

CONCEPT



SITE DATA

Total Lot Size 1.51 Acres (100%)
Total Impervious Area 0.98 Acres (64.9%)
Total Pervious Area 0.53 Acres (35.1%)
*Impervious area is below the 67% threshold; no detention is required

ZONING

Existing M-2; Proposed M-2

PARKING REQUIREMENTS

1 Parking Space per Employee
Required Parking 7 Spaces
Provided Parking 7 Spaces (6 and 1 H/C)

LANDSCAPE REQUIREMENTS, Per Code 159.030

Non-Residential District abutting a Non-Residential District
1 Tree Required for every 75 Ft. of Property Line

North Property Line 300 ft/75 = 4 Req'd Trees.
3 Provided (due to proposed utility easement)
South Property Line 300 ft/75 = 4 Req'd Trees.
4 Provided
East Property Line 220 ft/75 = 3 Req'd Trees.
2 Provided (due to requested access to utility easement)
West Property Line 220 ft/75 = 3 Req'd Trees.
2 Provided (due to proposed utility easement)

Parking Lot Required

60% Frontage Screening
Parking Lot Length (72 ft.) @ 60% Screen = 43.2 Ft. Req'd
54 Ft. Screening provided (75%)

PROPOSED ITEMS

Increase rear utility easement from Existing 10 ft. to Proposed 15 ft. width
Eliminate the "Reserve for Easement" area along North Property Line
Create a 45 ft x 60 ft. Utility Easement for Future Lift Station

PRELIMINARY
ENGINEERING
FOR

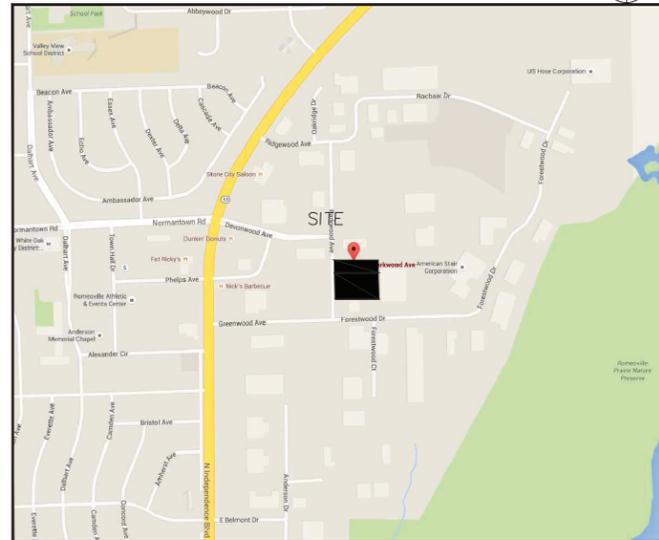
B & W TRUCK REPAIR

667 PARKWOOD AVE.
ROMEDEVILLE, ILLINOIS

INDEX OF PLAN SHEETS

- C 1.0 COVER
- C 2.0 GEOMETRY
- C 3.0 LANDSCAPE PLAN
- C 4.0 BUILDING FLOOR PLANS
- C 5.0 BUILDING ELEVATIONS

SITE LOCATION MAP: 1" = 500'



CONTACTS:

VILLAGE OF ROMEDEVILLE
MR. JOSH POTTER, AICP
ASSISTANT DIRECTOR
1050 WEST ROMEDEVILLE ROAD
ROMEDEVILLE, IL 60446
PH. (815) 886-5024

PLANS PREPARED FOR:

B & W TRUCK REPAIR
MR. ROBERT BROMBEREK
3701 S. IRON STREET
CHICAGO, IL 60609
PH. (630)204-0502

PLANS PREPARED BY:

CM
C.M. Lavoie
& Associates, Inc.

Consulting Civil Engineering
Land Planning & Surveying
1050 State Route 126
Plainfield, Illinois 60544
voice 815-254-0505
fax 815-436-5158

