP OF CURB, DEPRESSED	
	TOP/BOTTOM OF RETAINING WALL	
	RIM ELEVATION FOR STRUCTURES	
	CLEAN OUT FOR SANITARY SERVICE	
	HIGH/NORMAL WATER LEVEL	
	TRANSFORMER	
	FENCE LINE	
	GUARD RAIL	
	FORCE MAIN	
	UNDERGROUND TELEPHONE	
	UNDERGROUND ELECTRIC	
	OVERHEAD ELECTRIC	
	GAS LINE	
	COMBINATION SEWER	



LOCATION MAP  
NOT TO SCALE

REFERENCE BENCHMARKS:  
WILL COUNTY STATION 403  
3-D MARKER ON THE SOUTH SIDE OF ROMEO ROAD, 0.25 MILES WEST OF THE INTERSECTION OF ILLINOIS ROUTE 53 AND ROMEO ROAD.  
ELEVATION=628.26 (WILL COUNTY DATUM/NAVD88)

WILL COUNTY STATION 421  
3-D MARKER NEAR THE INTERSECTION OF RENWICK ROAD (ILLINOIS ROUTE 7) AND OLD RENWICK ROAD. (SEE DATA SHEET FOR MORE DETAILED DESCRIPTION).  
ELEVATION=647.34 (WILL COUNTY DATUM/NAVD88)

SITE BENCHMARKS:  
BM 1 (JHA CP92)  
CUT CROSS IN TOP OF CONCRETE CURB IN FRONT OF FIRE HYDRANT AT THE SOUTH ENTRANCE OF 148 S. PINNACLE DRIVE.  
ELEVATION=632.58 (NAVD88 DATUM)

BM 2 (JHA CP94)  
CUT CROSS IN TOP OF CONCRETE CURB ON THE EAST SIDE OF SOUTHCREEK DRIVE ACROSS FROM THE EASTERLY EXTENSION OF THE NORTHERLY BUILDING LINE OF CHICAGO TUBE AND IRON.  
ELEVATION=666.08 (NAVD88 DATUM)

EXISTING CONDITIONS OBTAINED FROM TOPOGRAPHIC SURVEY COMPLETED BY JACOB & HEFNER ASSOCIATES, DATED FEBRUARY 2022.

PERMITS		
DATE	PERMIT #	AGENCY
		VILLAGE OF ROMEOVILLE
		IEPA WATER
		IHPA
		IDNR
7/31/10	ILR10B593	IEPA - NPDES

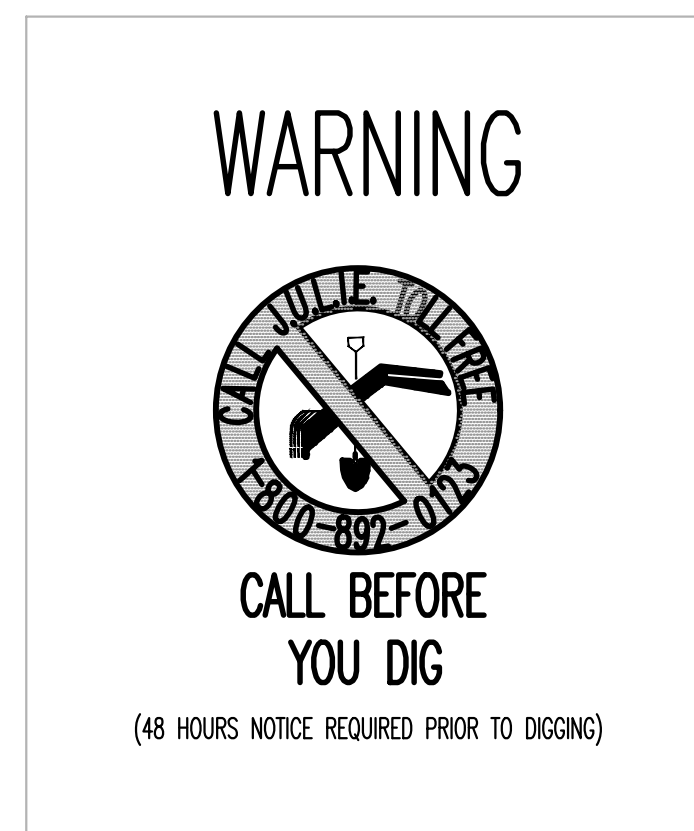
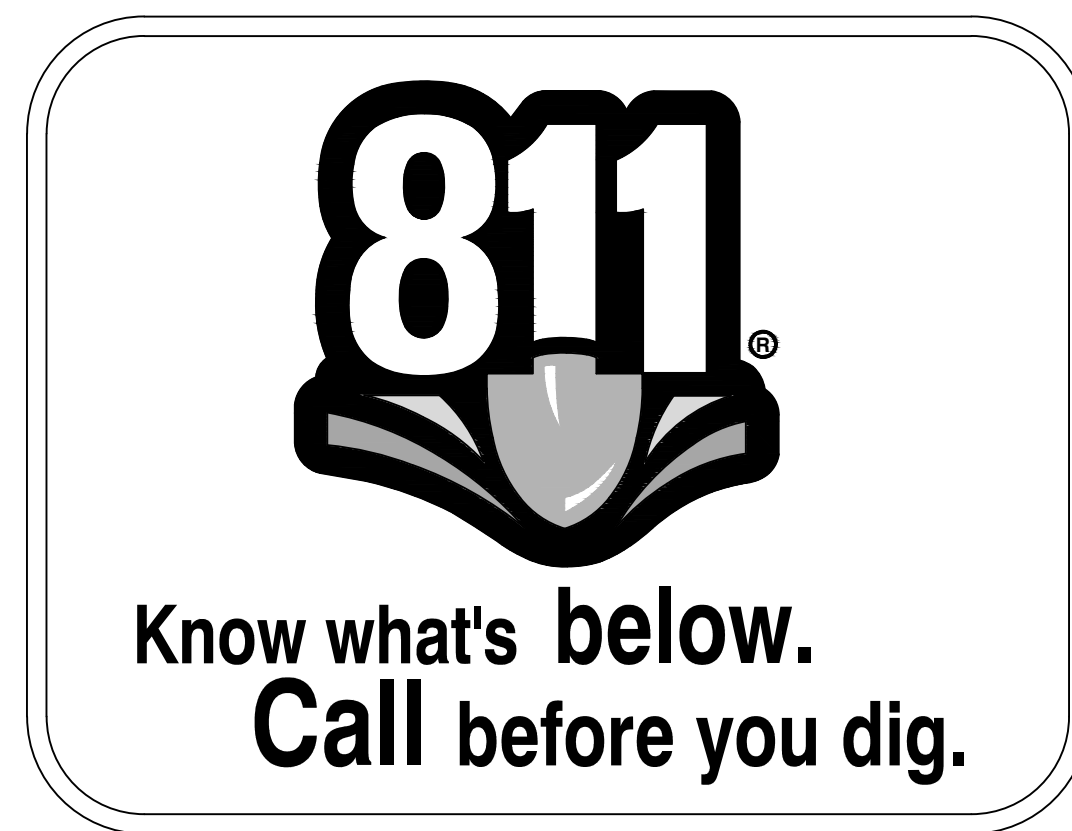
#### Sheet List Table

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C3	EXISTING CONDITIONS & DEMOLITION PLAN
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C6.0	PLAN & PROFILE STA. 6+00 TO STA. 15+50
C6.1	PLAN & PROFILE STA. 15+00 TO STA. 24+00
C7	EROSION CONTROL PLAN
C8.0	STORMWATER POLLUTION PREVENTION PLAN
C8.1	SWPPP DETAILS
C9	SPECIFICATIONS
C10.0	DETAILS - 1
C10.1	DETAILS - 2
C10.2	DETAILS - 3
C11.0-C11.11	PINNACLE DRIVE CROSS SECTIONS

DRAINAGE CERTIFICATE  
I, JASON SNYDER, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THIS DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

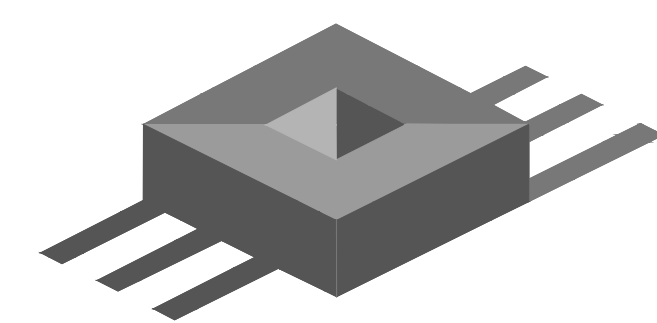
No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22

ENGINEER  
JASON J. SNYDER  
JSNYDER@JACOBANDHEFNER.COM  
ILLINOIS REGISTRATION NO. 062-055425  
EXPIRES 11/30/2023  
ENGINEER ONLY CERTIFIES SHEETS C1 - C11.11  
THESE PLANS, OR ANY PART THEREOF, SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND MARKED 'FOR CONSTRUCTION'.



Municipality: VILLAGE OF ROMEOVILLE  
County: WILL  
Township: T36N  
Range: R10E  
Section: S8

UTILITY STATEMENT  
I, J. J. SNYDER, DIG NUMBERS: X2590666, X2590685, X2590738, X2590746, X2590783, X2590809  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM THE FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



JACOB & HEFNER ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
PHONE: (630) 652-4600, FAX: (630) 652-4601  
www.jacobandhefner.com

FOR REVIEW PURPOSES ONLY

**GENERAL NOTES**

- ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREOF AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE.
- ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
- STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
- EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE SUBCONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
- NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION EACH SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE SUBCONTRACTOR MUST VERIFY THE SURVEYOR'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE SUBCONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE SUBCONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE SUBCONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- NOTIFICATION OF COMMENCING CONSTRUCTION
  - THE GENERAL CONTRACTOR SHALL NOTIFY THE VILLAGE OF ROMEOVILLE/PUBLIC WORKS DEPARTMENT (815)0886-1870 IN WRITING AT LEAST THREE (3) FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - EACH SUBCONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE SUBCONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER VILLAGE'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
  - FAILURE OF SUBCONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE NOTIFIED FOR SITEWORK PERFORMANCE TESTING AND/OR SUBCONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY SUBCONTRACTOR.
- EACH SUBCONTRACTOR SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
- ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
- EACH SUBCONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE SUBCONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE PROJECT'S SURVEYOR AT SUBCONTRACTOR'S COST.
- ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER SUBCONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE SUBCONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE VILLAGE AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
- ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED FOR REMOVAL SHALL BE REMOVED AND RESET BY THE SUBCONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE SUBCONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE SUBCONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT.
- ALL WORK PERFORMED SHALL BE GUARANTEED BY THE SUBCONTRACTOR FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
- BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE SUBCONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
- EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO KNOWN AVAILABLE RECORDS. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, JACOB AND HEFNER ASSOCIATES, INC. IS RESPONSIBLE TO RESOLVE THE CONFLICT. JACOB AND HEFNER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
- OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE SUBCONTRACTORS, HOWEVER, SHALL FURNISH EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
- EACH SUBCONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
- EACH SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB RELATING TO THEIR SCOPE OF WORK IN ACCORDANCE WITH OSHA REGULATIONS.
- EACH SUBCONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, INCLUDING THE REMOVAL OF STAKES, LATHE, ETC. SET BY SURVEYORS FOR CONSTRUCTION PURPOSES. EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS PROHIBITED.
- IT SHALL BE EACH SUBCONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC AND PEDESTRIANS WITHIN THE AREA OF THEIR CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH THE REGULATIONS OF THE MUNICIPALITY OR D.O.T.
- NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

- ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
- AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
- LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
- ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE SUBSUBCONTRACTOR AT HIS OWN EXPENSE.
- ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE SUBCONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
- SUBCONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND BEDDING MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-7.
- WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. DRAINAGE STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE SUBCONTRACTOR AT HIS OWN EXPENSE.
- HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR FLUSHING OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE SUBCONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
- AS THE STORM SEWER SYSTEM IS CONSTRUCTED THE SUBCONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND SHALL BE MAINTAINED BY THE SUBSUBCONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
- CONTRACTOR SHALL PROVIDE ONE MYLAR AND REQUIRED COPIES OF "RECORD DRAWINGS" TO THE VILLAGE AND OWNER PRIOR TO ANY REQUEST FOR FINAL INSPECTION. SAID PLANS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDE VERIFICATION OF ALL BUILDING PADS, TOP OF FOUNDATION, INVERT, RIM, AND SPOT GRADE ELEVATIONS, LOCATION OF ALL WATER SERVICE B-BOXES, SANITARY SERVICES, AND STORM SERVICES AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE VILLAGE AND SIGNED BY A PROFESSIONAL LAND SURVEYOR.
- AN ON-SITE GEOTECHNICAL ENGINEER WILL BE RETAINED TO MONITOR EARTHWORK AND GRADING ACTIVITY, IN ORDER TO IDENTIFY UNSUITABLE SOILS FOR REMOVAL FROM THE SITE.
- SOILS REPORT PREPARED BY TESTING SERVICE CORPORATION - 510K OFFICE/WAREHOUSE FACILITY - SOUTHCREEK PARCEL - DATED SEPTEMBER 24, 2021
- PINNACLE DRIVE EXTENSION SHALL NOT BE OPEN TO TRAFFIC UNTIL AFTER THE FINAL PAVEMENT SURFACE COURSE IS PLACED, INSPECTED AND APPROVED BY THE VILLAGE OF ROMEOVILLE- INCLUDING ALL PAVEMENT MARKINGS AND STREET LIGHTING.

**CONTACTS**

**VILLAGE OF ROMEOVILLE CONTACT:**  
MR. JONATHAN ZABROCKI, P.E.  
C/O VILLAGE OF ROMEOVILLE  
1050 WEST ROMEO ROAD  
ROMEOVILLE, IL 60446  
PH: (815) 886-1870

**CONTRACTOR:**  
HOWARD GREEN  
MERIDIAN DESIGN BUILD  
9550 W HIGGINS ROAD, SUITE 400  
ROSEMONT, ILLINOIS 60018  
PH: 847-374-9200

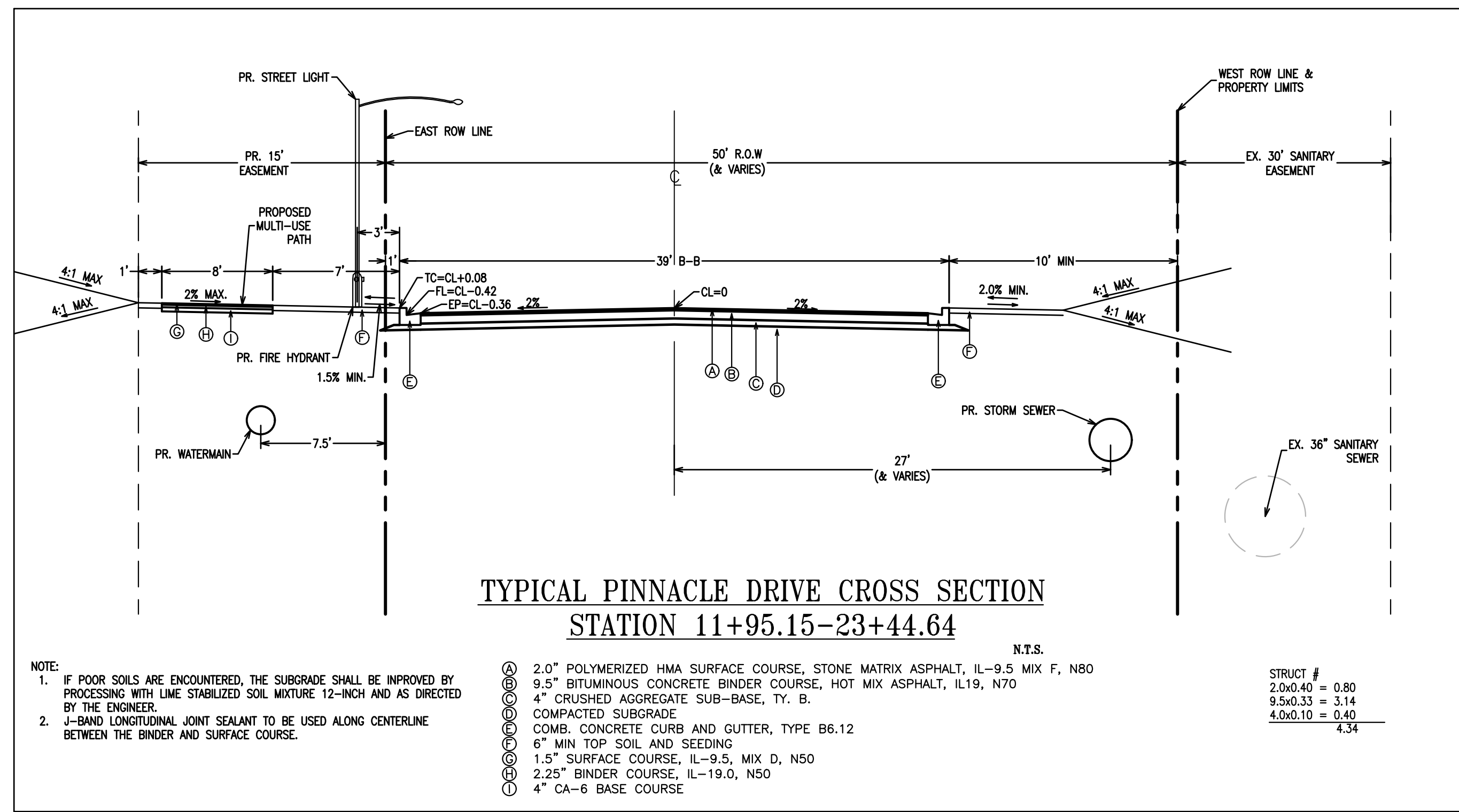
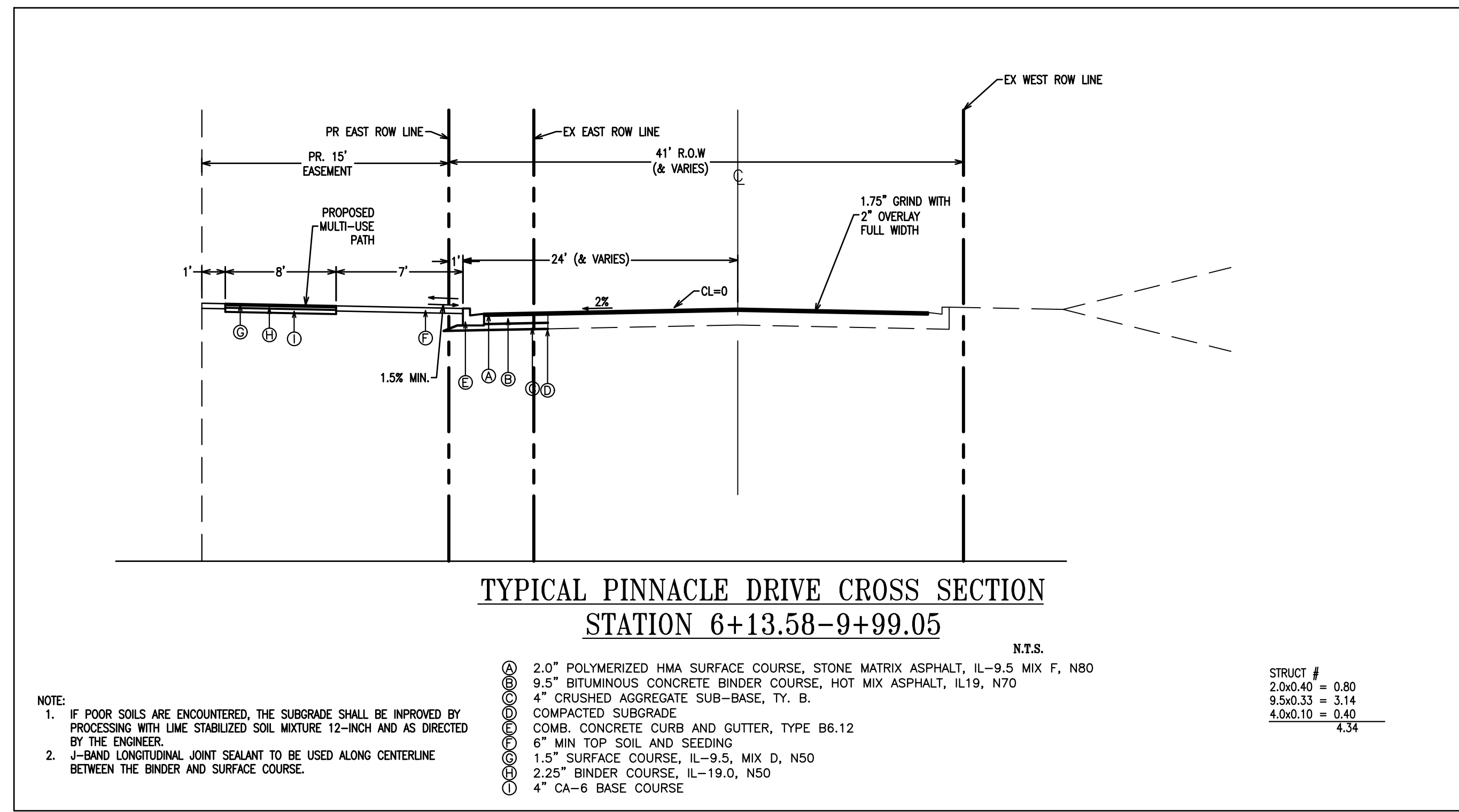
**ENGINEER:**  
JASON SNYDER, P.E.  
JACOB & HEFNER ASSOCIATES  
5030 38TH AVENUE  
MOLINE, ILLINOIS 61265  
PH: (309) 757-1900

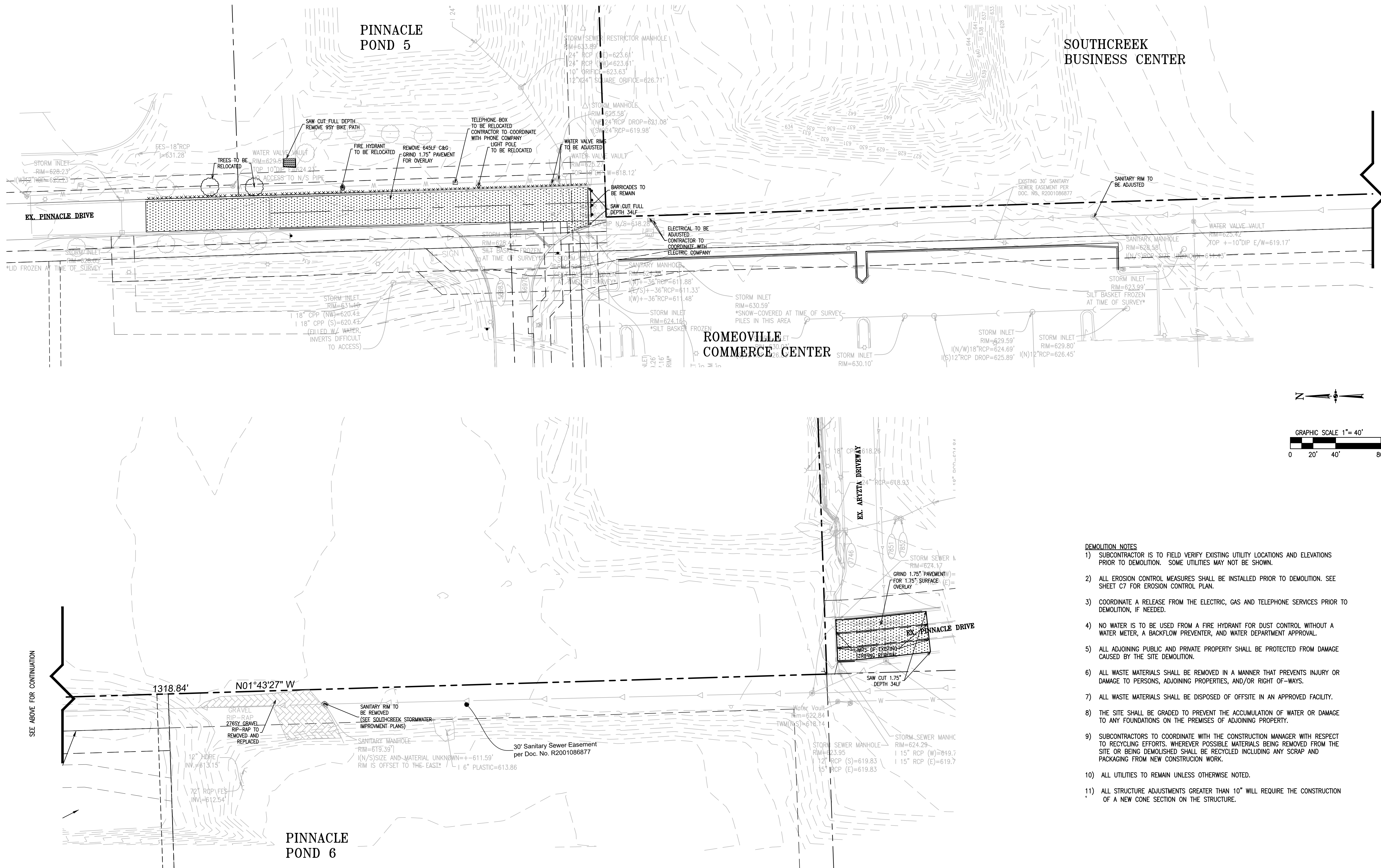
**OWNER/DEVELOPER:**  
ARNOLD KOZYS  
PALENCIA PROPERTIES, LLC  
2202 W, 166TH STREET  
MARKHAM, ILLINOIS 60428  
PH: 708-968-3535

**GENERAL NOTES & TYPICAL SECTIONS**  
PINNACLE DRIVE EXTENSION  
SOUTHCREEK BUSINESS CENTER  
PALENCIA PROPERTIES LLC  
ROMEOVILLE, ILLINOIS

**JACOB & HEFNER ASSOCIATES**  
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
PHONE: (630) 652-4600; FAX: (630) 652-4601  
www.jacobandhefner.com

**D190aj**  
**N.T.S.**  
**C2**





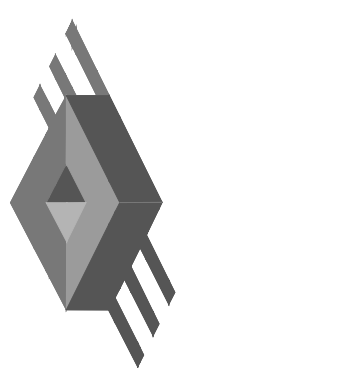
- DEMOLITION NOTES**
- 1) SUBCONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
  - 2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SEE SHEET C7 FOR EROSION CONTROL PLAN.
  - 3) COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION, IF NEEDED.
  - 4) NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
  - 5) ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
  - 6) ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT OF-WAYS.
  - 7) ALL WASTE MATERIALS SHALL BE DISPOSED OF OFFSITE IN AN APPROVED FACILITY.
  - 8) THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.
  - 9) SUBCONTRACTORS TO COORDINATE WITH THE CONSTRUCTION MANAGER WITH RESPECT TO RECYCLING EFFORTS. WHEREVER POSSIBLE MATERIALS BEING REMOVED FROM THE SITE OR BEING DEMOLISHED SHALL BE RECYCLED INCLUDING ANY SCRAP AND PACKAGING FROM NEW CONSTRUCTION WORK.
  - 10) ALL UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
  - 11) ALL STRUCTURE ADJUSTMENTS GREATER THAN 10" WILL REQUIRE THE CONSTRUCTION OF A NEW CONE SECTION ON THE STRUCTURE.

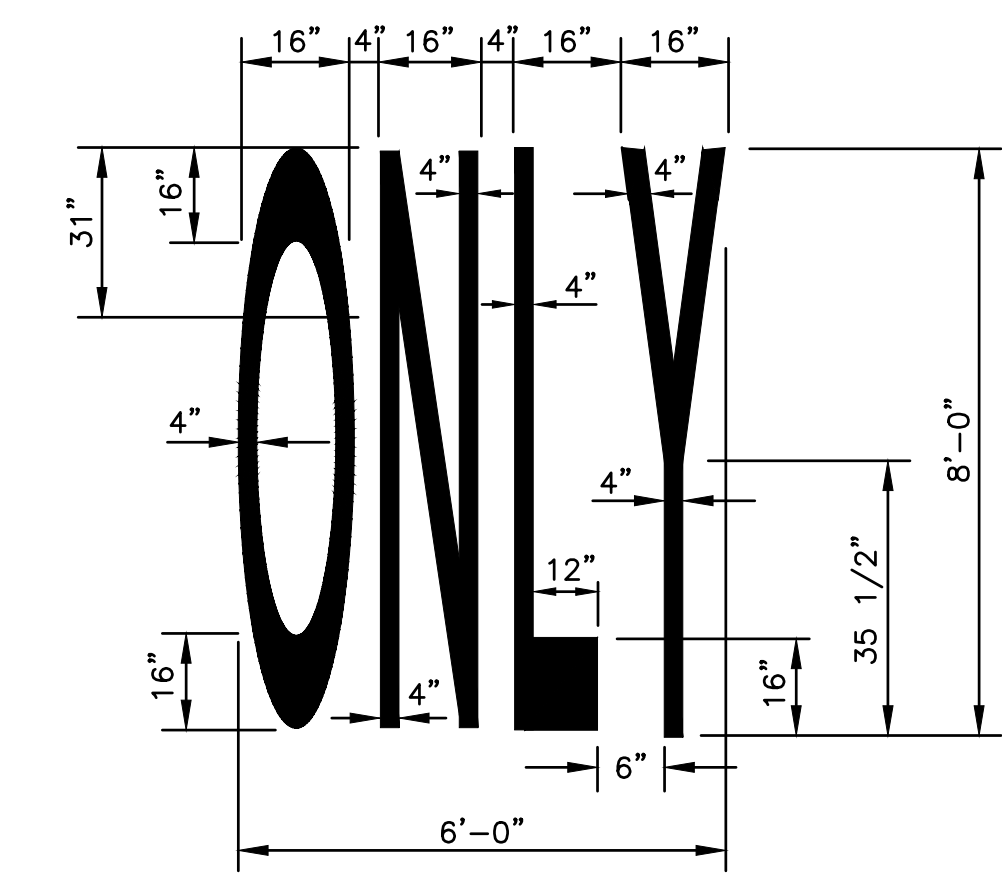
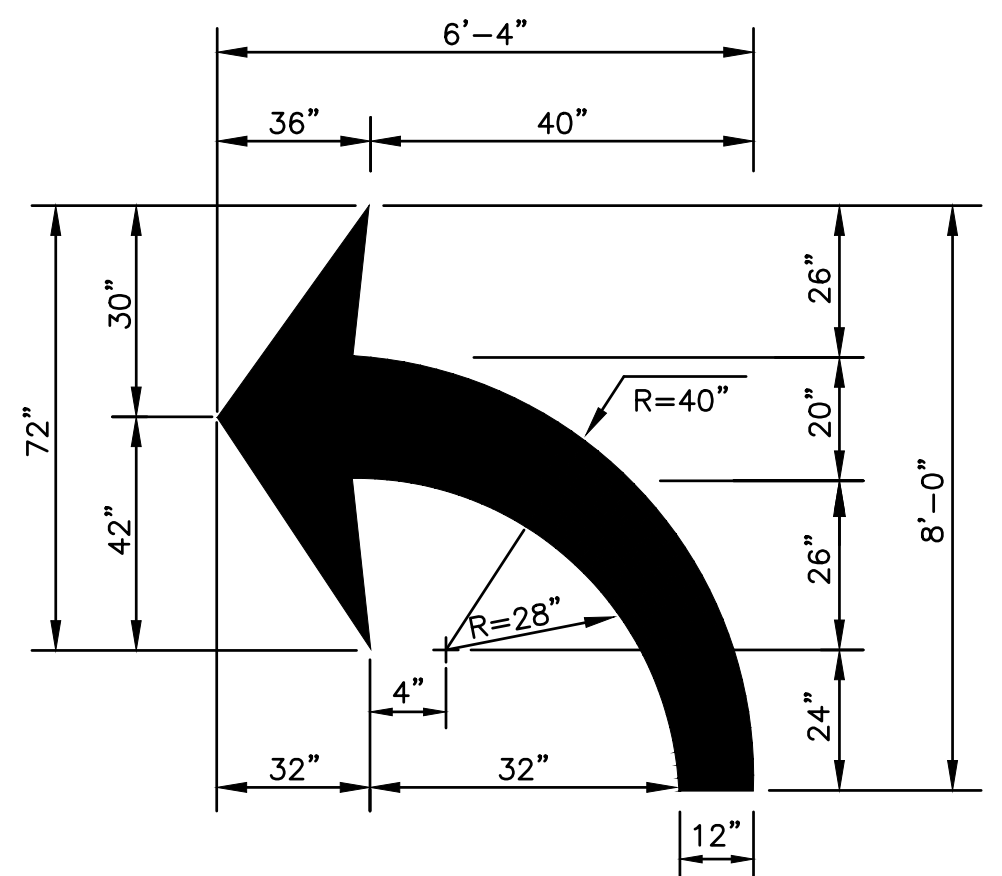
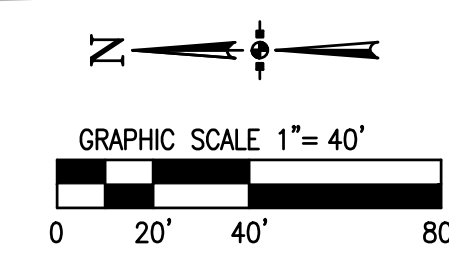
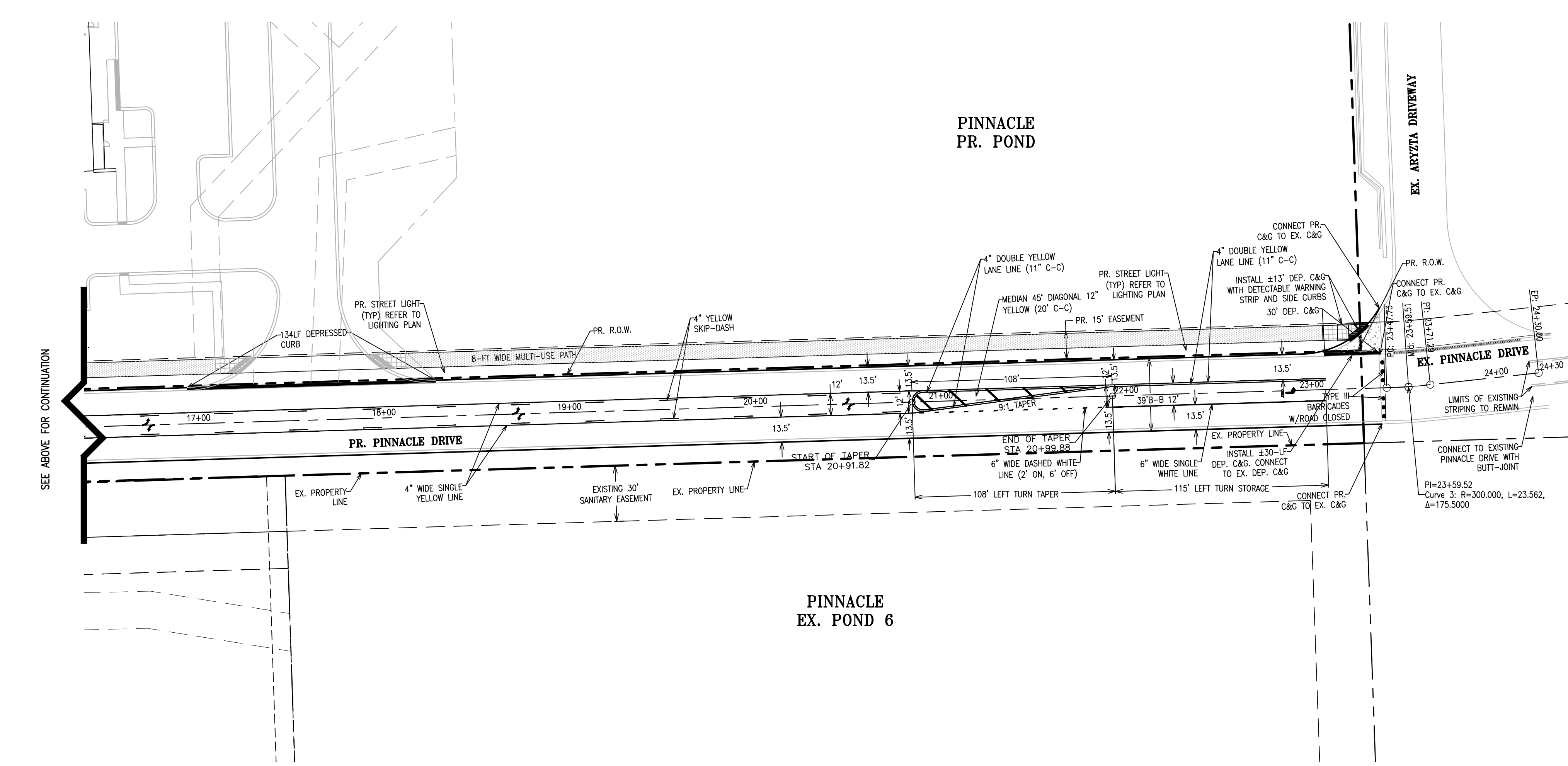
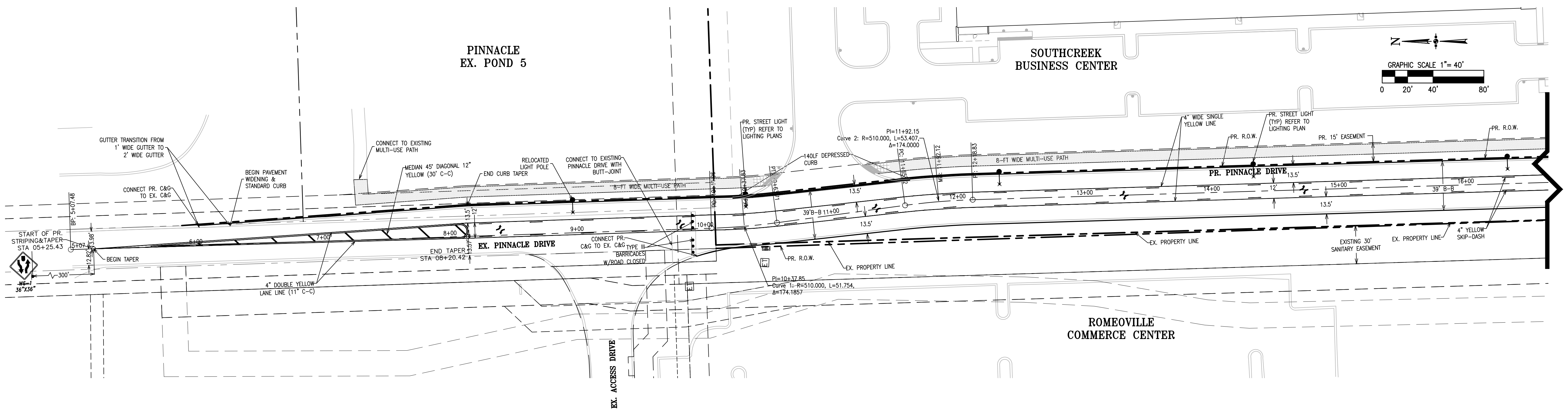
SEE BELOW FOR CONTINUATION

SEE ABOVE FOR CONTINUATION

EXISTING CONDITIONS & DEMOLITION PLAN		2/16/23	
PINNACLE DRIVE EXTENSION		9/22/22	
SOUTHCREEK BUSINESS CENTER		6/8/22	
PALENCIA PROPERTIES LLC		5/27/22	
ROMEEOVILLE, ILLINOIS		Date	
No.	Description	No.	Description
4	VILLAGE COMMENTS	2	VILLAGE COMMENTS
3	VILLAGE COMMENTS	1	ISSUE FOR REVIEW
2	CLIENT REVISIONS		
1	ISSUE FOR REVIEW		

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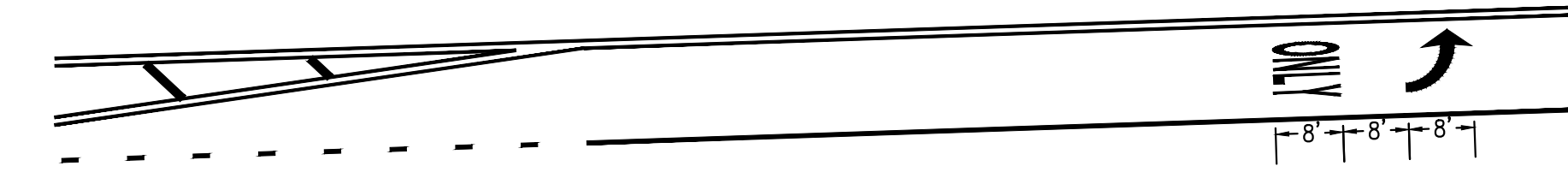




TURN LANE MARKING DETAIL

- NOTES:
1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PAVEMENT MARKINGS CONFORMING TO IDOT STANDARDS.
  2. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  3. THREE(3) DRILLED AND GROUTED NO. 5 REINFORCING BARS OR EXPANSION ANCHORS,  $\frac{3}{8}$ " IN DIAMETER, SHALL BE USED TO TIE THE NEW CURB AND GUTTER TO THE EXISTING CURB AND GUTTER.
  4. REFER TO SHEET C2 FOR PINNACLE DRIVE TYPICAL CROSS SECTION.
  5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER IDOT STANDARDS.
  6. A 2' CURB & GUTTER SHALL BE CONSTRUCTED AT THE NORTH END TO CREATE A MINIMUM PAVEMENT WIDENING OF 1'-FT.
  7. TYPE III BARRICADES WITH ROAD CLOSED SIGNS SHALL BE IN PLACE AT BOTH ENDS OF THE EXTENSION UNTIL FINAL SURFACE COURSE AND PAVEMENT MARKINGS HAVE BEEN PLACED AND APPROVED BY THE VILLAGE.

- MULTI-USE RECREATIONAL TRAIL PAVEMENT**  
1.5" SURFACE COURSE, IL-9.5, MIX "D", N50  
2.25" BINDER COURSE, IL19.0, N50  
4" CA-6 BASE COURSE
- HANDICAP RAMP CONCRETE**  
6" CONCRETE (4,000 PSI UNREINFORCED)  
4" CA-6 BASE COURSE  
BROOM FINISH

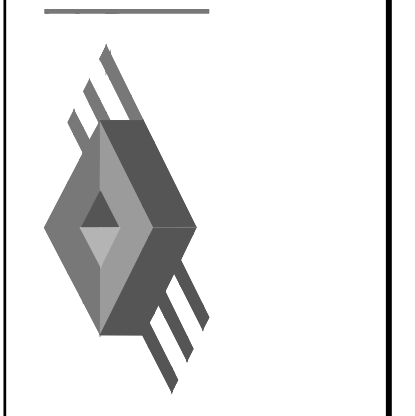


LEFT TURN LANE DETAIL

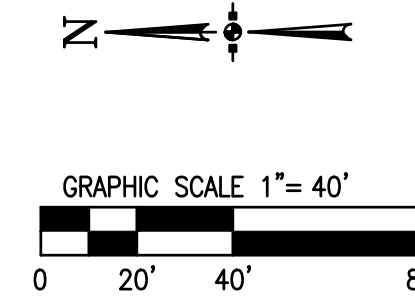
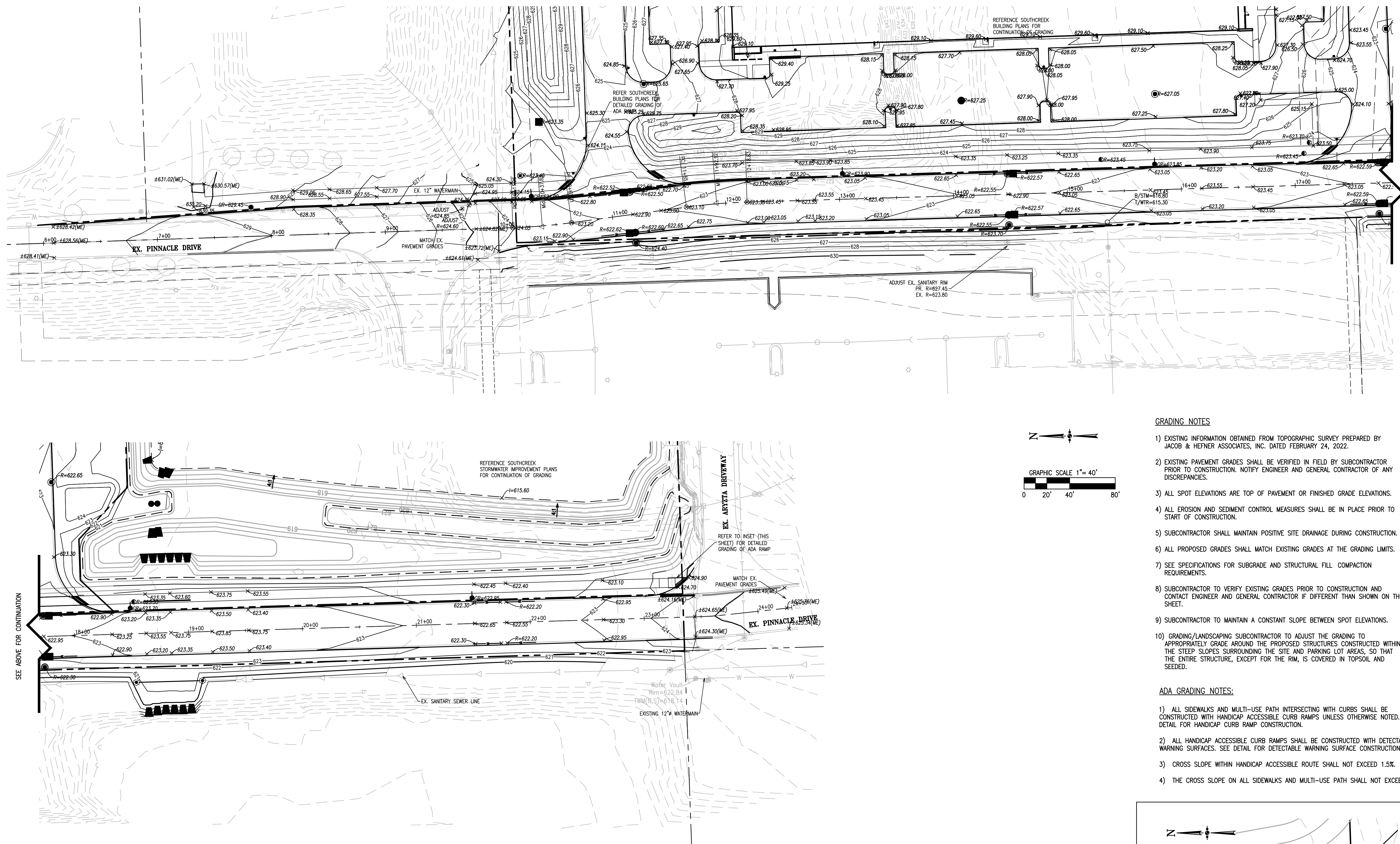
REFER TO SHEET C11 FOR ADDITIONAL PAVEMENT MARKING DETAILS

No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
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D190aj
1"=40'
C4

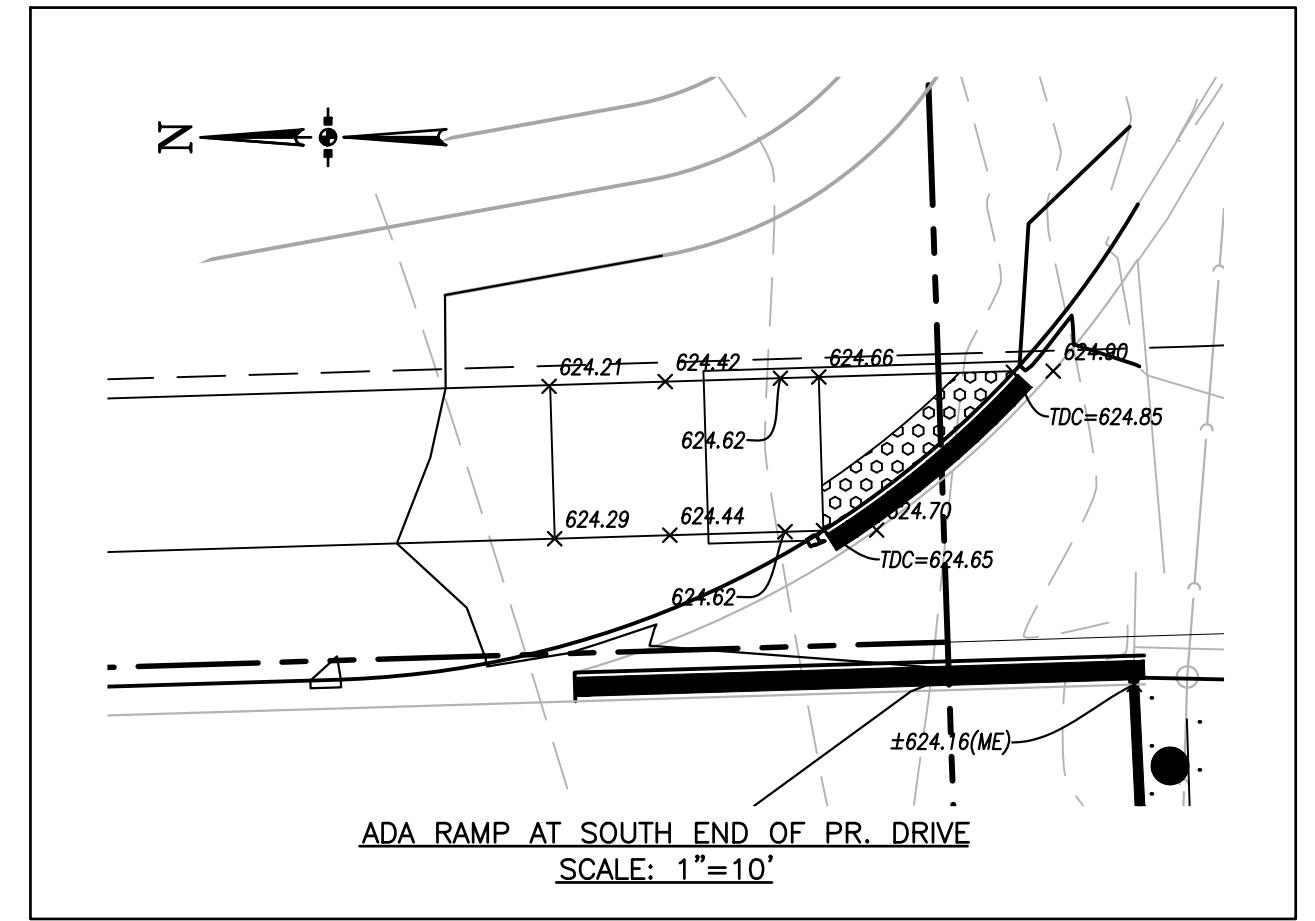


**GRADING NOTES**

- 1) EXISTING INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY JACOB & HEFNER ASSOCIATES, INC. DATED FEBRUARY 24, 2022.
- 2) EXISTING PAVEMENT GRADES SHALL BE VERIFIED IN FIELD BY SUBCONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY ENGINEER AND GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- 3) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 4) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 5) SUBCONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 6) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE GRADING LIMITS.
- 7) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 8) SUBCONTRACTOR TO VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND CONTACT ENGINEER AND GENERAL CONTRACTOR IF DIFFERENT THAN SHOWN ON THIS SHEET.
- 9) SUBCONTRACTOR TO MAINTAIN A CONSTANT SLOPE BETWEEN SPOT ELEVATIONS.
- 10) GRADING/LANDSCAPING SUBCONTRACTOR TO ADJUST THE GRADING TO APPROPRIATELY GRADE AROUND THE PROPOSED STRUCTURES CONSTRUCTED WITHIN THE STEEP SLOPES SURROUNDING THE SITE AND PARKING LOT AREAS, SO THAT THE ENTIRE STRUCTURE, EXCEPT FOR THE RIM, IS COVERED IN TOPSOIL AND SEEDED.

**ADA GRADING NOTES:**

- 1) ALL SIDEWALKS AND MULTI-USE PATH INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMP UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
- 2) ALL HANDICAP ACCESSIBLE CURB RAMP SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%.
- 4) THE CROSS SLOPE ON ALL SIDEWALKS AND MULTI-USE PATH SHALL NOT EXCEED 1.5%.