LEGEND

- | | |
|---------|-------------------------------------|
| 0.00' | MEASURED DATA |
| (0.00') | RECORD DATA |
| — | LIMIT OF SURVEY |
| --- | SECTION LINE |
| --- | EXISTING RIGHT-OF-WAY LINE |
| --- | EXISTING CENTER LINE |
| --- | EXISTING EASEMENT LINE |
| --- | EXISTING SETBACK LINE |
| --- | EXISTING CONTOUR LINE |
| --- | PROPOSED CONTOUR |
| --- | EXISTING UNDERGROUND CATV LINE |
| --- | EXISTING UNDERGROUND ELECTRIC LINE |
| --- | EXISTING UNDERGROUND GAS LINE |
| --- | EXISTING OVERHEAD WIRE |
| --- | EXISTING UNDERGROUND SANITARY LINE |
| --- | PROPOSED SANITARY |
| --- | EXISTING UNDERGROUND STORM LINE |
| --- | PROPOSED STORM |
| --- | EXISTING UNDERGROUND TELEPHONE LINE |
| --- | EXISTING UNDERGROUND WATER LINE |
| --- | PROPOSED WATERMAIN |
| --- | EXISTING MONUMENTATION |
| ○ | SET MONUMENTATION |
| □ | EXISTING AIR CONDITIONING UNIT |
| ⊗ | EXISTING B-BOX |
| ➔ | EMERGENCY FLOOD ROUTE |
| ⊕ | EXISTING BORING |
| ⊖ | EXISTING BUSH |
| ⊞ | EXISTING CABLE PEDESTAL |
| ⊚ | EXISTING CATCH BASIN |
| ⊙ | PROPOSED CATCH BASIN |
| ⊘ | EXISTING CLEAN OUT |
| ⊞ | EXISTING CULVERT |
| ⊞ | EXISTING DRAIN |
| ⊞ | EXISTING ELECTRIC MANHOLE |
| ⊞ | EXISTING ELECTRIC METER |
| ⊞ | EXISTING ELECTRIC PEDESTAL |
| ⊞ | PROPOSED FIRE HYDRANT |
| ⊞ | EXISTING FIRE HYDRANT |
| ⊞ | EXISTING FLAG POLE |
| ⊞ | PROPOSED FLARED END SECTION |
| ⊞ | EXISTING FLARED END SECTION |
| ⊞ | EXISTING GAS METER |
| ⊞ | EXISTING GAS VALVE |
| ⊞ | EXISTING GROUND LIGHT |
| ⊞ | EXISTING GUY WIRE |
| ⊞ | EXISTING HAND HOLE |
| ⊞ | EXISTING HANDICAPPED PARKING SPACE |
| ⊞ | PROPOSED INLET |
| ⊞ | EXISTING INLET |
| ⊞ | EXISTING LIGHT STANDARD |
| ⊞ | EXISTING MAILBOX |
| ⊞ | PROPOSED MANHOLE |
| ⊞ | EXISTING MANHOLE |
| ⊞ | EXISTING POWER POLE |
| ⊞ | EXISTING POWER POLE W/ LIGHT |
| ⊞ | EXISTING POWER POLE W/ TRANSFORMER |
| ⊞ | EXISTING SIGN |
| ⊞ | EXISTING STUMP |
| ⊞ | EXISTING TELEPHONE MANHOLE |
| ⊞ | EXISTING TELEPHONE PEDESTAL |
| ⊞ | EXISTING TRAFFIC LIGHT |
| ⊞ | EXISTING TRAFFIC PEDESTAL |
| ⊞ | EXISTING TRANSFORMER |
| ⊞ | EXISTING TREE |
| ⊞ | EXISTING VALVE BOX |
| ⊞ | PROPOSED VALVE AND VAULT |
| ⊞ | EXISTING VALVE VAULT |
| ⊞ | EXISTING WATER VALVE |
| ⊞ | EXISTING WELL |
| ⊞ | EXISTING WETLAND FLAGS |

LEGAL DESCRIPTION

LOT 3 IN ROMEDEVILLE INDUSTRIAL PARK, UNIT ONE, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 18, 1986 AS DOCUMENT NO. R86-42585, IN WILL COUNTY, ILLINOIS.

SITE BENCHMARK

ON-SITE BENCHMARKS:

BENCHMARK #1
CUT CROSS SET AT BACK OF CURB, WEST CURB OF PARKWOOD AVENUE 31 FEET SOUTH OF NORTH WEST CORNER OF LOT 3.
ELEVATION 606.14 (NAVD88)

BENCHMARK #2
34 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 3.
ELEVATION (NAVD 88)

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CURRENT REVISION DATE: _____