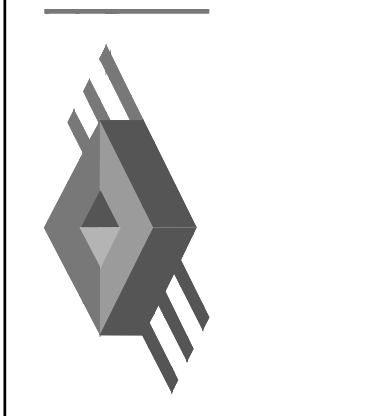


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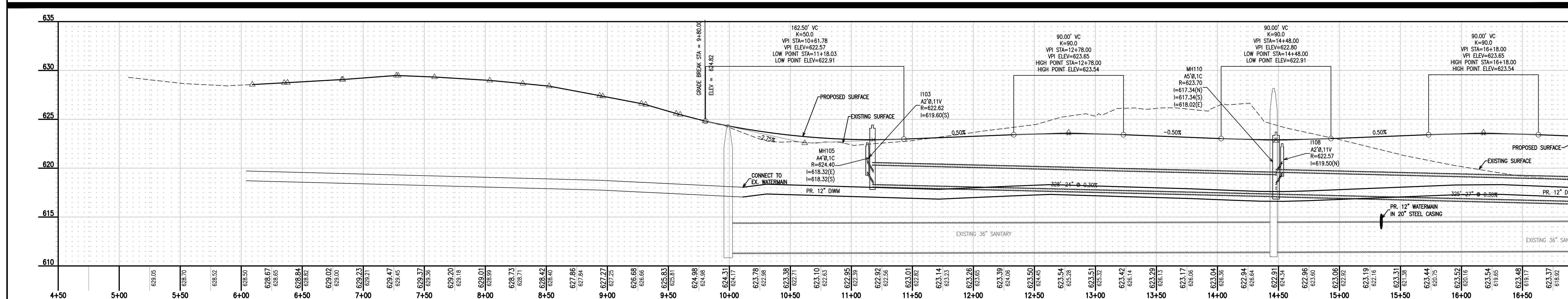
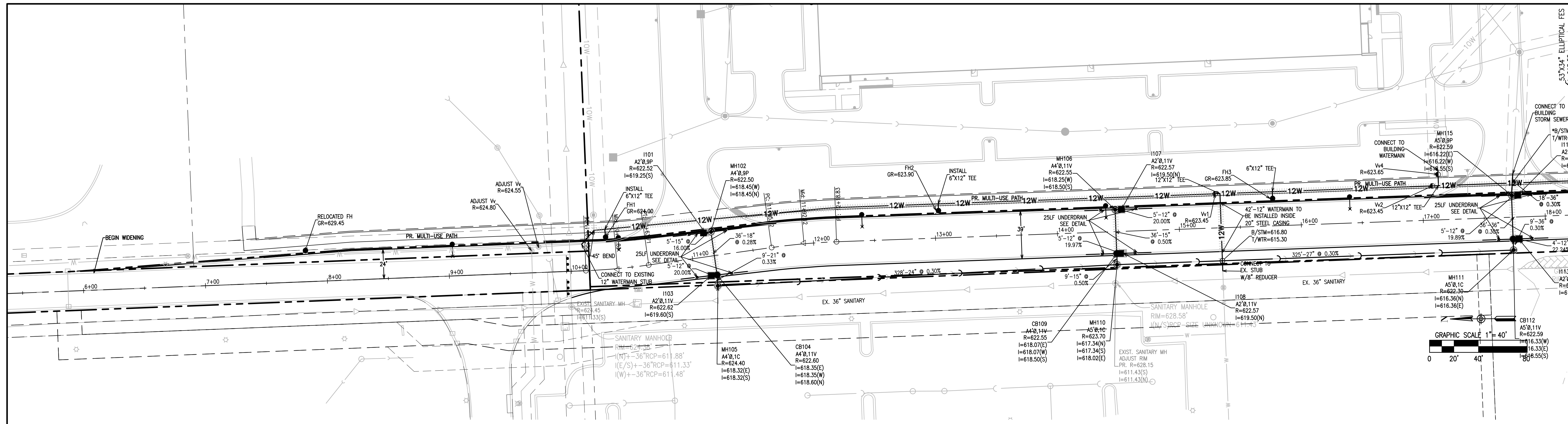
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**GRADING PLAN**  
**PINNACLE DRIVE EXTENSION**  
**SOUTHCREEK BUSINESS CENTER**  
**PALENCIA PROPERTIES LLC**  
**ROMEIOVILLE, ILLINOIS**

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D190aj  
 1"=40'  
 C5



**GENERAL UTILITY NOTES**

- EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE SUBCONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
- SUBCONTRACTOR TO TERMINATE PROPOSED UTILITIES 5'-FT OUTSIDE BUILDING UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.
- ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
- ALL EXISTING UTILITY RIMS, GRADES RINGS, PEDESTALS, ETC. SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
- SELECTED GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS.

TRENCH BACKFILL DENOTED BY: [Symbol]

6) ALL STRUCTURE ADJUSTMENTS GREATER THAN 10" WILL REQUIRE THE CONSTRUCTION OF A NEW CONE SECTION ON THE STRUCTURE.

**WATER MAIN NOTES**

- WATERMAIN STRUCTURE SYMBOL LEGEND:  
 W=VALVE VAULT  
 VB=VALVE BOX  
 FH=HYDRANT ASSEMBLY  
 PC=PRESSURE CONNECTION
- ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON PLANS.
  - ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON PLANS.
  - BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD

SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.

- MAINTAIN A MINIMUM OF 5.5'-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.
- ALL PROPOSED WATER MAIN INSTALLED SHALL BE RESTRAINED USING MEGALUGS (EBAA IRON).
- ANY HYDRANTS THAT HAVE BEEN FIELD PAINTED MUST BE SAND BLASTED AND REPAINTED.

**STORM SEWER NOTES**

- STORM STRUCTURE SYMBOL LEGEND:  
 I=INLET  
 CB=CATCH BASIN  
 M=MANHOLE  
 E=FLARED END SECTION WITH GRATE
- ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND SHALL MEET THE REQUIREMENTS IN THE ILLINOIS

FRAME AND GRATE/LID SYMBOL LEGEND:

- 1C: IDOT TYPE 1 (CLOSED), E.I.W. 102223, EMBOSSED WITH "STORM" & "VILLAGE OF ROMEOVILLE"
- 1P: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE D GRATE), E.I.W. 105021 (TYPE M3 GRATE)  
 1PP: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE G GRATE), E.I.W. 105021 (TYPE M1 GRATE)  
 9P: IDOT TYPE 9 (OPEN), NEENAH R3508 (VANE GRATE)  
 11V: IDOT TYPE 11V W/CURB BOX OR NEENAH R3281-AW, E.I.W. 7210 (VANE GRATES)  
 3P: IDOT TYPE 3, NEENAH R3508-A2, NEENAH 4349-B
- EXAMPLE:  
 M36  
 A4D,1P  
 MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)
- ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND SHALL MEET THE REQUIREMENTS IN THE ILLINOIS

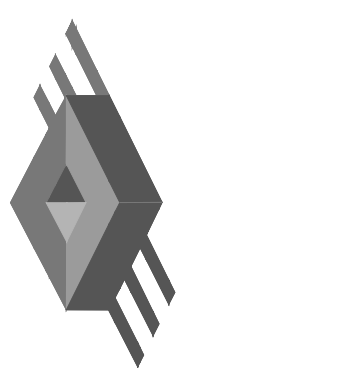
DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

- ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE.
  - ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE.
- \* DENOTES WATERMAIN CROSSING UNDER SEWER - WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C13.
- \*\* SANITARY OR STORM SEWER CROSSING UNDER WATERMAIN - WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C13

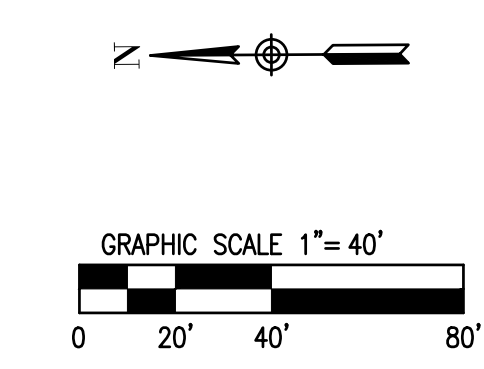
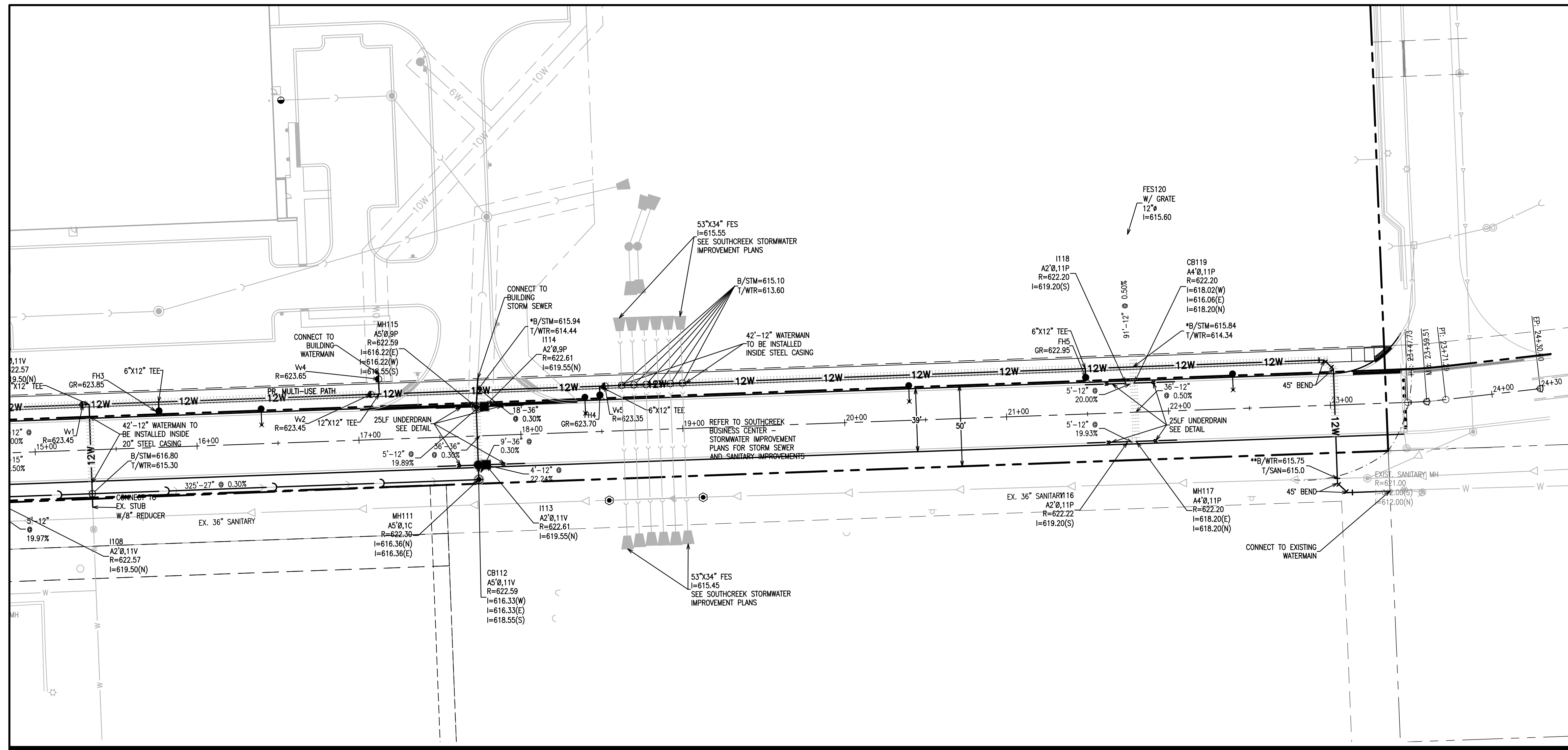
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D190aj  
 H:1" = 40'  
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**TRENCH BACKFILL DENOTED BY:**



**WATER MAIN NOTES**

**WATERMAIN STRUCTURE SYMBOL LEGEND:**

- V=VALVE/VAULT
- VB=VALVE BOX
- FI=FIRE HYDRANT ASSEMBLY
- PC=PRESSURE CONNECTION

- ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON PLANS.
- ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON PLANS.
- BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
- MAINTAIN A MINIMUM OF 5.5'-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.
- ALL PROPOSED WATER MAIN INSTALLED SHALL BE RESTRAINED USING MEGALUGS (EBAA IRON).
- ANY HYDRANTS THAT HAVE BEEN FIELD PAINTED MUST BE SAND BLASTED AND REPAINTED.

**STORM SEWER NOTES**

**STORM STRUCTURE SYMBOL LEGEND:**

- I=INLET
- CB=CATCH BASIN
- M=MANHOLE
- E=FLARED END SECTION WITH GRATE

**FRAME AND GRATE/LID SYMBOL LEGEND:**

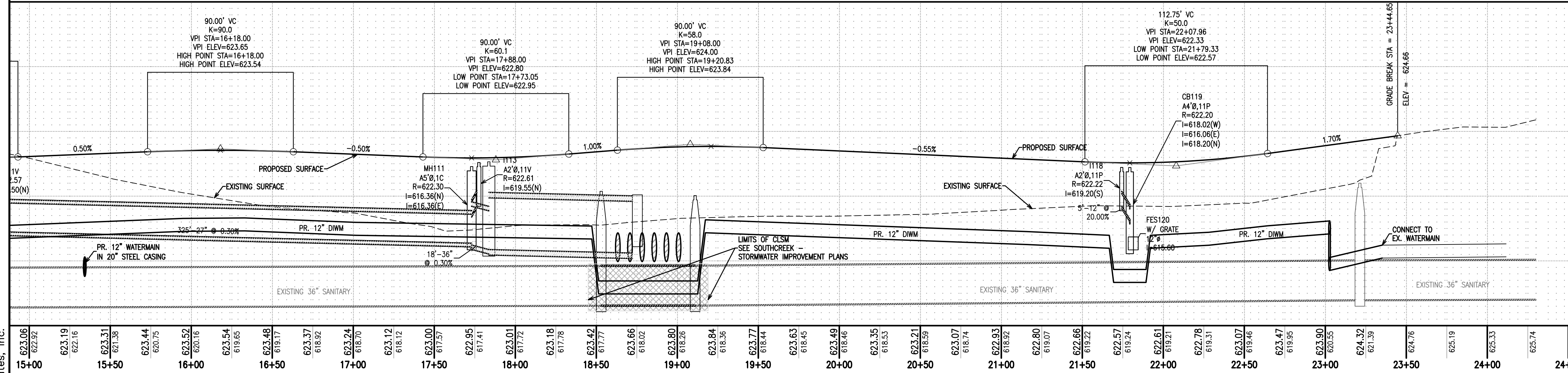
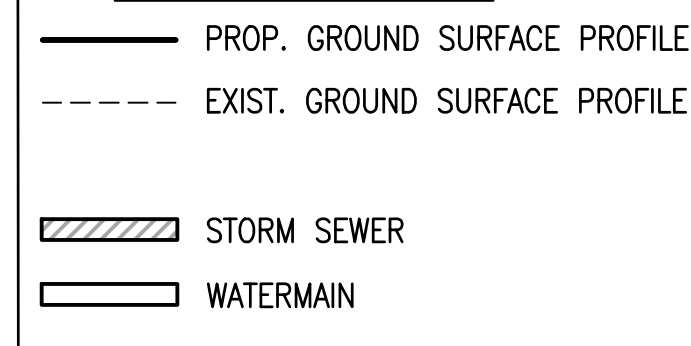
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- 1P: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE D GRATE), EJIW 1050Z1 (TYPE M3 GRATE)
- 1PP: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE G GRATE), EJIW 1050Z1 (TYPE M1 GRATE)
- 9P: IDOT TYPE 9 (OPEN), NEENAH R3508 (VANE GRATE)
- 11V: IDOT TYPE 11V W/CURB BOX OR NEENAH R3281-AW, EJIW 7210 (VANE GRATES)

**EXAMPLE:**

- M36
  - A40.1P
  - MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)
- ALL PRIVATE STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND SHALL MEET THE REQUIREMENTS IN THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE.

\* DENOTES WATERMAIN CROSSING UNDER SEWER - WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C13.  
 \*\* SANITARY OR STORM SEWER CROSSING UNDER WATERMAIN - WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C13

**PROFILE LEGEND**

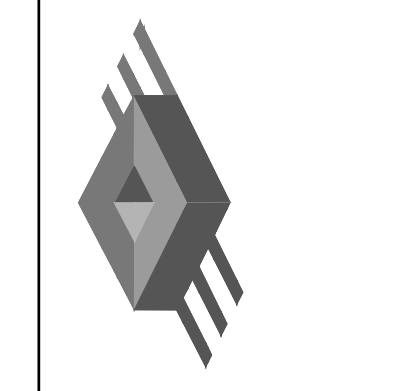


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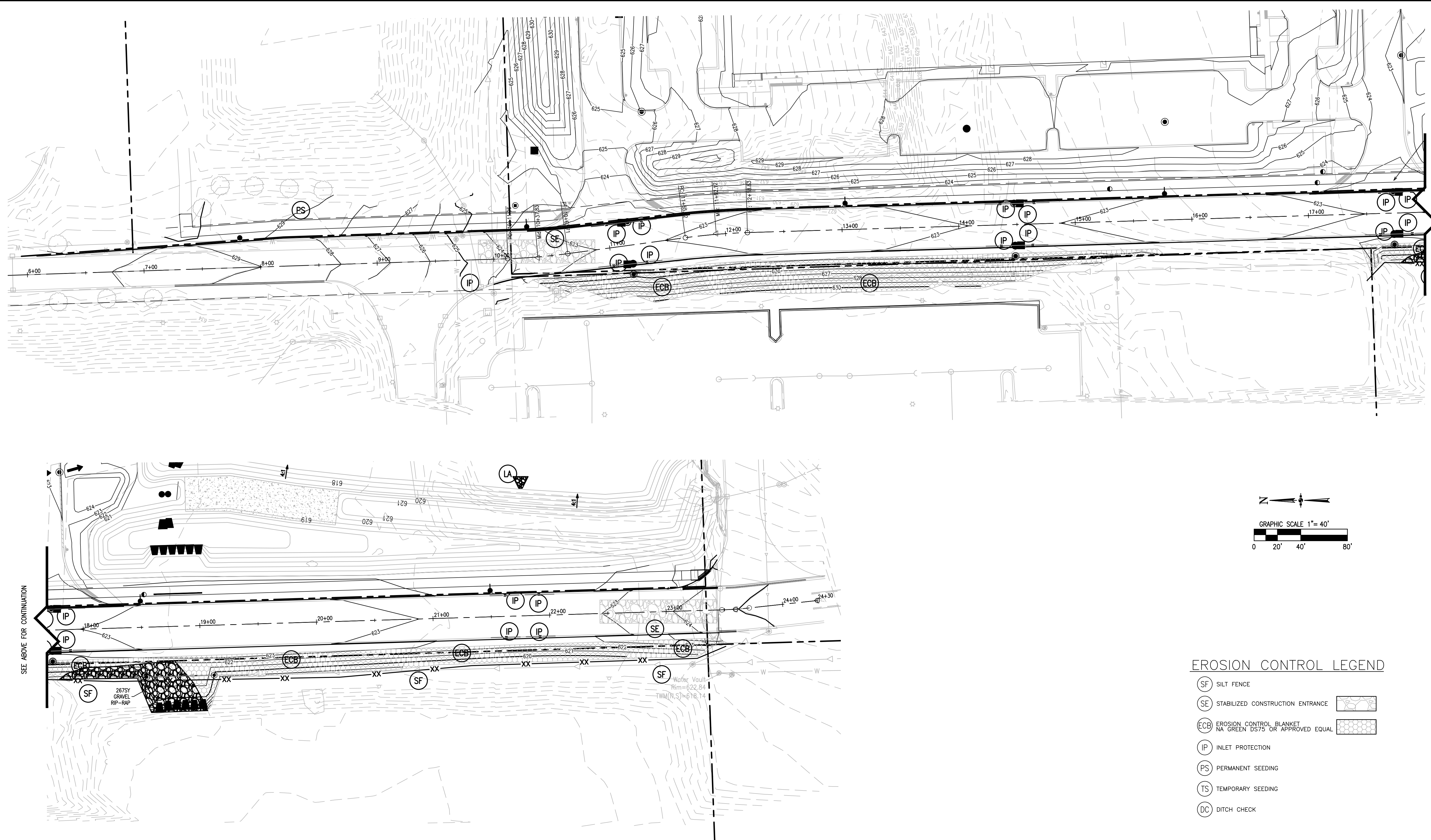
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**D190aj**  
**H:1"=40'**  
**V:1"=5'**  
**C6.1**





SEE BELOW FOR CONTINUATION

SEE ABOVE FOR CONTINUATION

**EROSION CONTROL LEGEND**

- (SF) SILT FENCE
- (SE) STABILIZED CONSTRUCTION ENTRANCE
- (ECB) EROSION CONTROL BLANKET  
NA GREEN DS75 OR APPROVED EQUAL
- (IP) INLET PROTECTION
- (PS) PERMANENT SEEDING
- (TS) TEMPORARY SEEDING
- (DC) DITCH CHECK

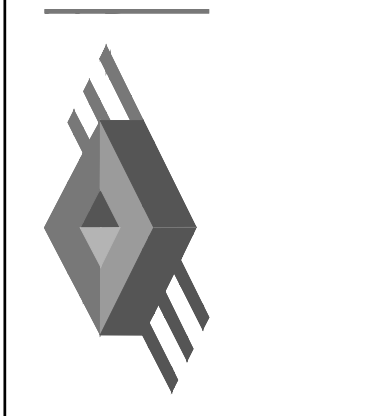
**EROSION CONTROL NOTES**

- 1) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 2) SUBCONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
- 3) SUBCONTRACTOR RESPONSIBLE FOR DUST CONTROL.
- 4) SUBCONTRACTOR RESPONSIBLE FOR MAINTAINING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
- 5) OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
- 6) ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
- 7) ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
- 8) MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
- 9) ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
- 10) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
- 11) IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
- 12) IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.
- 13) DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
- 14) ALL GREEN AREAS SHALL BE DRESSED WITH A MINIMUM OF 12" OF TOPSOIL AND PERMANENT SEEDING.

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**EROSION CONTROL PLAN**  
**PINNACLE DRIVE EXTENSION**  
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CONTROL MEASURE GROUP	CONTROL MEASURE	APPL	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMIT	MAINTENANCE FREQUENCY
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	X	TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X	REDO ANY FAILING AREAS.
	DORMANT SEEDING		DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X	RE-SEED IF NEEDED.
	SODDING		SO	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.	X	X	N/A
NON VEGETATIVE SOIL COVER	MACHINE TRACKING	X	CC	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.		X	N/A
	POLYMER		P	ADDS INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X	REAPPLY EVERY 1 1/2 MONTHS.
	AGGREGATE COVER		AG	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X	CLEAN UP DIRT FROM STONE AS NEEDED.
	PAVING	X	PV	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		X	N/A
DIVERSIONS	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	X	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		CD	TYPICALLY USED TO DIVERT FLOW.	X	X	REPLACE PROTECTION WHEN NEEDED.
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	X	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		X	N/A
WATERWAYS	VEGETATIVE CHANNEL		VC	PROVIDES ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	X	REDO ANY FAILING AREAS.
	LINED CHANNEL		LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X	REPLACE PROTECTION WHEN NEEDED.
ENCLOSED DRAINAGE	STORM SEWER	X	STM	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		X	CLEAN SEDIMENT OUT.
	UNDER DRAIN		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DOWNER SEDIMENT BASINS.	X	X	N/A
SPILLWAYS	STRAIGHT PIPE SPILLWAY		SPS	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	DROP INLET PIPE SPILLWAY		DRS	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		X	CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY		W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.	X	X	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BS	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.	X	X	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON		LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.	X	X	REPAIR DISLODGED STONES OR EROSION UNDER RIP-RAP AS NEEDED.
SEDIMENT BASINS	SEDIMENT BASIN		SB	USED TO COLLECT SMALLER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
	SEDIMENT TRAP		ST	USED TO COLLECT LARGER PARTICLES - DETAIN WATER WITH CONTROLLED RELEASE.	X	X	CLEAN SEDIMENT OUT WHEN HALF-FULL.
SEDIMENT FILTERS	SILT FENCE	X	SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
	VEGETATIVE FILTER		VF	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X	X	REDO ANY FAILING AREAS.
MUD AND DUST CONTROL	STABILIZED CONST. ENTRANCE	X	SE	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X	X	SCRAPE MUD AND REPLACE STONE AS NEEDED.
	DUST CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X	X	RE-APPLY AS NEEDED.
EROSION CONTROL	EROSION CONTROL BLANKET	X	ECB	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.			REPLACE AS NEEDED
	TURF REINFORCEMENT MAT		TRM	REINFORCES TURF IN CHANNELS AND SHORELINES.			REPLACE AS NEEDED
	CELLULAR CONFINEMENT		CF	USED TO HOLED TOPSOIL ON STEEP SLOPES.			REPLACE AS NEEDED
	GABIONS		GA	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.			REPLACE AS NEEDED
	GEOTEXTILE FABRIC		GF	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.			REPLACE AS NEEDED
	GEOBLOCK POROUS PAVEMENT		GP	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.			REPLACE AS NEEDED
SEDIMENT CONTROL	INLET PROTECTION	X	IP	USED FOR PROTECTION OF INLETS.			REPLACE OR CLEAN WHEN CLOGGED.
	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.			CLEAN OUT WHEN HALF-FULL OF SILT.
	DITCH CHECK	X	DC	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.			CLEAN OUT WHEN HALF-FULL OF SILT.
	FLOC LOG		FL	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.			REPLACE WHEN HALF DISSOLVED.
	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.			REPLACE WHEN FABRIC IS TORN OR HOLES BEGON TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.			REPLACE WHEN HALF-FULL. FABRIC IS TORN, OR HOLES BEGON TO FORM.
	CONCRETE WASHOUT	X	CW	FOR CONCRETE TRUCKS TO WASHOUT.			CLEAN OUT WHEN HALF-FULL. CLEAN WASHOUT GRAVEL AREA AS NEEDED.
	STREET SWEEPING	X	SS	USED TO PREVENT SILT BUILD UP IN STREETS.			CLEAN ONCE A WEEK, OR AS NEEDED TO KEEP STREET CLEAN.

**SEEDING CHART**

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A									
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E									
MULCHING	F											

- A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C SPRING OATS 100 LBS/ACRE
- D WHEAT OR CEREAL RYE 150 LBS/ACRE.
- E SOD
- F STRAW MULCH 2 TONS/ACRE.

- \* IRRIGATION NEEDED DURING JUNE AND JULY.
- \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.
- \*\*\* MOW LAWNS AS NECESSARY

OBSERVATION & MAINTENANCE SCHEDULE		
ACTIVITY	RESPONSIBLE PARTY	DURATION
STABILIZATION DURING CONSTRUCTION- MAINTENANCE	CONTRACTOR	DURING CONSTRUCTION
STABILIZATION DURING CONSTRUCTION- OBSERVATION	DEVELOPER/OWNER	WEEKLY & AFTER EACH RAINFALL EVENT IN EXCESS OF 0.5"
VEGETATION MAINTENANCE	CONTRACTOR	1 YEAR FROM COMPLETION
VEGETATION STABILIZATION MAINTENANCE	DEVELOPER/OWNER	ONGOING FROM CONSTRUCTION COMPLETION

**NOTES:**  
This plan has been prepared to comply with the provisions of the NPDES Permit Number ILR10B593, issued by the Illinois Environmental Protection Agency for Stormwater Discharges from Construction Site Activities and Soil Erosion and Sediment Control Ordinance for the County.

- Site Description.
  - a. The following is a description of the construction activity following mass grading which is the subject of this plan:  
The proposed development consists of construction of a roadway and associated utilities. The construction activities for site improvements will include: mass grading, pavement construction, installation of utilities including storm sewers, soil erosion and sedimentation control measures, as a minimum.
  - b. The following is a description of the intended sequence of major activities which will disturb soils for major portions of the construction site, such as grubbing, excavation, and grading:  
The sequence of the construction activities may be as follows: 1) install silt filter fence and stabilized construction entrance, 2) mass grading, 3) underground utilities installation, 4) fine grading in pavement area and 5) pavement construction. The soil erosion and sedimentation control items will be constructed as needed during the above construction activities.
  - c. The total area of the construction site is estimated to be 2.5 acres.  
The total area of the site that it is estimated to be disturbed by excavation, grading, or other activities, is 2.5 acres.
  - d. The estimated runoff coefficients of the various areas of the site after construction activities are completed are contained in the project drainage study, titled Stormwater Management for Pinnacle Drive Extension prepared by Jacob & Hefner Associates, Inc. which is hereby incorporated by reference in this plan. The estimated proposed overall site runoff coefficient is 0.85.
  - e. Existing data describing soils or quality of discharge (soils report if available) Fair/Good/Not Available
  - f. Name of receiving water(s) South Creek Business Center Pond  
Name of ultimate receiving water(s) Mink Creek
- Controls.
 

This section of the plan addresses the various controls that will be implemented for each of the major construction activities described in 1.b above. For each measure discussed, the contractors will be responsible for its implementation as indicated. Each such contractor has signed the required certification on forms which are attached to, and are a part of, this plan.

  - a. Erosion and Sediment Controls.
    - (i) STABILIZATION PRACTICES. Provided below is a description of interim and permanent stabilization practices, including site-specific scheduling of the implementation of the practices. Site plans will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Except as provided in 2.a.(i)(A) and 2.b., stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased on all disturbed portions of the site where construction activity will not occur for a period of 21 or more calendar days.
    - Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall be initiated as soon as practicable thereafter.
  - (ii) DUST CONTROL: Dust Control shall be provided per standard 825 of Illinois Urban Manual. Following are the dust control that can be used.
    - 1. Permanent seeding
    - 2. Silt filter fence
    - 3. Vegetative Filter
    - 4. Stabilized construction entrance
    - 5. Barrier filter
  - (iii) STRUCTURAL PRACTICES. Provided below is a description of structural practices that will be implemented, to the degree attainable, to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. The installation of these devices may be subject to Section 404 of the Clean Water Act.
    - 1. Detention Pond
    - 2. Storm sewer system
    - 3. Rip-rap for outlet protection
    - 4. Permanent seeding
  - (iv) DUST CONTROL: Dust Control shall be provided per standard 825 of Illinois Urban Manual. Following are the dust control that can be used.
    - 1. Irrigation
    - 2. Spray on adhesive
    - 3. Vegetative cover
    - 4. Mulching
- Stormwater Management.
  - (i) Provided below is a description of measures that will be installed during the construction process to control pollutants in stormwater discharges that will occur after construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act. The practices selected for implementation were determined on the basis of the technical guidance contained in EPA's Standard Specifications for Soil Erosion and Sedimentation Control, and other ordinances listed in the Specifications. The stormwater pollutant control measures shall include:
    - 1. Silt filter fence
    - 2. Barrier filters
    - 3. Storm sewers
    - 4. Retention/Detention ponds
  - (ii) Velocity dissipation devices will be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity flow from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydroperiod and hydrodynamics present prior to the initiation of construction activities).
  - Stormwater Management Control includes:
    - 1. Rip-rap for outlet protection
    - 2. Ditch check
- c. Other Controls.
  - (i) Waste Disposal. The solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed off-site by the contractor. The contractor is responsible to acquire any permit required for such disposal. Burning on the site will not be permitted. No solid materials, including building materials, shall be discharged into Waters of the State, except as authorized by a Section 404 permit.
  - (ii) The provisions of this plan shall ensure and demonstrate compliance with applicable State and/or local waste disposal, sanitary sewer or septic system regulations.
  - The sanitary sewage will be discharged to the proposed sanitary sewer constructed per I EPA and local standards.
  - d. Approved State or Local Plans.

- Inspections.
 

The Owner, or Owner's representative shall provide qualified personnel to inspect disturbed areas of the construction site which have not been finally stabilized, structural control measures, and location where vehicles enter or exit the site. Such inspections shall be conducted at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater or equivalent snowfall.

  - a. Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off site sediment tracking.
  - b. Based on the results of the inspection, the description of potential pollutant sources identified in section 1 above and pollution prevention measures identified in section 2 above shall be revised as appropriate as soon as practicable after such inspection. Any changes to this plan resulting from the required inspections shall be implemented within 7 calendar days following the inspection.
  - c. A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this stormwater pollution prevention plan, and actions taken in accordance with section 4.b. shall be made and retained as part of the plan for at least three (3) years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the general permit.
  - d. If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this plan, the Resident Engineer or Resident Technician shall complete and file an "Incidence of Noncompliance" (ION) report for the identified violation. The Resident Engineer or Resident Technician shall use forms provided by the Illinois Environmental Protection Agency and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted from the noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with Part VI. G of the general permit. The report of noncompliance shall be mailed to the following address:  
ALL PACKAGES: Illinois Environmental Protection Agency, Division of Water Pollution Control, Attn: Compliance Assurance Section, 1024 North Grand Avenue, East Springfield, IL 62794  
ALL LETTERS: Illinois Environmental Protection Agency, Division of Water Pollution Control, Attn: Compliance Assurance Section, Post Office Box 19276, Springfield, IL 62794-9276
- Non-Stormwater Discharge.
 

Except for flows from fire fighting activities, sources of non-stormwater that may be combined with stormwater discharges associated with the residential activity addressed in this plan, are described below:

  - 1. Water main flushing
  - 2. Fire hydrant flushing
  - 3. Watering for dust control
  - 4. Irrigation drainage for vegetative growth for seeding, etc.

The pollution prevention measures, as described below, will be implemented for non-stormwater components of the discharge:  
The fire hydrant and water main shall not be flushed directly on the exposed area or subgrade of the pavement. Hoses shall be used to direct the flow into the storm sewer system.  
The erosion due to irrigation of seeding shall be considered minor.

**NPDES CERTIFICATE**

This certification statement is a part of the Storm Water Pollution Prevention Plan for the project described below, in accordance with NPDES Permit No. ILR10B593, issued by the Environmental Protection Agency on July 31, 2010.

PROJECT TITLE: PINNACLE DRIVE

PROJECT LOCATION: ROMEIOVILLE WILL ILLINOIS  
CITY/VILLAGE COUNTY STATE

DEVELOPER: SATORI PROPERTIES

I certify under penalty of law that I understand the terms of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site identified as part of this certification.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**CONTRACTOR/SUBCONTRACTOR CERTIFICATION STATEMENT**

Name: \_\_\_\_\_ Signature: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**RIP-RAP DIMENSION TABLE**

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON L <sub>a</sub> (FT)	MEDIAN RIPRAP SIZE C (IN)	WIDTH OF APRON U/S FACE 3d (FT)	WIDTH OF APRON D/S FACE 3d+L <sub>a</sub> (FT)	DEPTH OF RIP RAP Y (IN)	AREA OF RIP RAP (SQ.YDS.)	VOLUME OF RIP RAP (CU.YDS.)
FES1	24		18	9	6.00	24.00	20	30.00	16.7
FES2	15		10	6	3.75	13.75	15	9.72	4.1

- Maintenance.
 

The following is a description of procedures that will be used to maintain, in good and effective operating conditions, vegetation, erosion and sediment control measures and other protective measures identified in this plan and Standard Specifications.

Stabilized construction entrance: The entrance shall be maintained to prevent tracking of sediment onto public streets. This will be done by top dressing with additional stones, remove and replace top layer of stones or washing the entrance. The sediment washed on the public right-of-way will be removed immediately.

Vegetative erosion control measures: The vegetative growth of temporary and permanent seeding, sodding, vegetative channels, vegetative filter, etc. shall be maintained periodically and supply adequate watering and fertilizer. The vegetative cover shall be removed and reseeded as necessary.

Sedimentation basins/traps: The sediments shall be removed when 40-50 percent of the total original capacity is occupied by the sediment. In no case shall the sediment be built up to more than 1 foot below the crest elevation. At this stage, the basin shall be cleaned out to restore its original volume.

Silt filter fence: The damaged silt filter fence shall be restored to meet the standards or removed and replaced as needed.

Straw bale barrier filters: The straw bale barrier filter shall be inspected frequently and shall be repaired or removed and replaced as needed.

Rip-Rap outlet protection: It shall be inspected after high flows for any scour beneath the Rip-Rap or for stones that have been dislodged. It shall be repaired immediately.

- VILLAGE NOTES:**
- 1) THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
  - 2) ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".
  - 3) A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER ONE ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
  - 4) AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
  - 5) A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.

**EROSION CONTROL CERTIFICATE:**  
THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**STORMWATER POLLUTION PREVENTION PLAN**

**PINNACLE DRIVE EXTENSION**

**SOUTHCREEK BUSINESS CENTER**

**PALENCIA PROPERTIES LLC**

**ROMEIOVILLE, ILLINOIS**

**JACOB & HEFNER ASSOCIATES**

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
PHONE: (630) 652-4600; FAX: (630) 652-4601  
www.jacobandhefner.com

2/16/23  
9/12/22  
6/8/22  
5/27/22

4 VILLAGE COMMENTS  
3 VILLAGE COMMENTS  
2 CLIENT REVISIONS  
1 ISSUE FOR REVIEW

No. \_\_\_\_\_ Description \_\_\_\_\_

**D190aj**

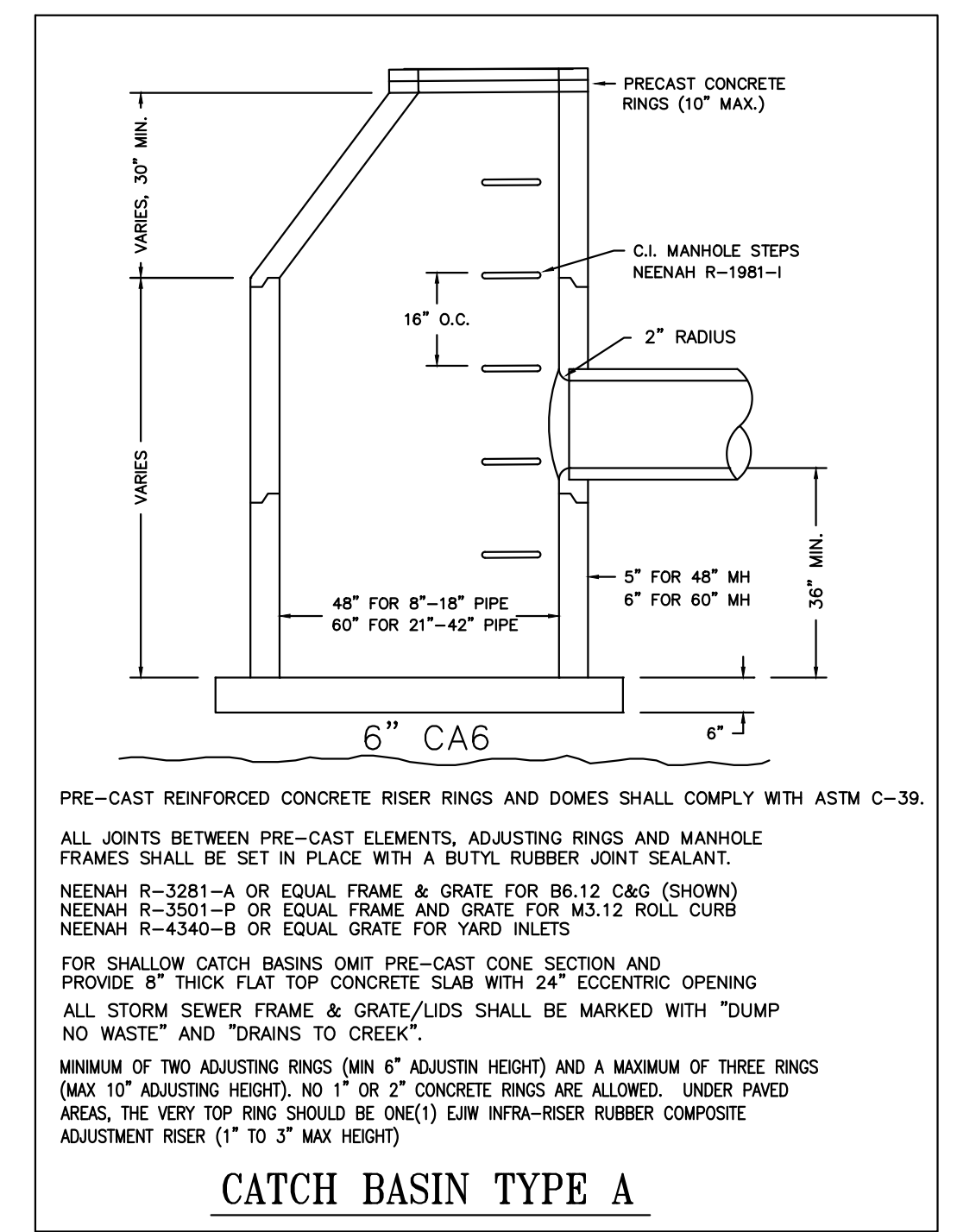
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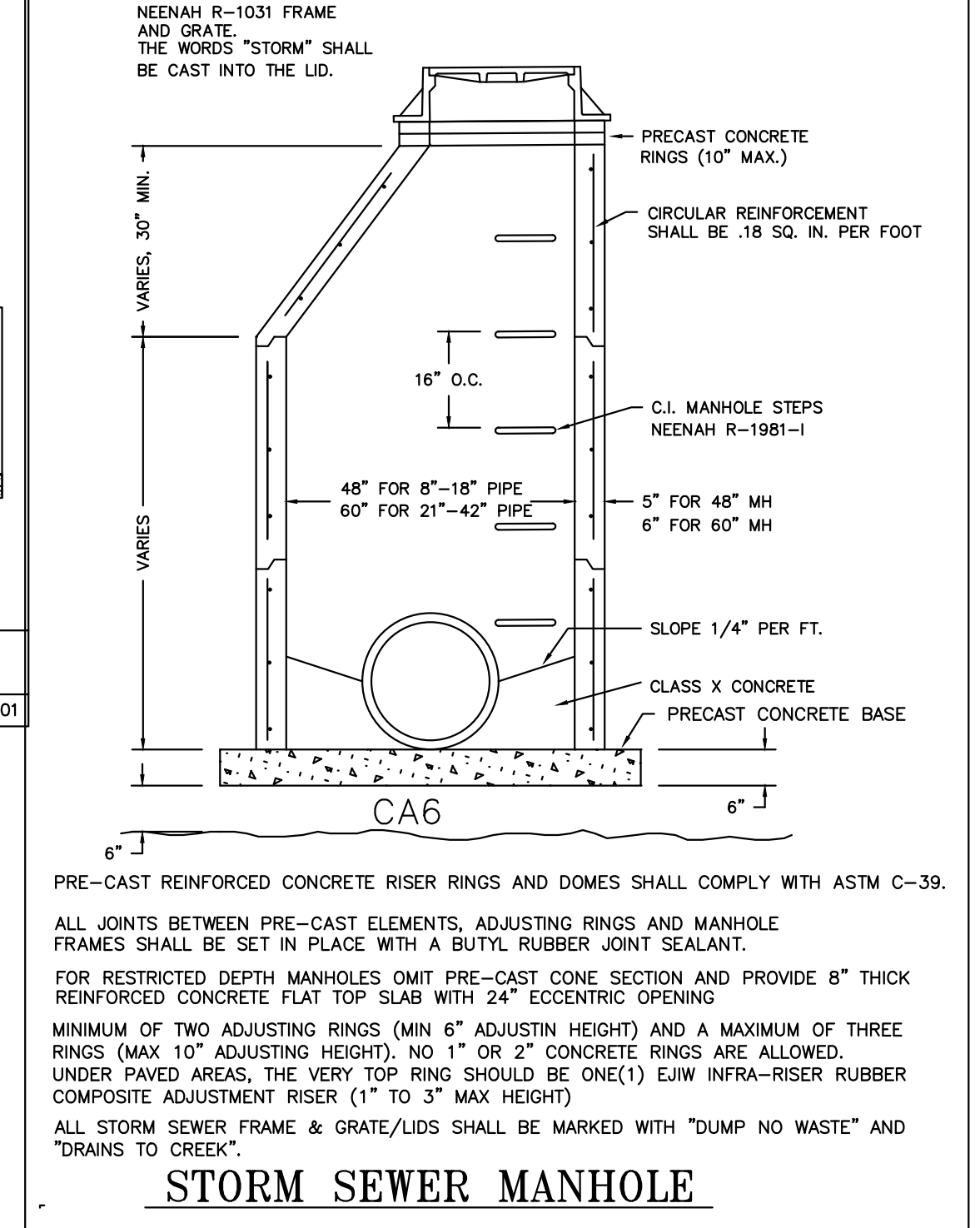
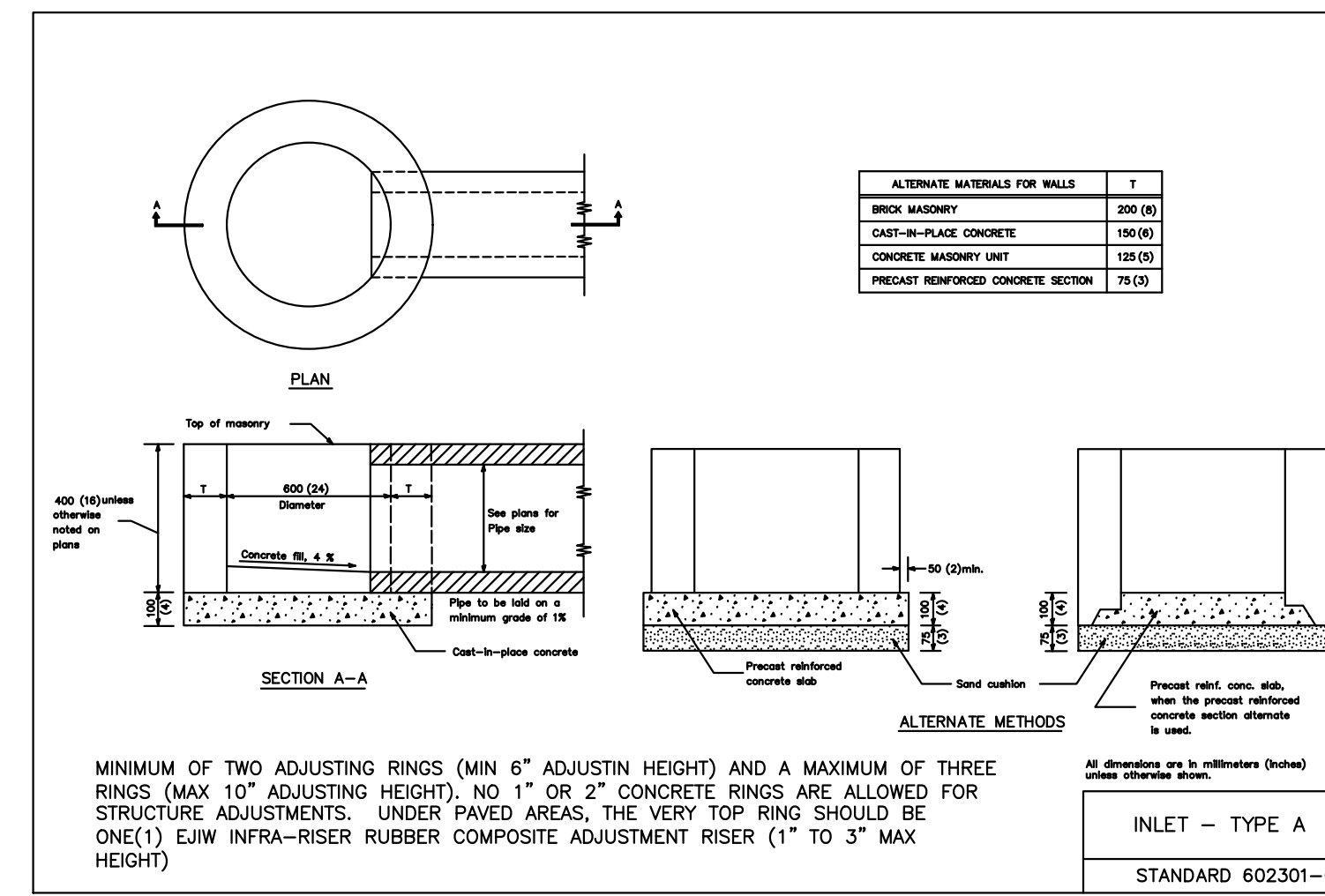




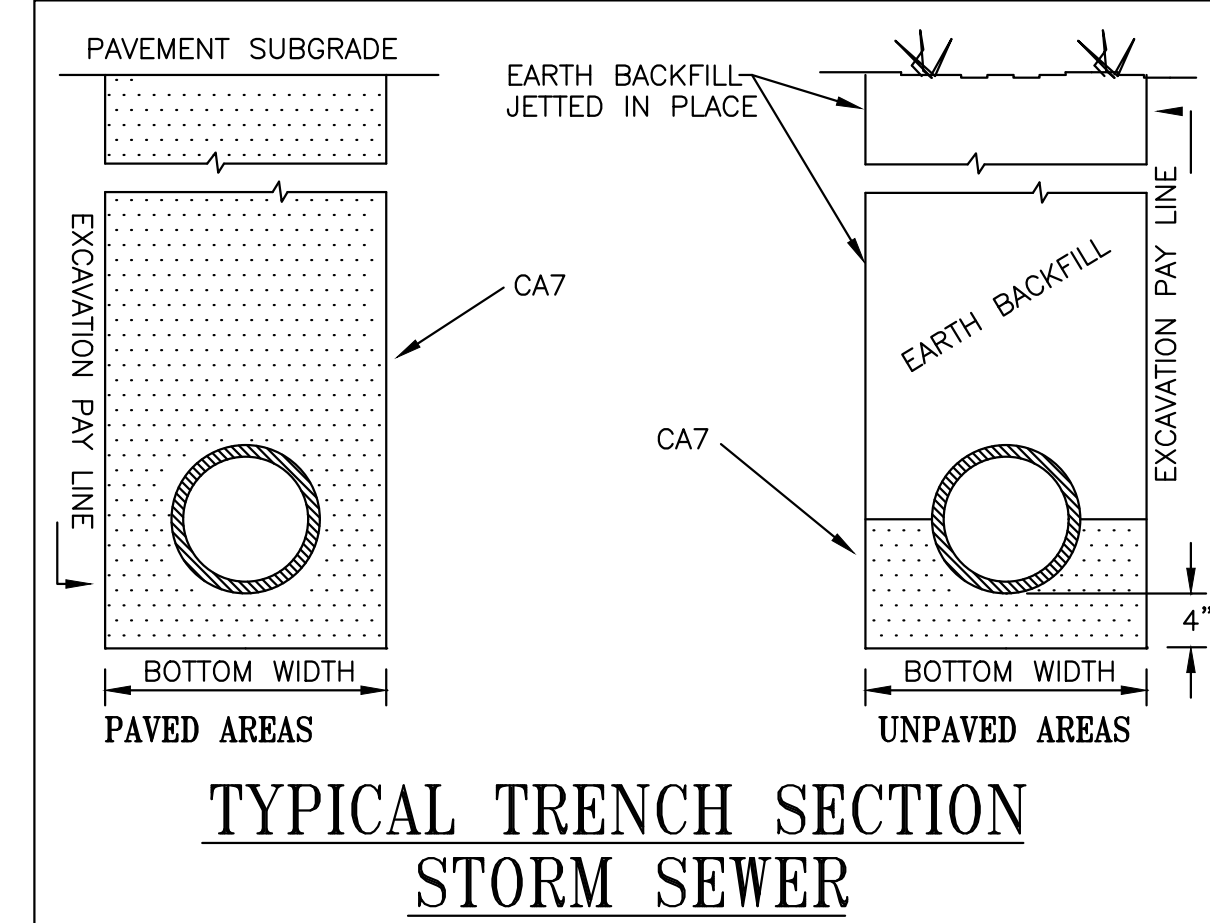


PRE-CAST REINFORCED CONCRETE RISER RINGS AND DOMES SHALL COMPLY WITH ASTM C-39. ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES SHALL BE SET IN PLACE WITH A BUTYL RUBBER JOINT SEALANT. NEENAH R-3281-A OR EQUAL FRAME & GRATE FOR B6.12 C&G (SHOWN) NEENAH R-3501-P OR EQUAL FRAME AND GRATE FOR M3.12 ROLL CURB NEENAH R-4340-B OR EQUAL GRATE FOR YARD INLETS. FOR SHALLOW CATCH BASINS OMIT PRE-CAST CONE SECTION AND PROVIDE 8" THICK FLAT TOP CONCRETE SLAB WITH 24" ECCENTRIC OPENING ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK". MINIMUM OF TWO ADJUSTING RINGS (MIN 6" ADJUSTING HEIGHT) AND A MAXIMUM OF THREE RINGS (MAX 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE VERY TOP RING SHOULD BE ONE(1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISER (1" TO 3" MAX HEIGHT).

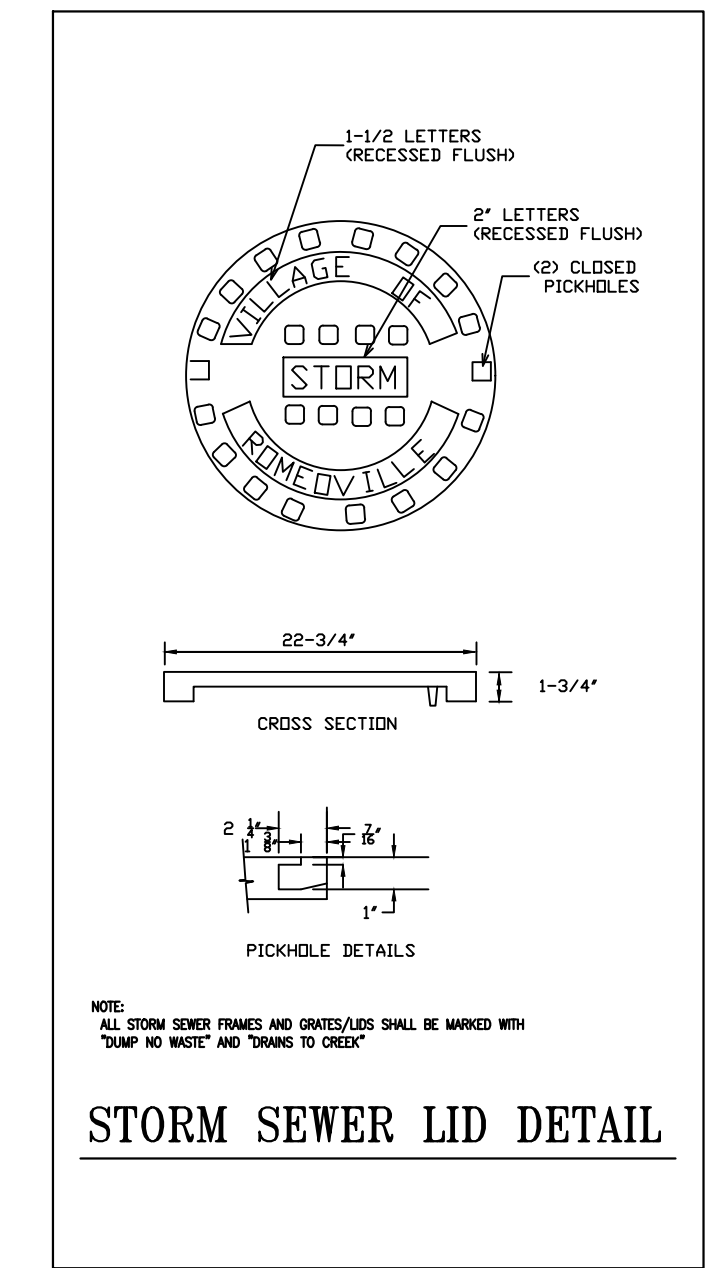
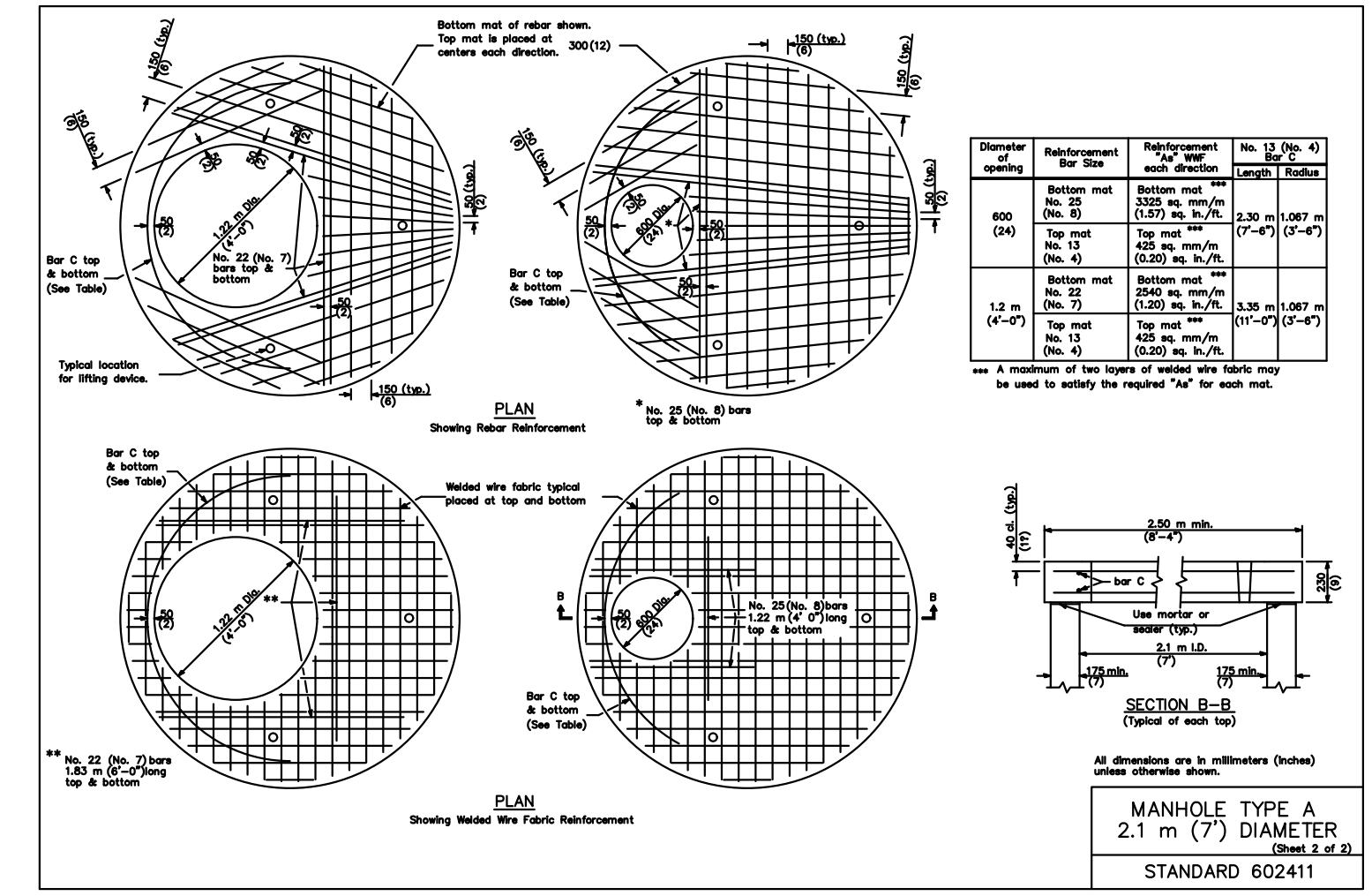
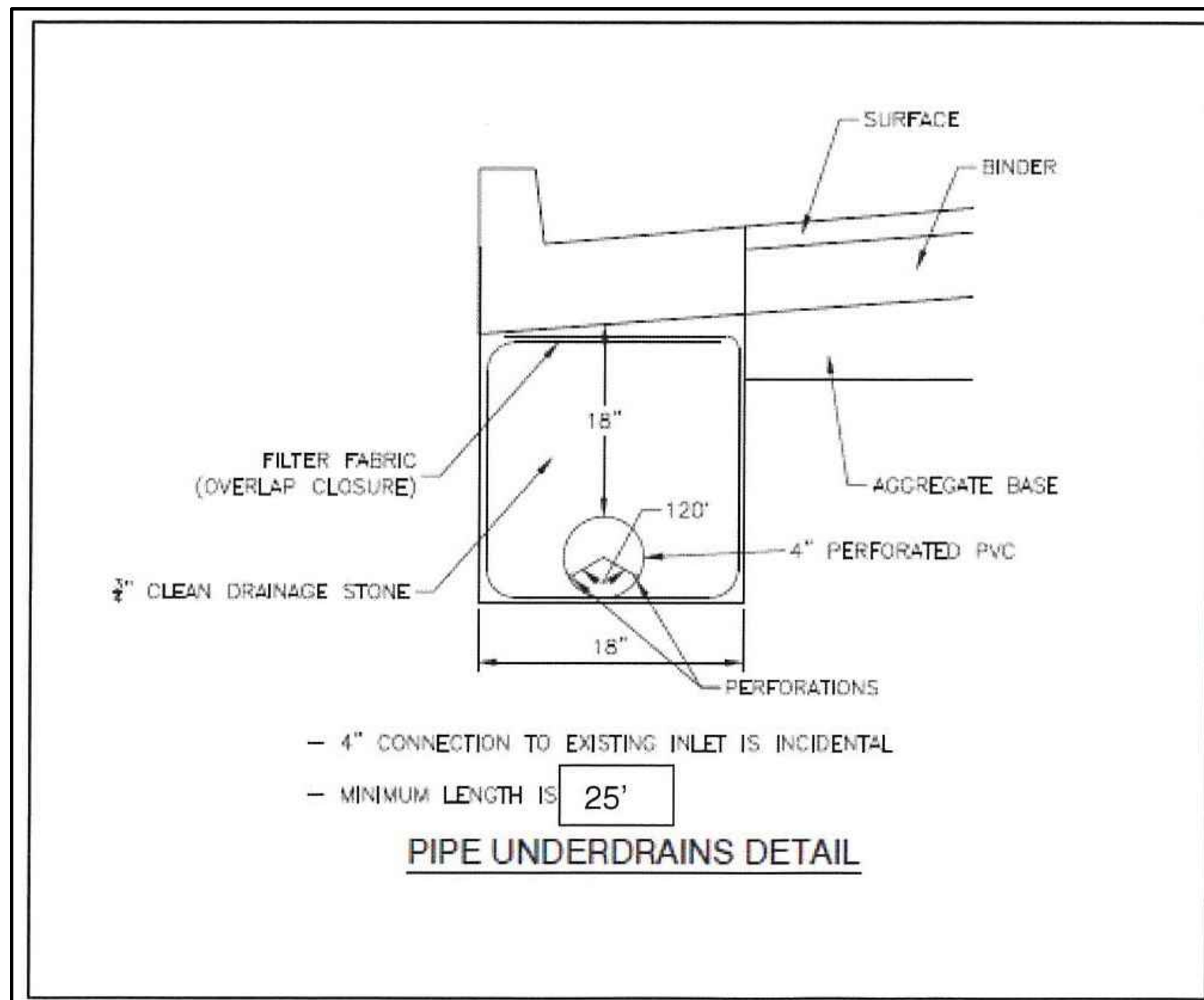
CATCH BASIN TYPE A



STORM SEWER MANHOLE



TYPICAL TRENCH SECTION STORM SEWER

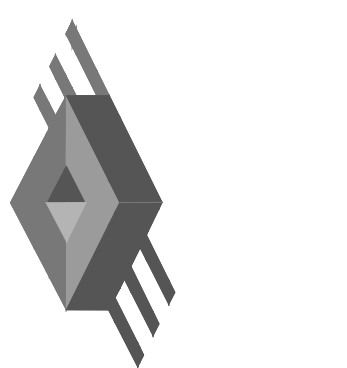


STORM SEWER LID DETAIL

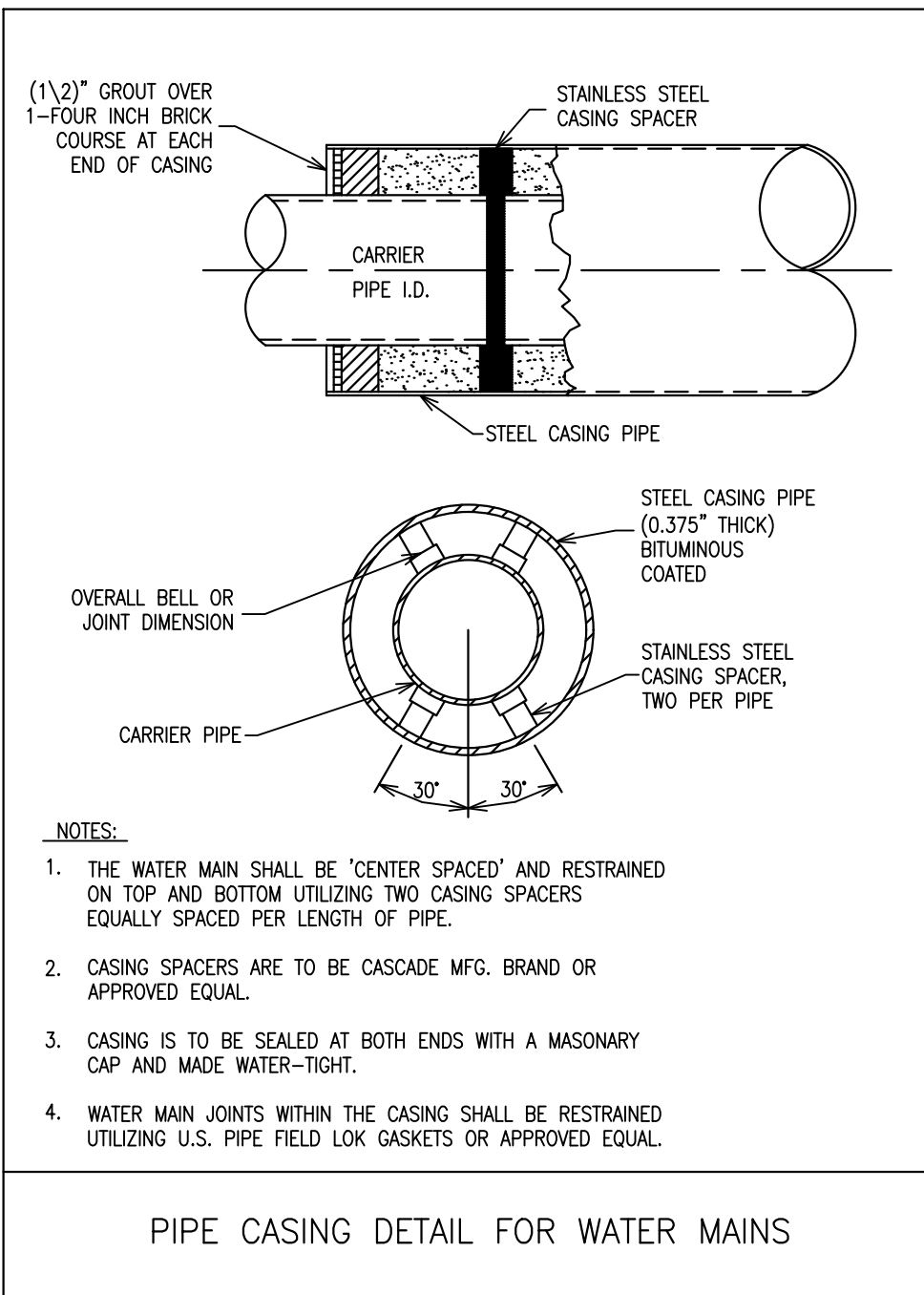
No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22

DETAILS  
PINNACLE DRIVE EXTENSION  
SOUTHCREEK BUSINESS CENTER  
PALENCIA PROPERTIES LLC  
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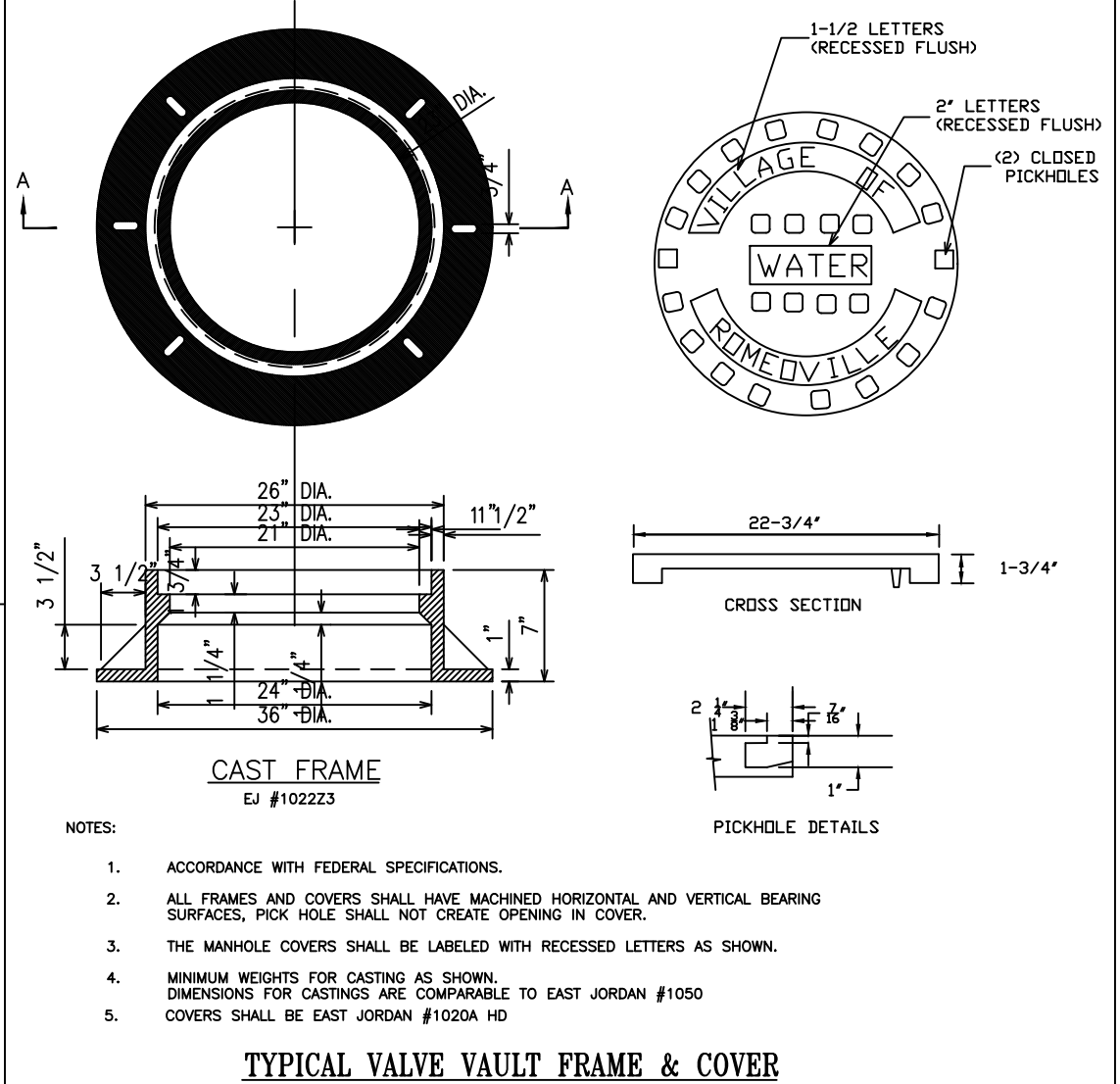
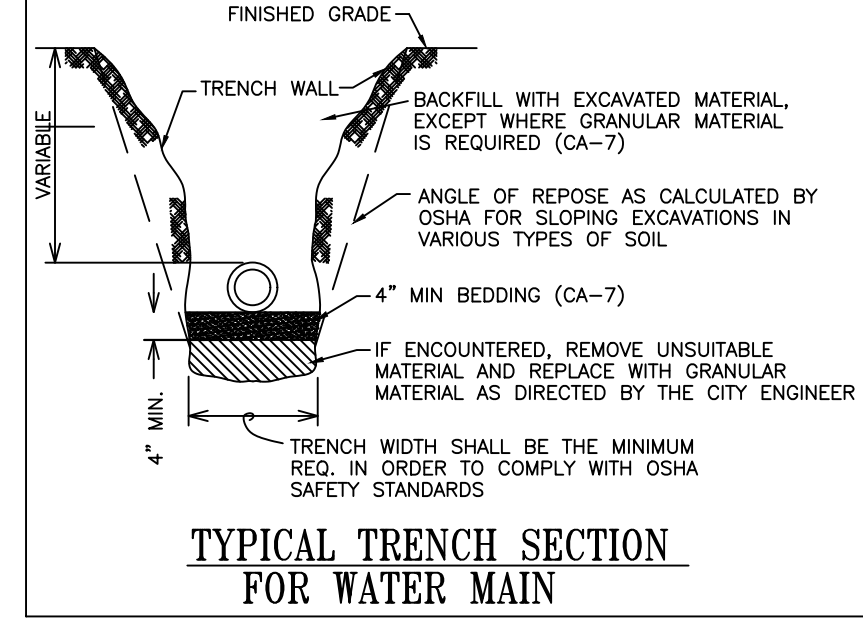
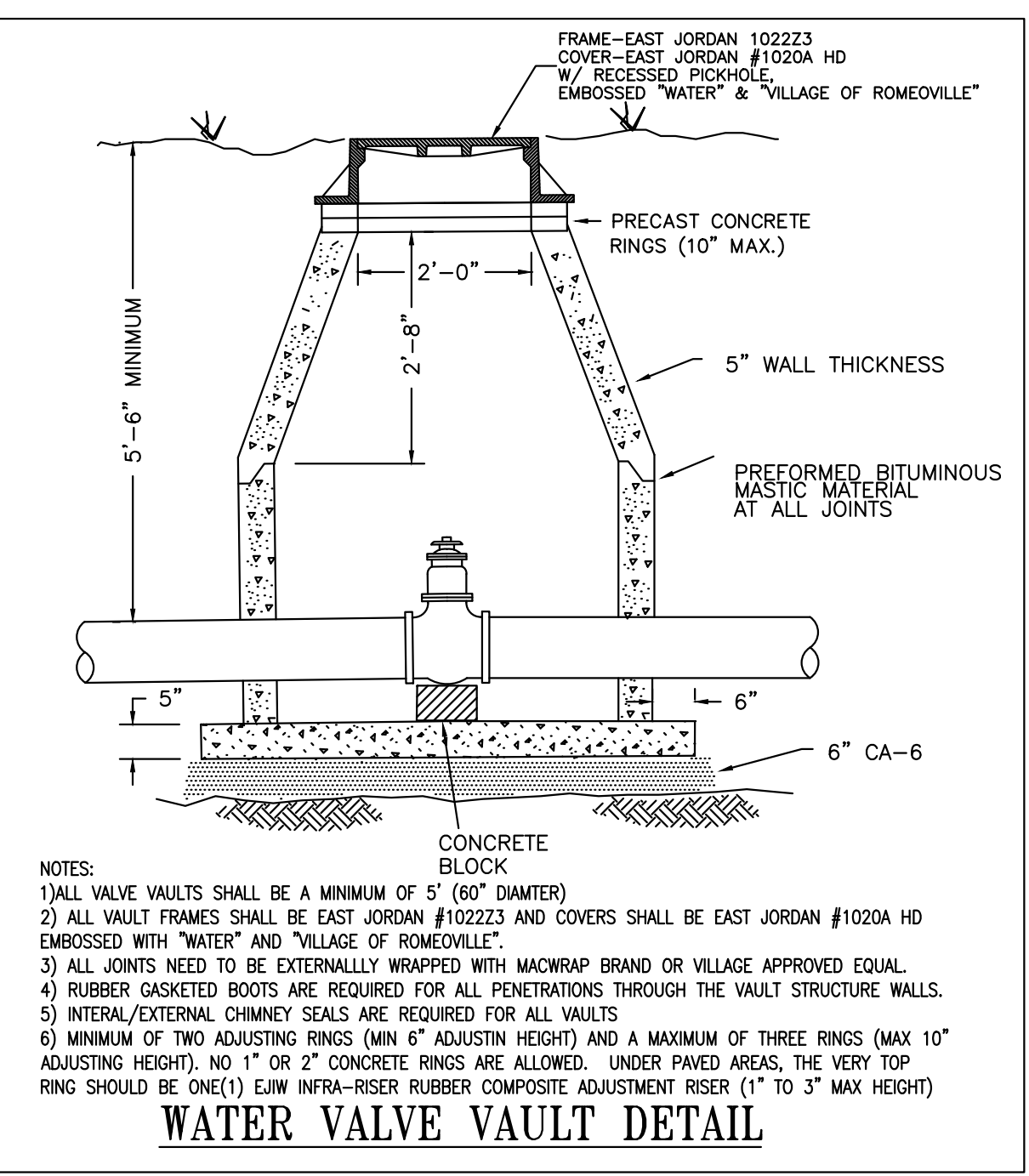
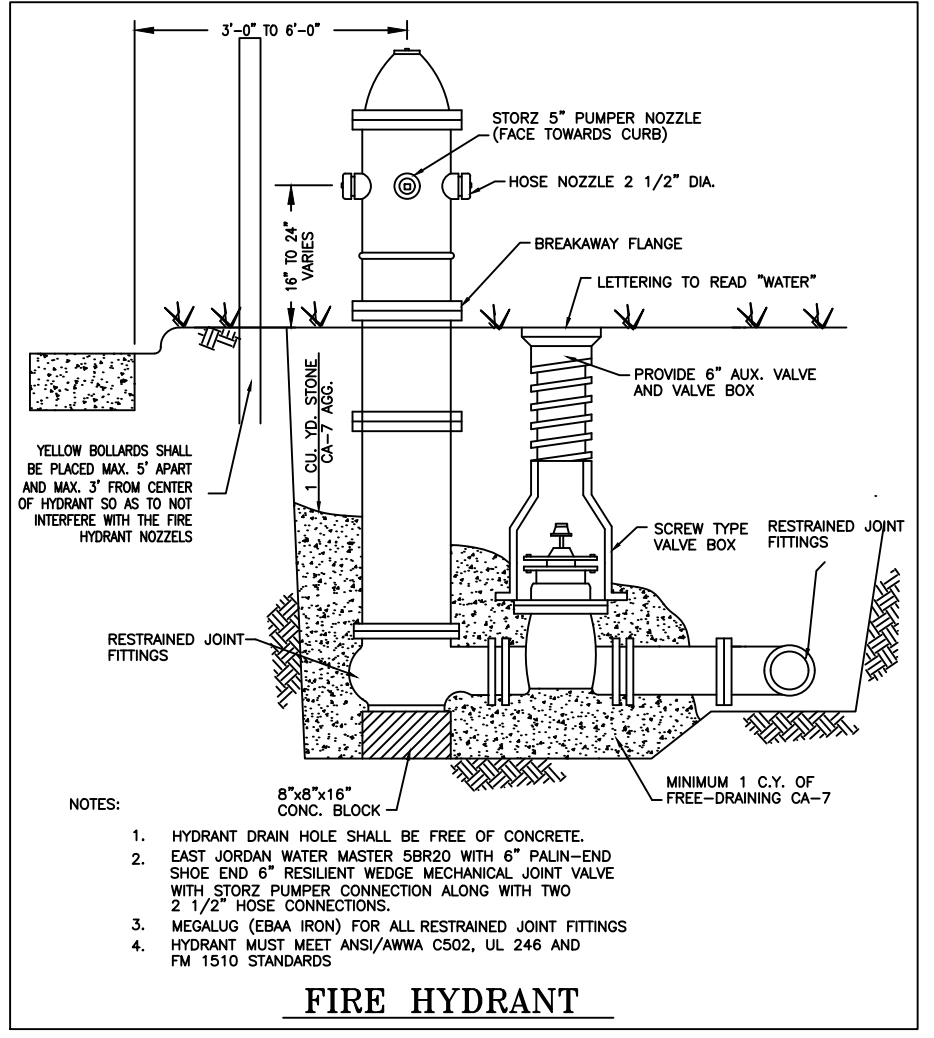
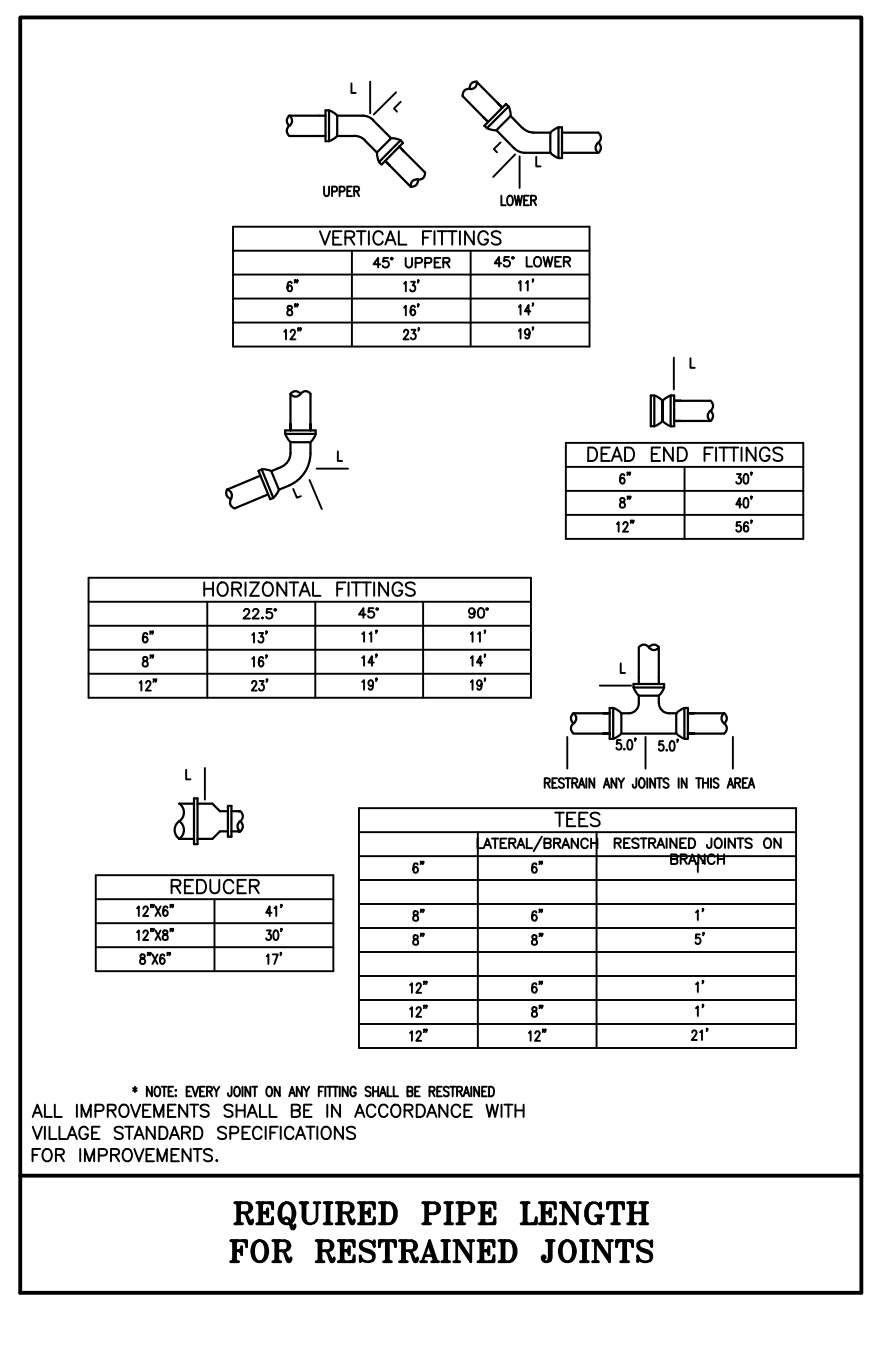
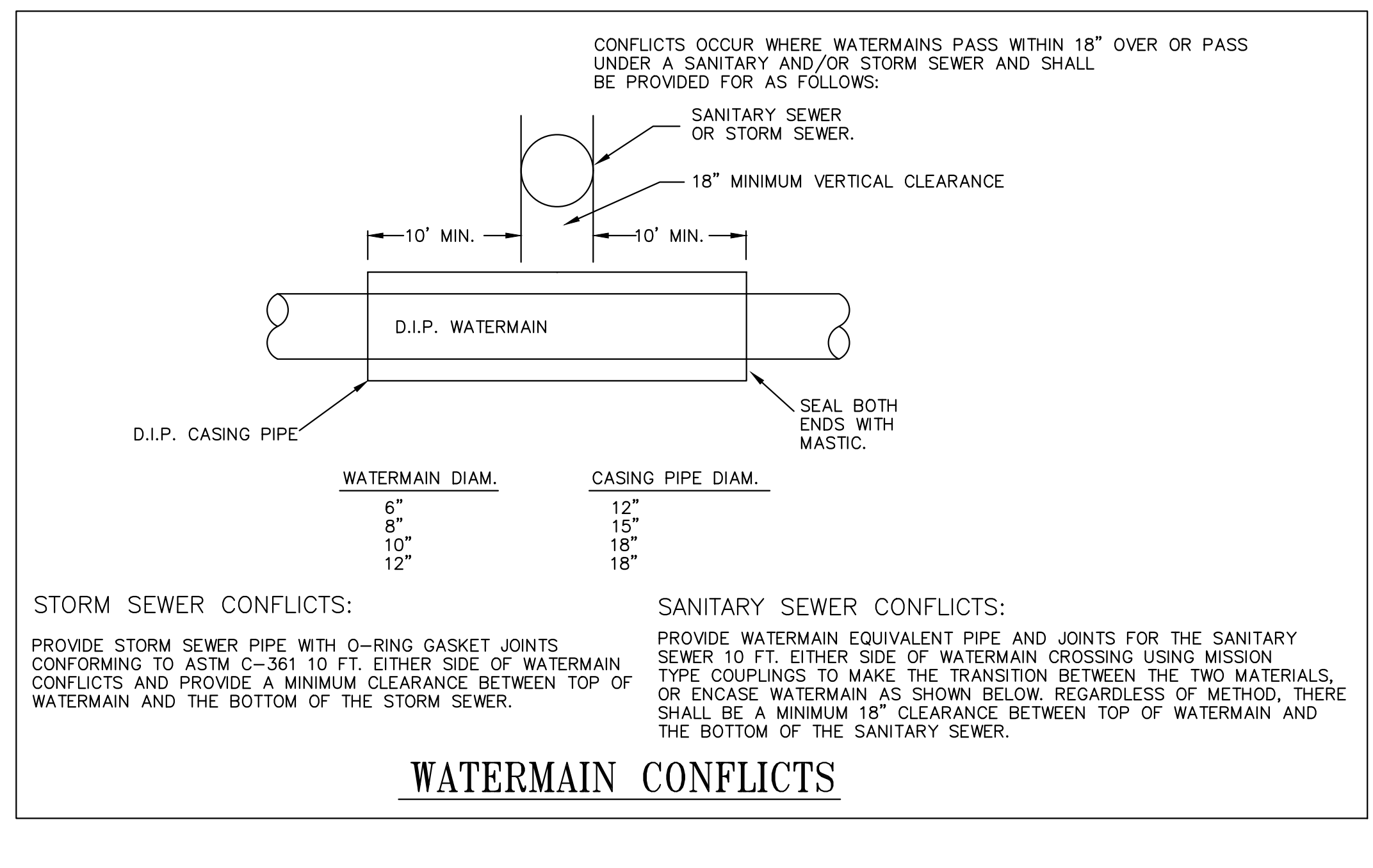
PIPE SIZE	O.D.(IN)	O.D.(FT)	DEFL.	HORIZ DEF.	VERT DEF.	MAX. DEFL. DIST.		APPROX. RADIUS FOR WITHOUT BENDS	
						20'	18'	20'	18'
4"	4.80"	0.400'							
6"	6.90"	0.575'							
8"	9.05"	0.754'	5'0000"	4'0000"	6.99%	16"	15"	286'	258'
10"	11.10"	0.925'							
12"	13.20"	1.100'							
14"	15.30"	1.275'	4'0000"	3'1200"	5.59%	13"	12"	358'	322'
16"	17.40"	1.450'							
18"	19.50"	1.625'							
20"	21.60"	1.800'							
24"	25.80"	2.150'	3'0000"	2'2400"	4.19%	10"	9"	477'	430'
30"	32.00"	2.666'							
36"	38.30"	3.192'							
42"	44.50"	3.708'	2'0000"	1'3600"	2.79%	6"	6"	716'	645'

PIPE DATA MFRS. DESIGN DEFLECTION (80% MAX) DEFLECTING CURVES

**MAXIMUM DEFLECTION**

VERTICAL DISTANCE	MIN. TOTAL LENGTH OF PIPE
A 16'	60'
B 4.5'	140'
C 10.7'	220'

D.I.P. WATERMAIN LOWERING AT UTILITY CONFLICT



2/16/23	4	VILLAGE COMMENTS			
9/22/22	3	VILLAGE COMMENTS			
6/8/22	2	CLIENT REVISIONS			
5/27/22	1	ISSUE FOR REVIEW			
	No.	Description			

**DETAILS**

**PINNACLE DRIVE EXTENSION**

**SOUTHCREEK BUSINESS CENTER**

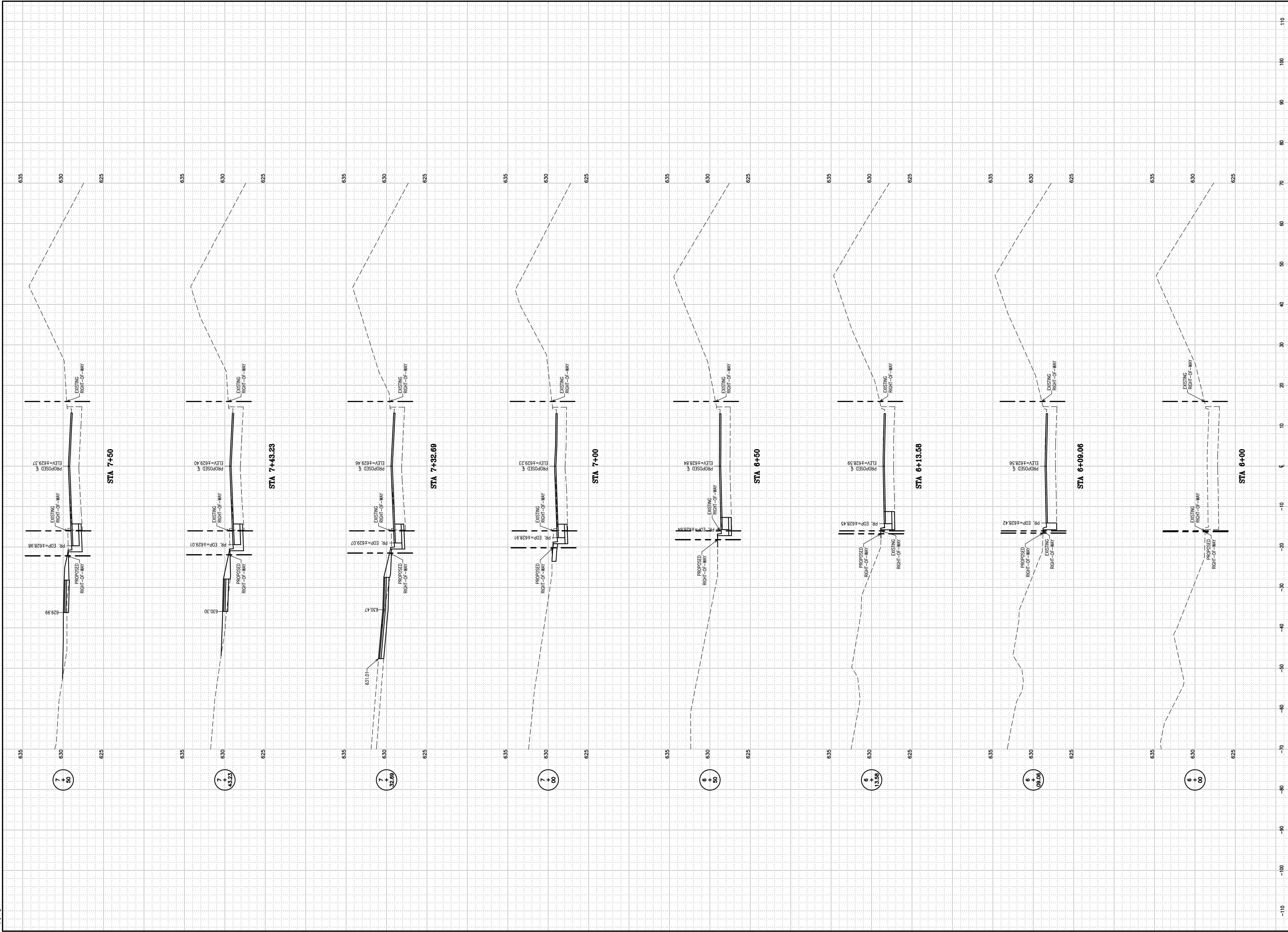
**PALENCIA PROPERTIES LLC**

**ROMEOVILLE, ILLINOIS**

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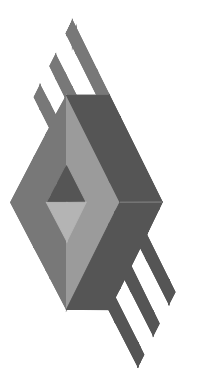
**JACOB & HEFNER ASSOCIATES**

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
 PHONE: (630) 652-4600, FAX: (630) 652-4601  
 www.jacobandhefner.com

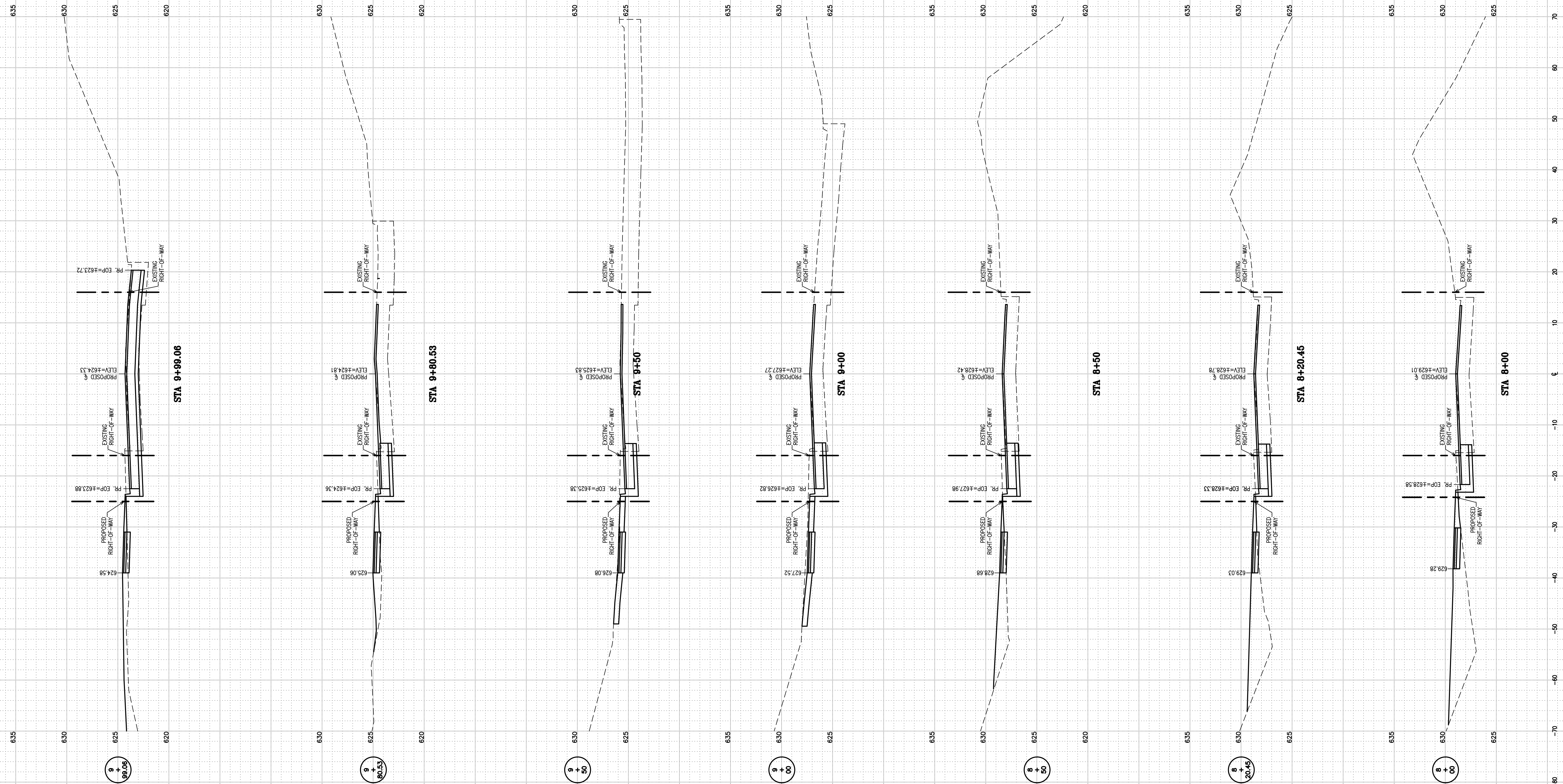


D190aj		No.	
H: 1" = 10'		No.	
V: 1" = 5'		Description	
C11.0		Date	
STA. 6+00 - STA. 7+50 PINNACLE DRIVE EXTENSION SOUTHCREEK BUSINESS CENTER PALENCIA PROPERTIES LLC ROMEOVILLE, ILLINOIS			
4	VILLAGE COMMENTS	2/16/23	
3	VILLAGE COMMENTS	9/22/22	
2	CLIENT REVISIONS	6/8/22	
1	ISSUE FOR REVIEW	5/27/22	

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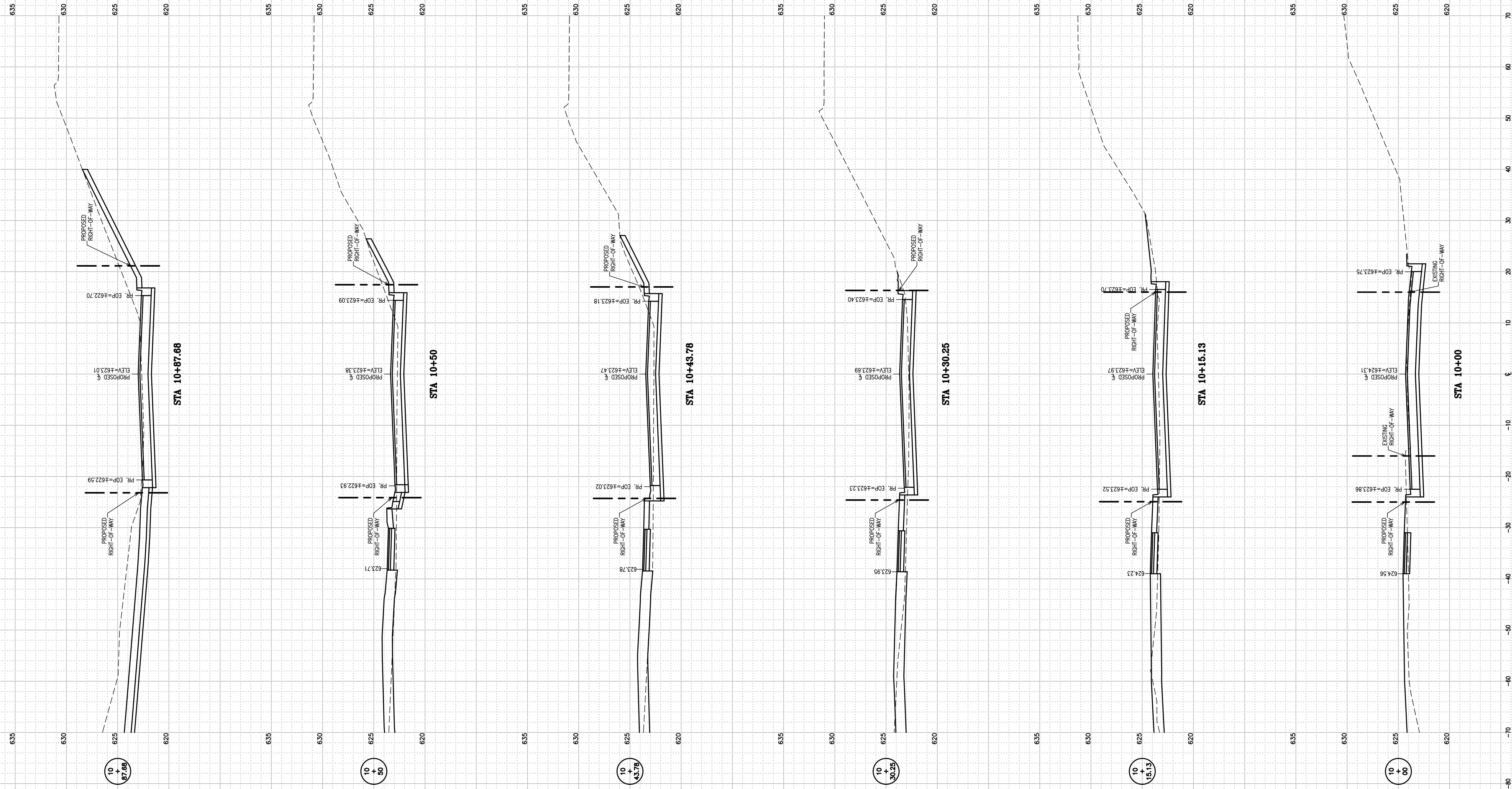


D190aj  
 H: 1" = 10'  
 V: 1" = 5'  
 C11.1

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STA. 8+00 - STA. 9+99.06  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22

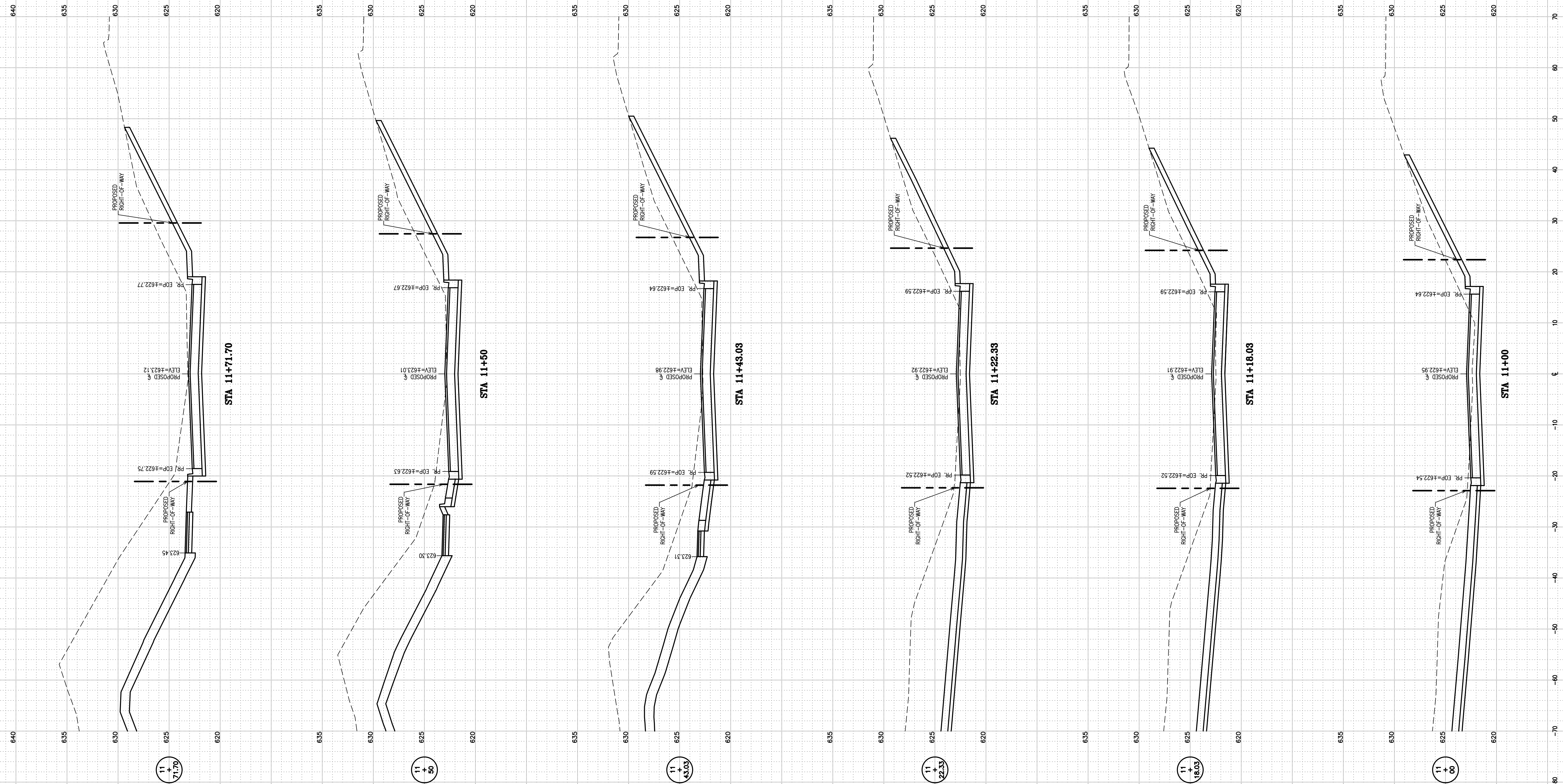


No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22

STA. 10+00 - STA. 10+87.68  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

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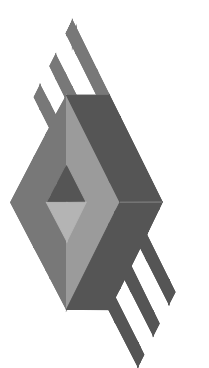
**D190aj**  
 H: 1" = 10'  
 V: 1" = 5'  
**C11.2**



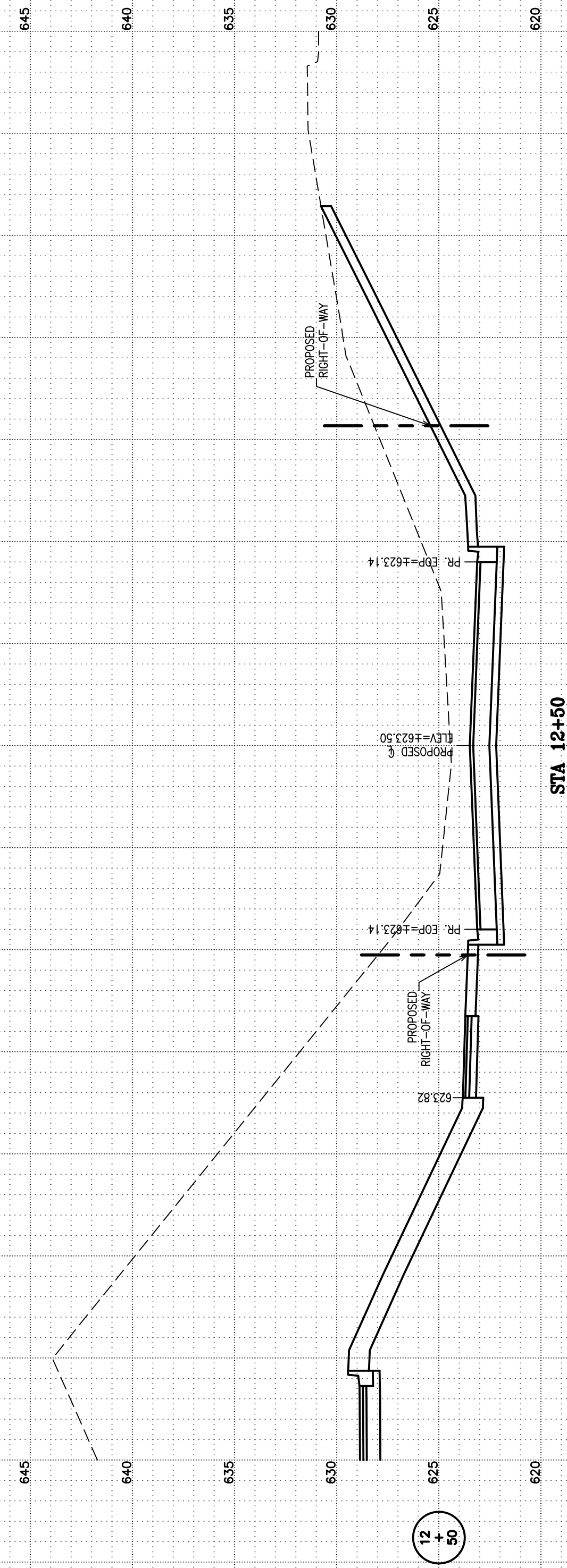
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-40  
-50  
-60  
-70  
-80  
-90  
-100

<p><b>STA. 11+00 - STA. 11+71.7</b>  <b>PINNACLE DRIVE EXTENSION</b>  <b>SOUTHCREEK BUSINESS CENTER</b>  <b>PALENCIA PROPERTIES LLC</b>  <b>ROMEDEVILLE, ILLINOIS</b></p>		
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22
No.	Description	Date

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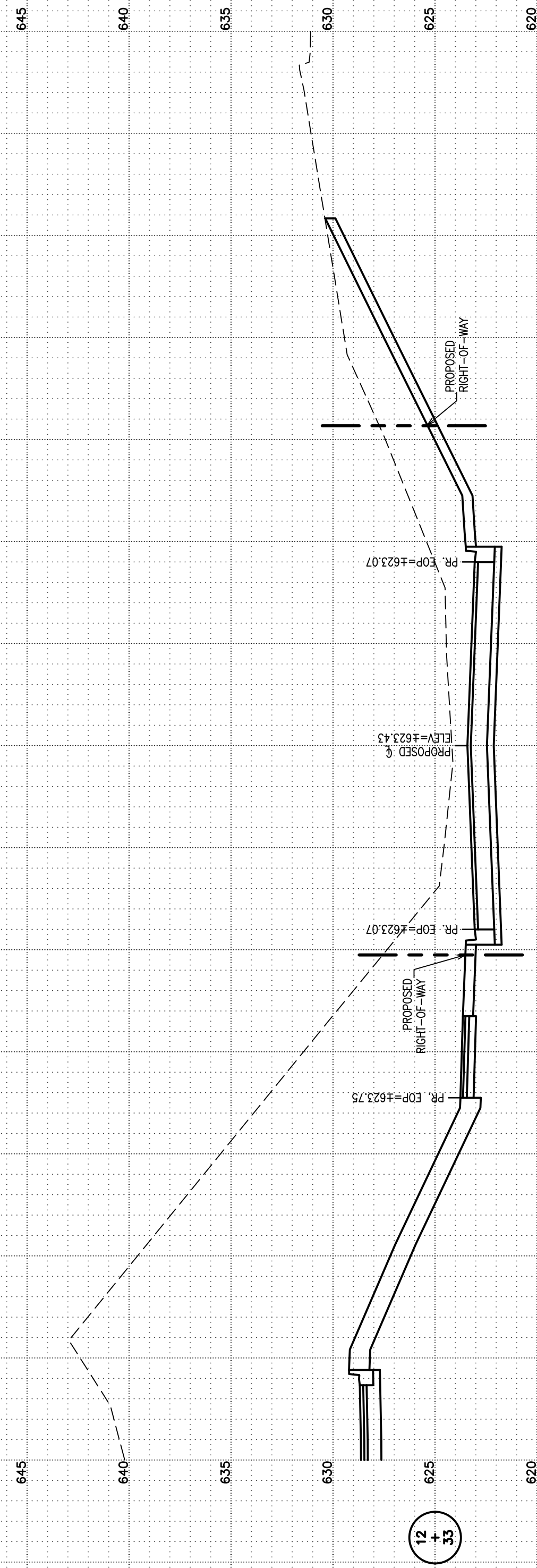


D190aj  
 H: 1" = 10'  
 V: 1" = 5'  
 C11.3



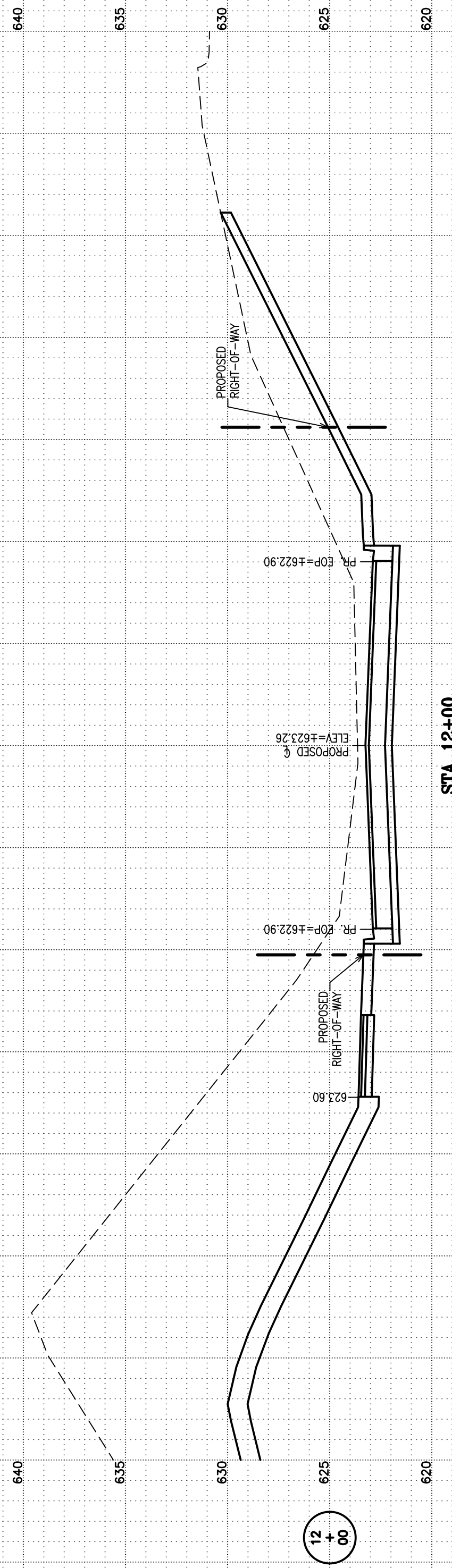
STA 12+50

12 + 50



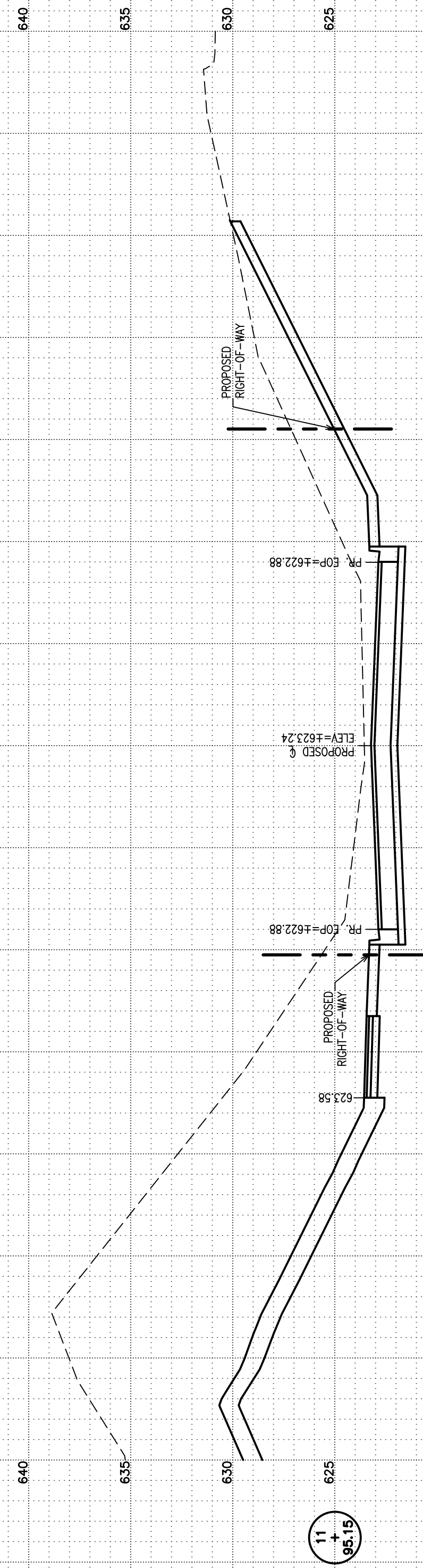
STA 12+33

12 + 33



STA 12+00

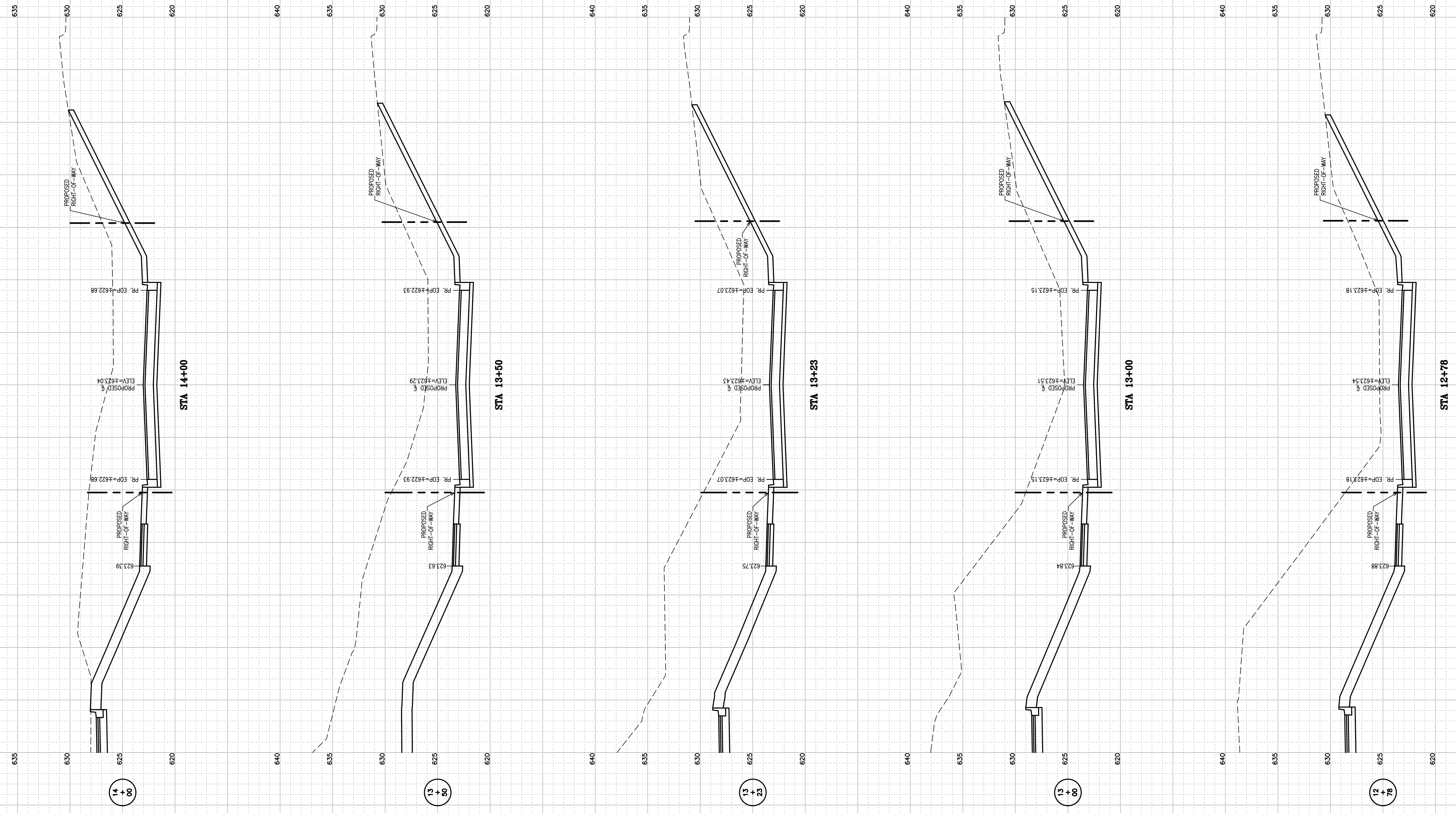
12 + 00



STA 11+95.15

11 + 95.15

<p>STA. 11+95.15 - STA. 12+50                  PINNACLE DRIVE EXTENSION                  SOUTHCREEK BUSINESS CENTER                  PALENCIA PROPERTIES LLC                  ROMEOVILLE, ILLINOIS</p>		110
<p><b>JACOB &amp; HEFNER ASSOCIATES</b>                  1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515                  PHONE: (630) 652-4600, FAX: (630) 652-4601                  www.jacobandhefner.com</p>		100
<p>D190aj</p>		90
<p>H: 1" = 10'                  V: 1" = 5'</p>		80
<p>C11.4</p>		70
<p>4 VILLAGE COMMENTS 2/16/23</p>		60
<p>3 VILLAGE COMMENTS 9/22/22</p>		50
<p>2 CLIENT REVISIONS 6/8/22</p>		40
<p>1 ISSUE FOR REVIEW 5/27/22</p>		30
No.	Description	20
	Date	10

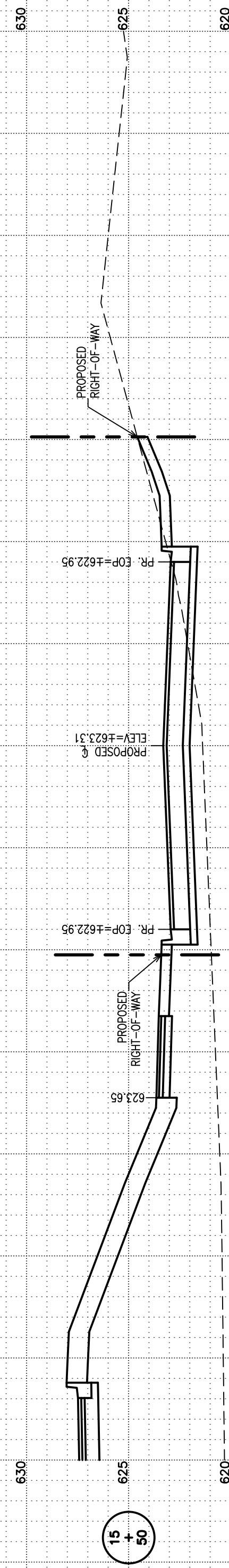


D190aj  
 H: 1" = 10'  
 V: 1" = 5'  
 C11.5

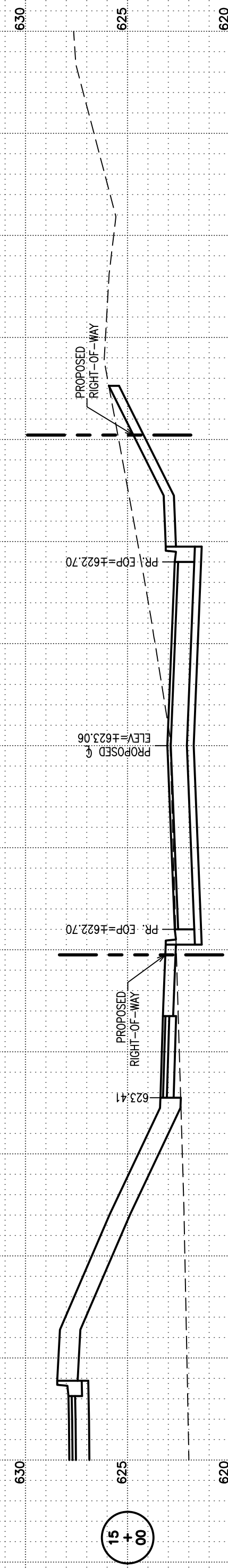
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STA. 12+78 - STA. 14+00  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

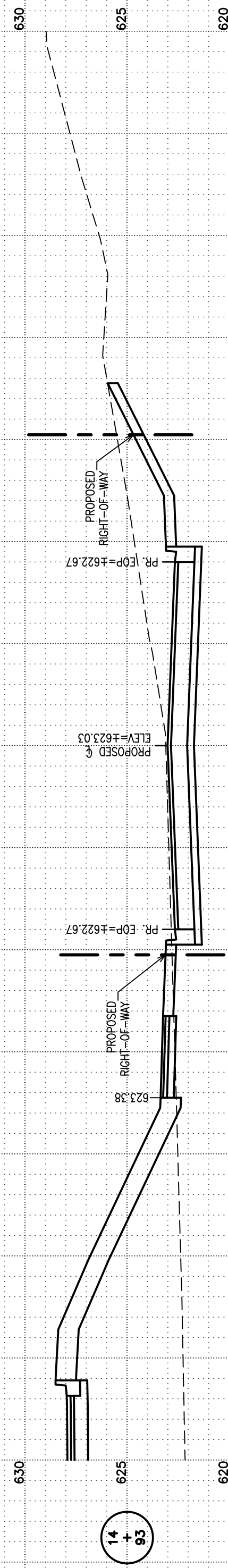
No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22



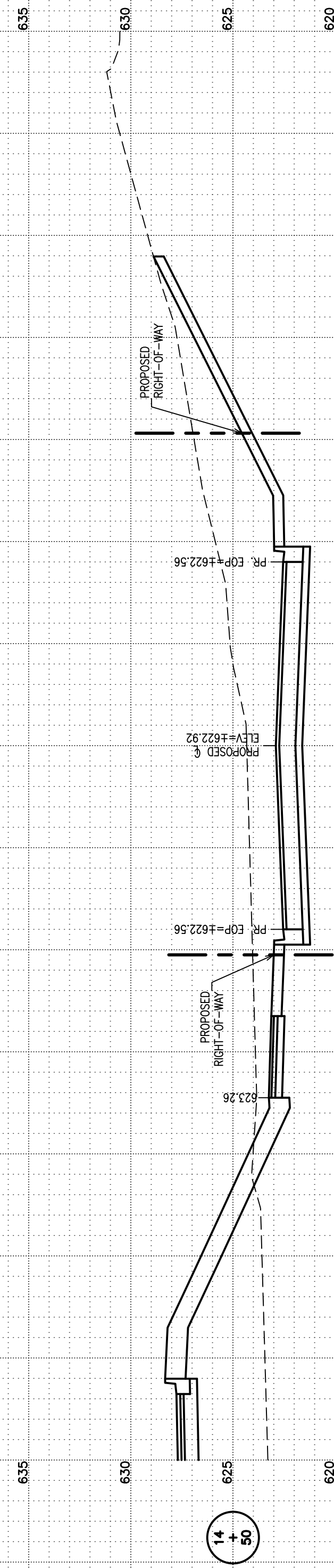
STA 15+50



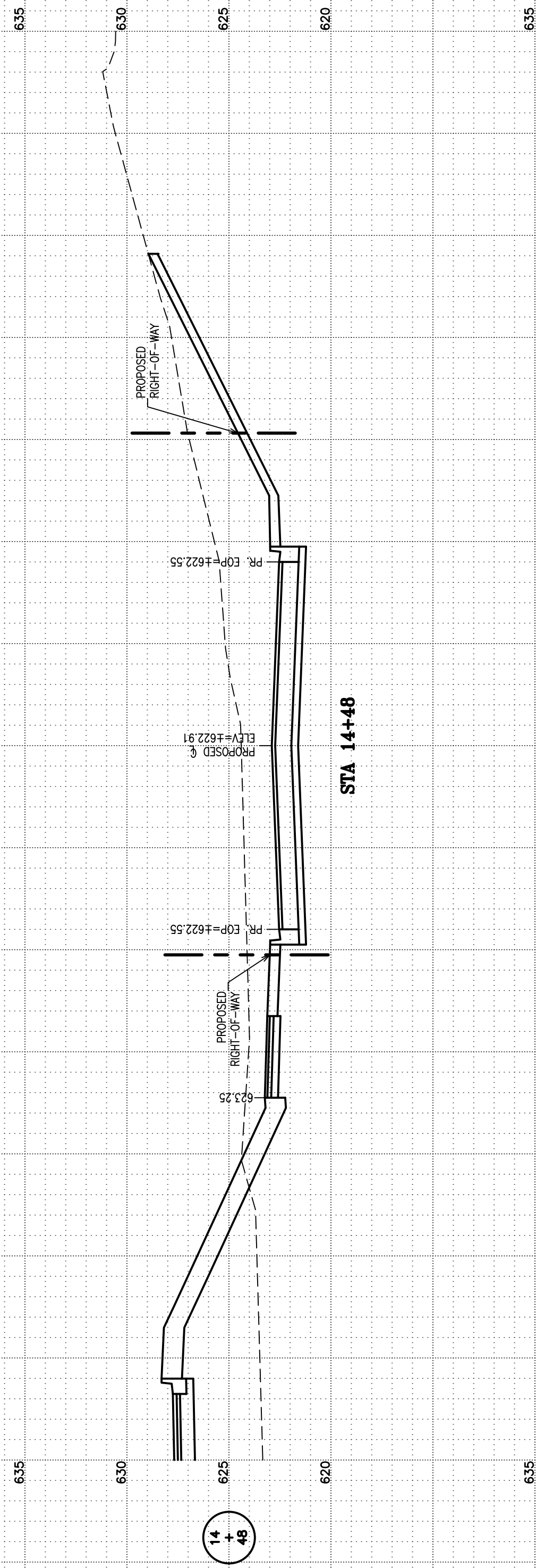
STA 15+00



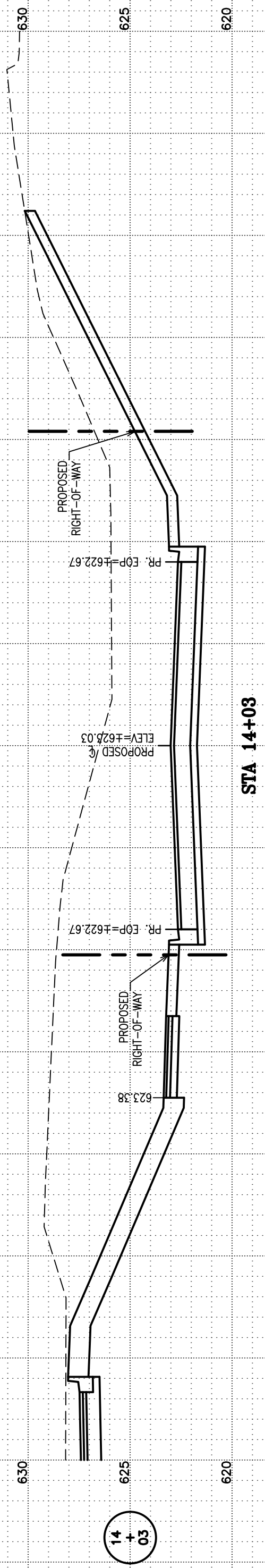
STA 14+93



STA 14+50



STA 14+48



STA 14+03

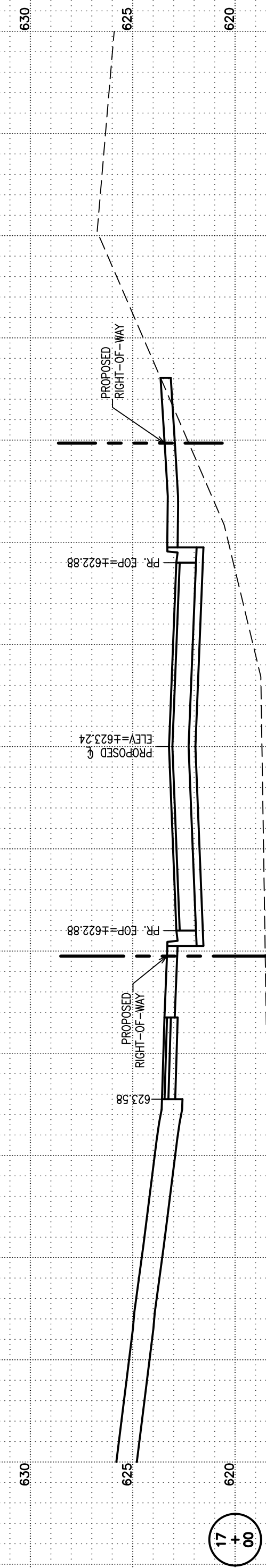
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D190aj  
 H: 1" = 10'  
 V: 1" = 5'  
 C11.6

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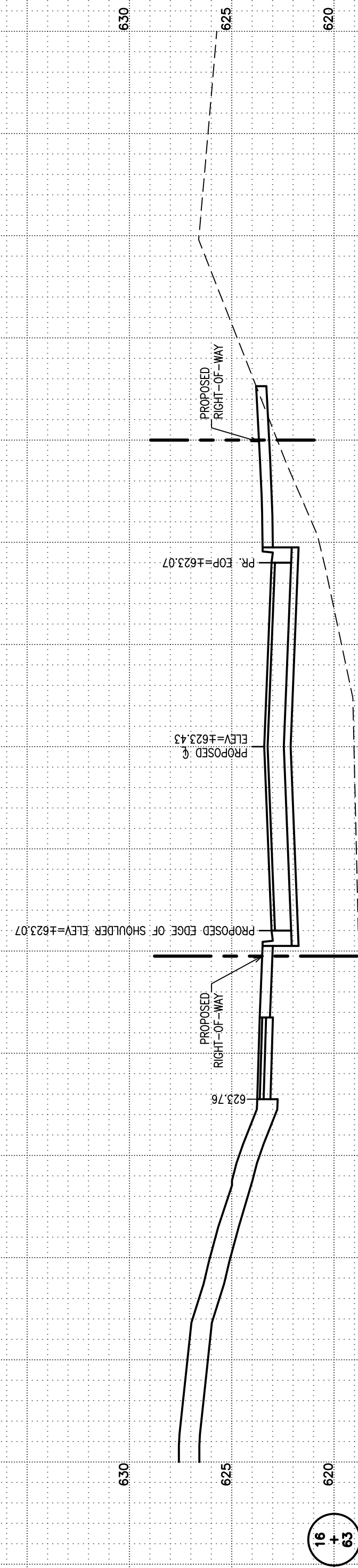
STA. 14+03 - STA. 15+50  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22



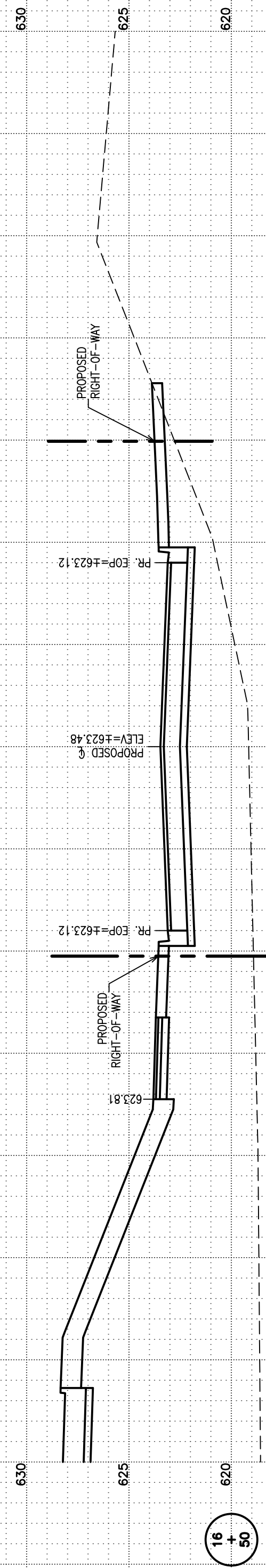
STA 17+00

17  
+  
00



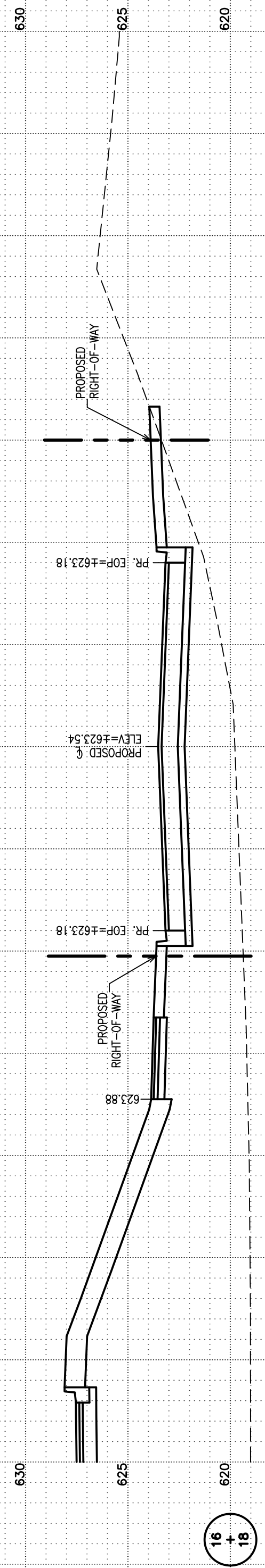
STA 16+63

16  
+  
63



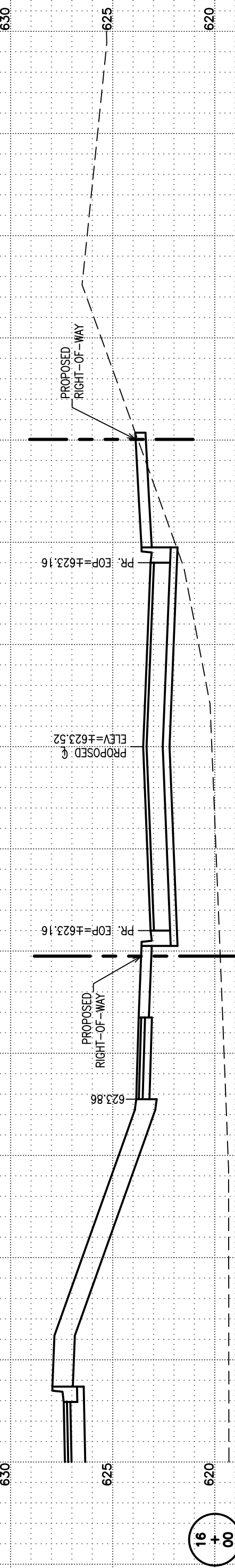
STA 16+50

16  
+  
50



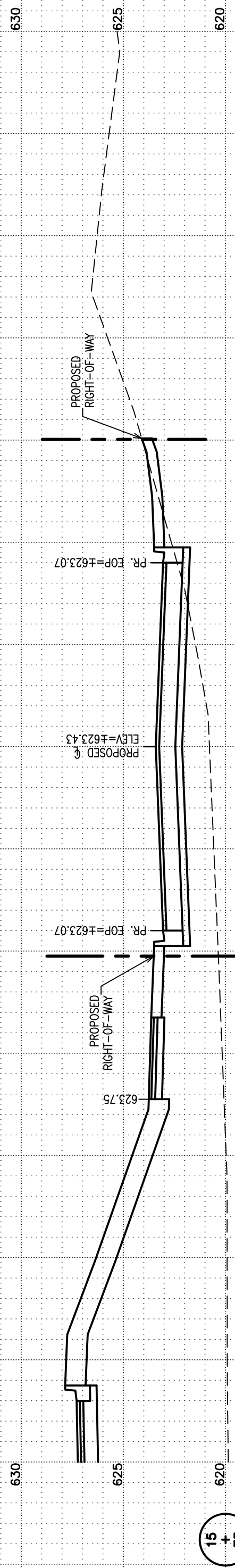
STA 16+18

16  
+  
18



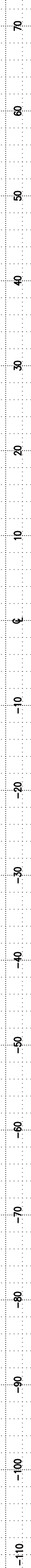
STA 16+00

16  
+  
00



STA 15+73

15  
+  
73

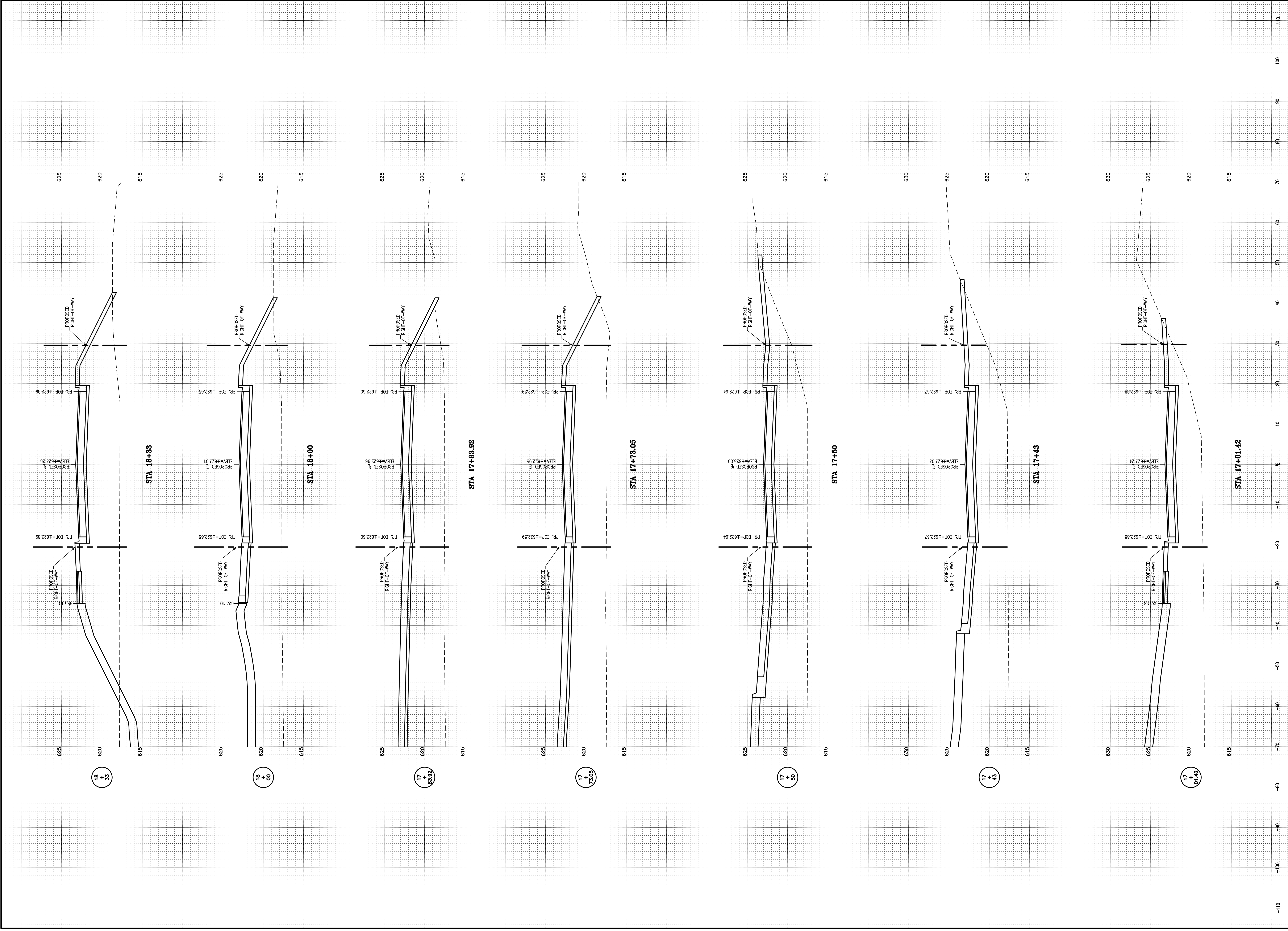


D190aj  
 H: 1" = 10'  
 V: 1" = 5'  
 C11.7

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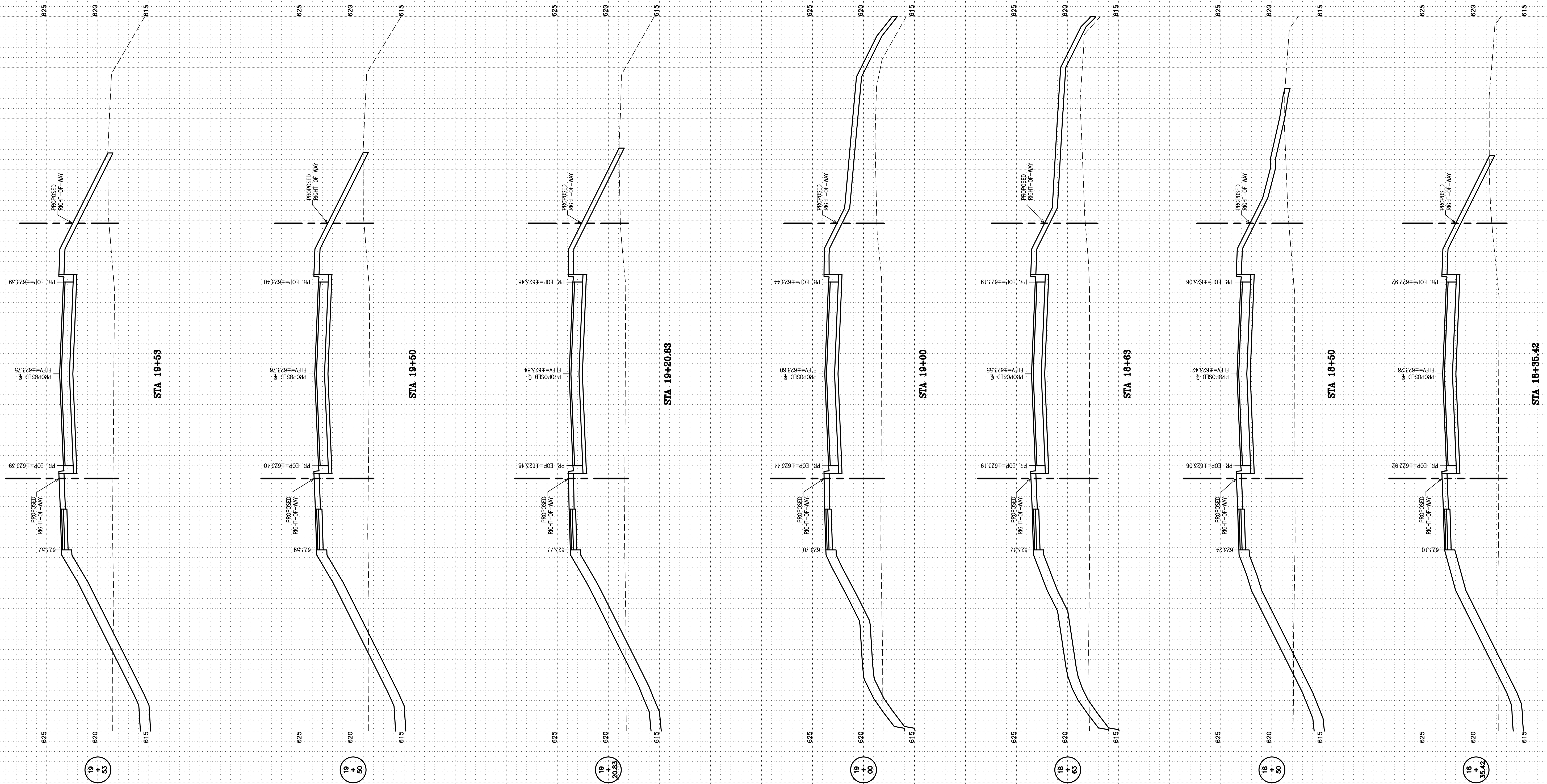
STA. 15+73 - STA. 17+00  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22



D190aj		STA. 17+01.42 - STA. 18+33 PINNACLE DRIVE EXTENSION SOUTHCREEK BUSINESS CENTER PALENCIA PROPERTIES LLC ROMEIOVILLE, ILLINOIS	
H: 1" = 10'	V: 1" = 5'	C11.8	
No.	Date	Description	
4	2/16/23	VILLAGE COMMENTS	
3	9/22/22	VILLAGE COMMENTS	
2	6/8/22	CLIENT REVISIONS	
1	5/27/22	ISSUE FOR REVIEW	



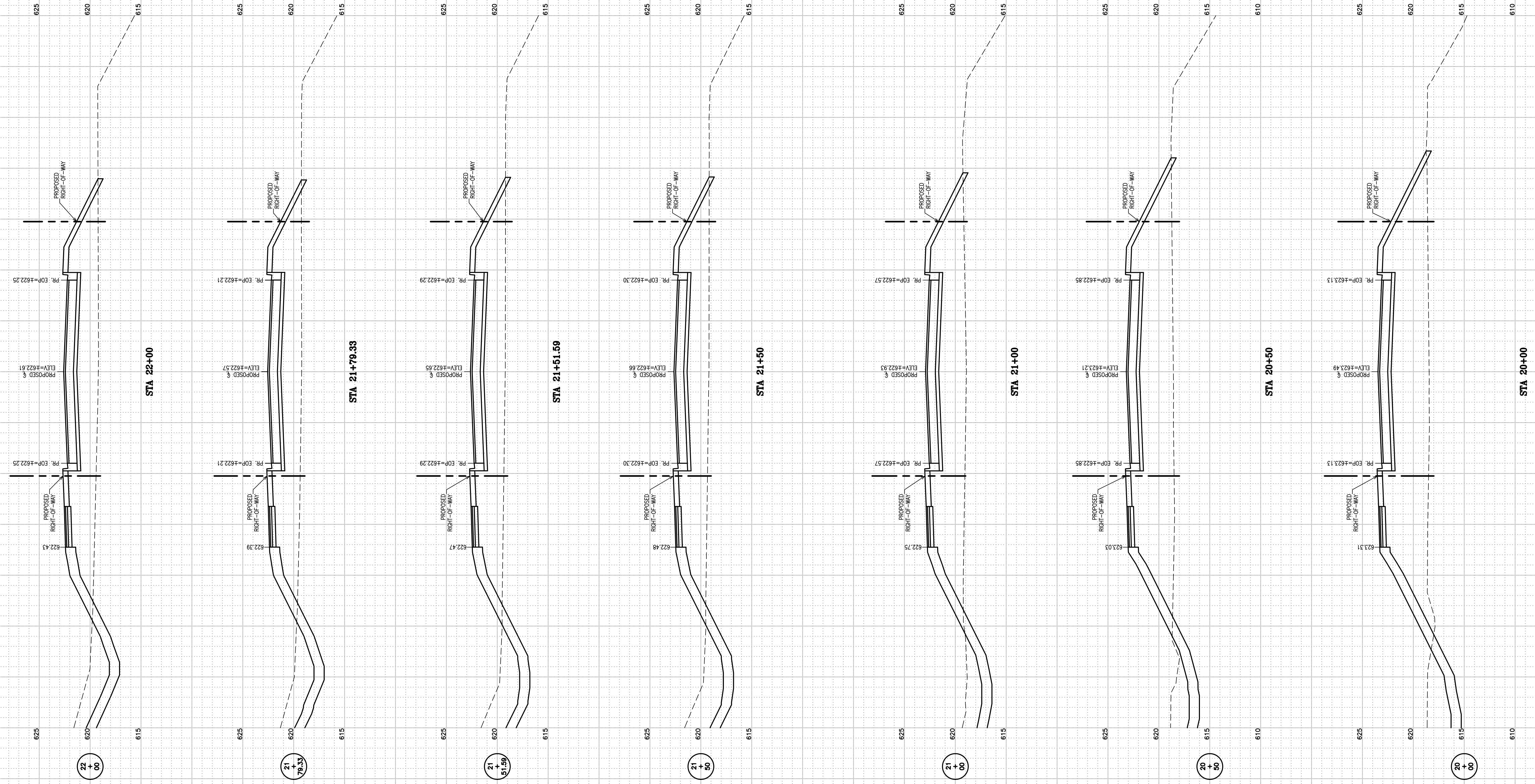


D190aj  
 H: 1" = 10'  
 V: 1" = 5'  
 C11.9

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STA. 18+35.42 - STA. 19+53  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22

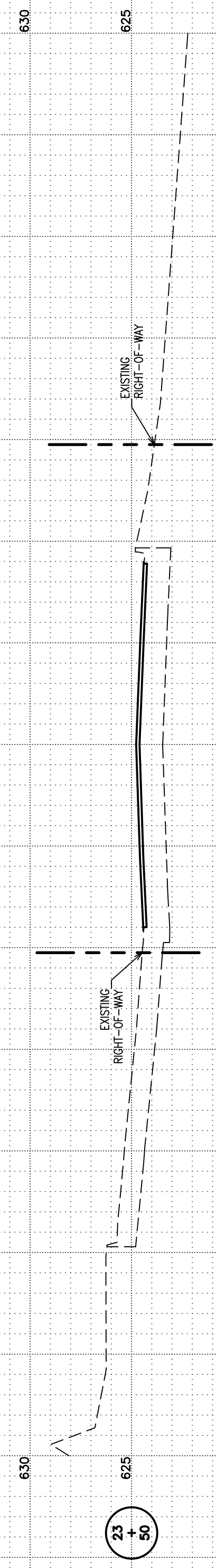


D190aj  
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 V: 1" = 5'  
 C11.10

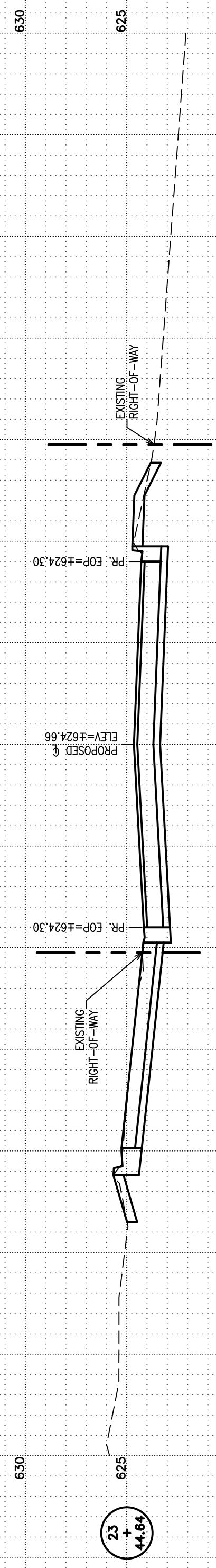
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STA. 20+00 - STA. 22+00  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

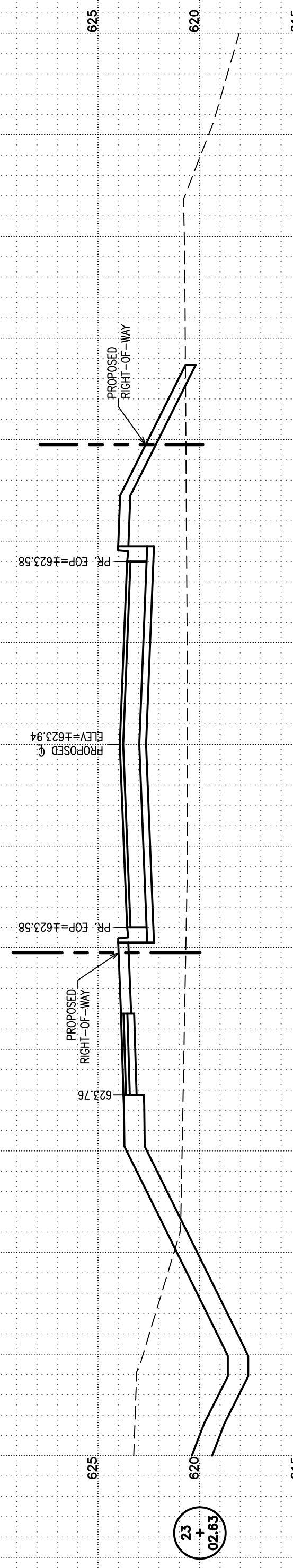
No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22



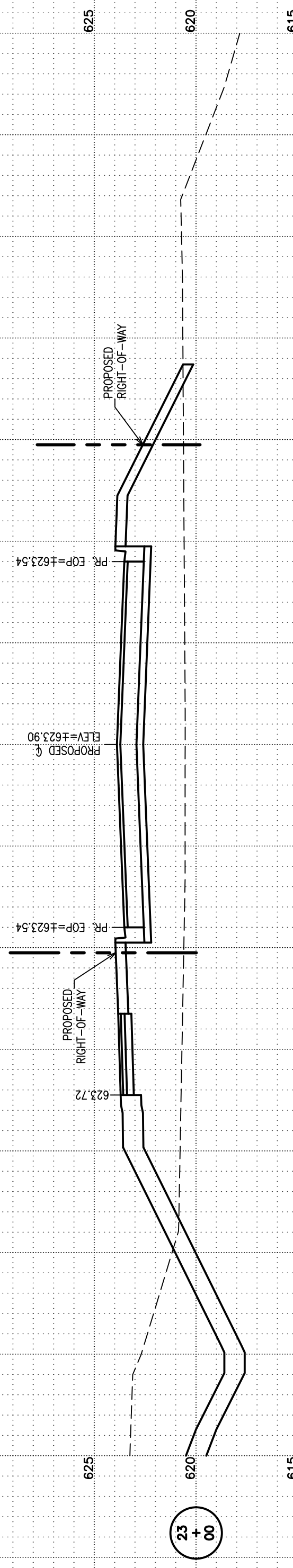
STA 23+50



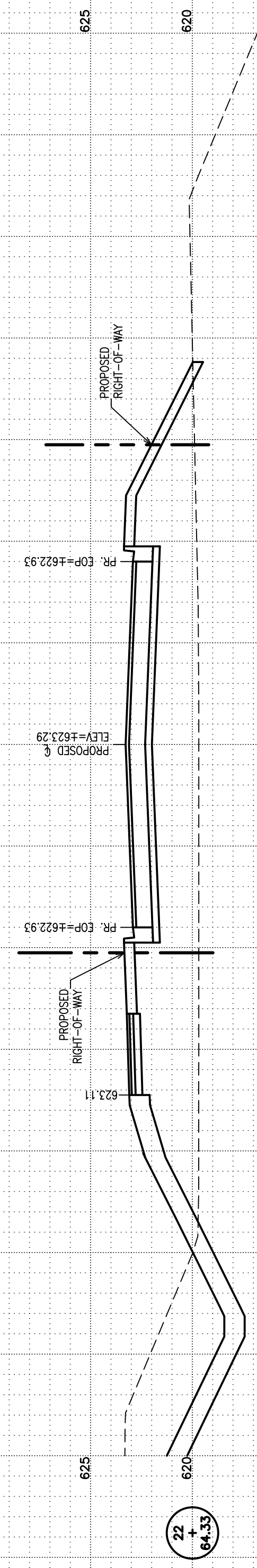
STA 23+44.64



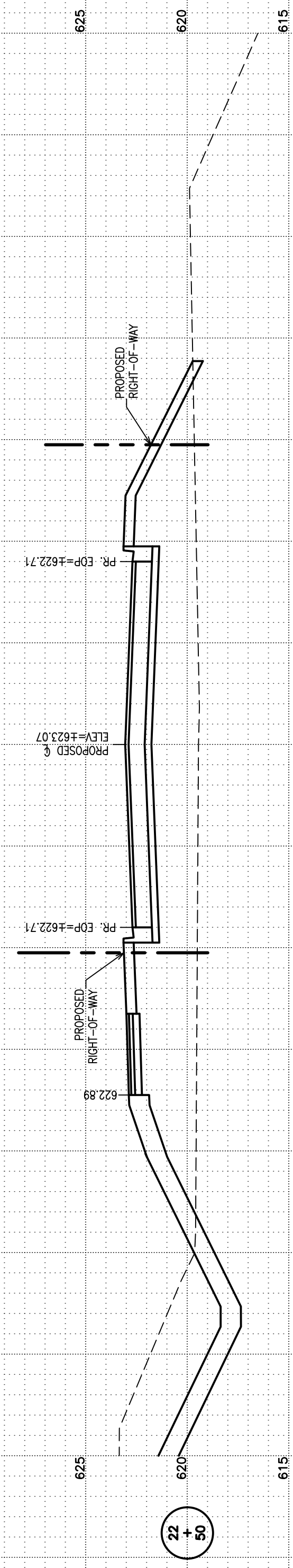
STA 23+02.63



STA 23+00



STA 22+64.33



STA 22+50

-100 -90 -80 -70 -60 -50 -40 -30 -20 -10 0 10 20 30 40 50 60 70 80 90 100 110

D190aj  
 H: 1" = 10'  
 V: 1" = 5'  
 C11.11

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STA. 22+50 - STA. 23+50  
 PINNACLE DRIVE EXTENSION  
 SOUTHCREEK BUSINESS CENTER  
 PALENCIA PROPERTIES LLC  
 ROMEOVILLE, ILLINOIS

No.	Description	Date
4	VILLAGE COMMENTS	2/16/23
3	VILLAGE COMMENTS	9/22/22
2	CLIENT REVISIONS	6/8/22
1	ISSUE FOR REVIEW	5/27/22