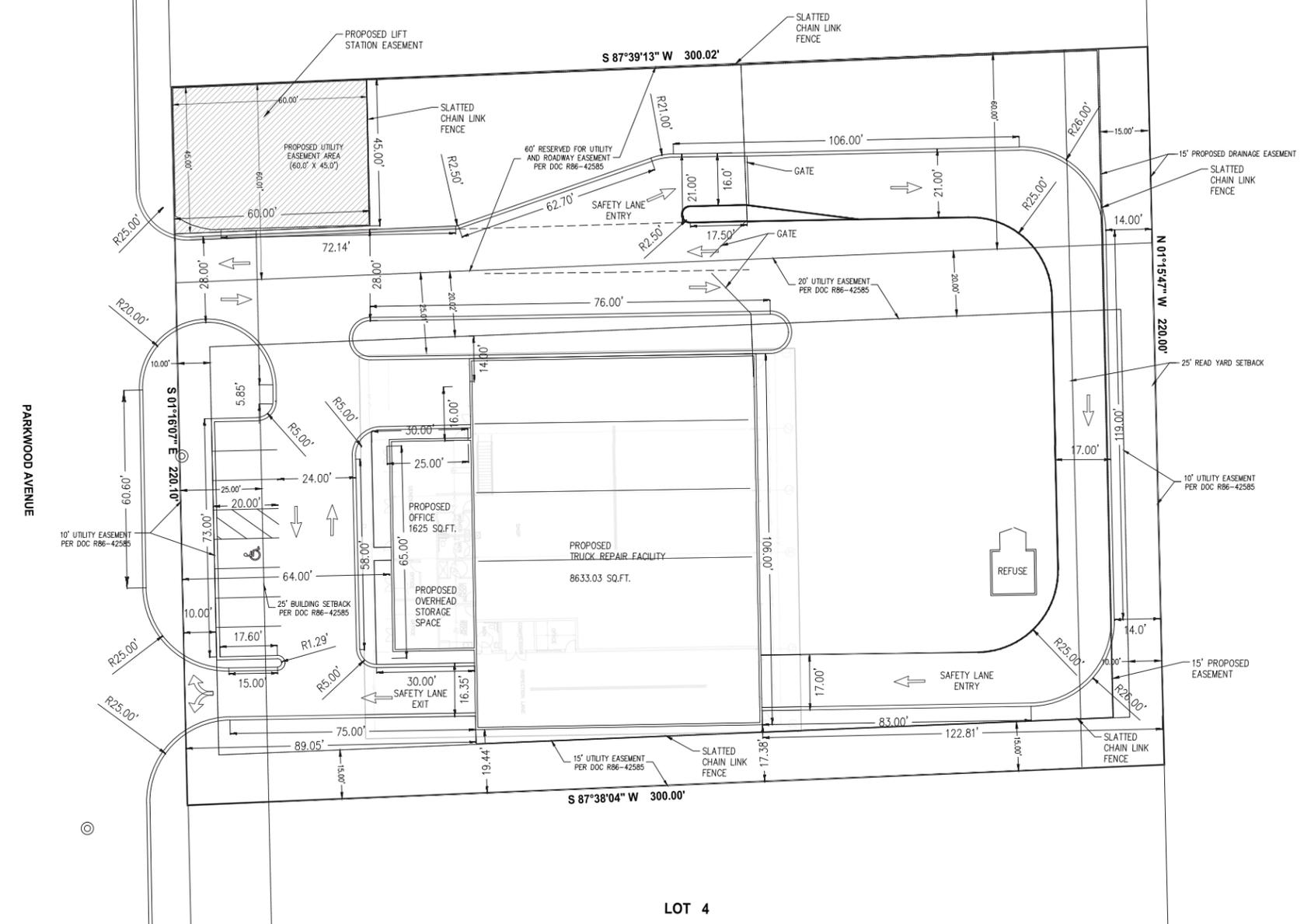
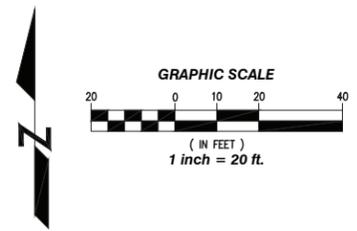
I, CHRISTOPHER M. LAVOIE, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY C.M. LAVOIE AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION.



ILLINOIS PROFESSIONAL ENGINEER NO. 062-049582
(EXPIRES 11/30/17)

TO ENSURE AUTHENTICITY OF THIS DRAWING, IT MUST BEAR THE EMBOSSED SEAL OF THE LICENSEE WHO PREPARED THE DRAWING.

PROJECT NUMBER: 16-156



DEVELOPMENT SUMMARY

TOTAL SITE AREA = 1.515 AC.
 EXISTING ZONING: M-2 (HEAVY MANUFACTURING DISTRICT)
 PROPOSED ZONING: M-2

BUILDING SETBACKS

FRONT YARD - 25 FOOT (MINIMUM)
 SIDE YARD - 20 FOOT (MINIMUM)
 BACK YARD - 25 FOOT (MINIMUM)

PROPOSED IMPERVIOUS AREA: 43013.68 S.F. (65.16%)
 PROPOSED PERVIOUS AREA: 22992.60 S.F. (34.83%)

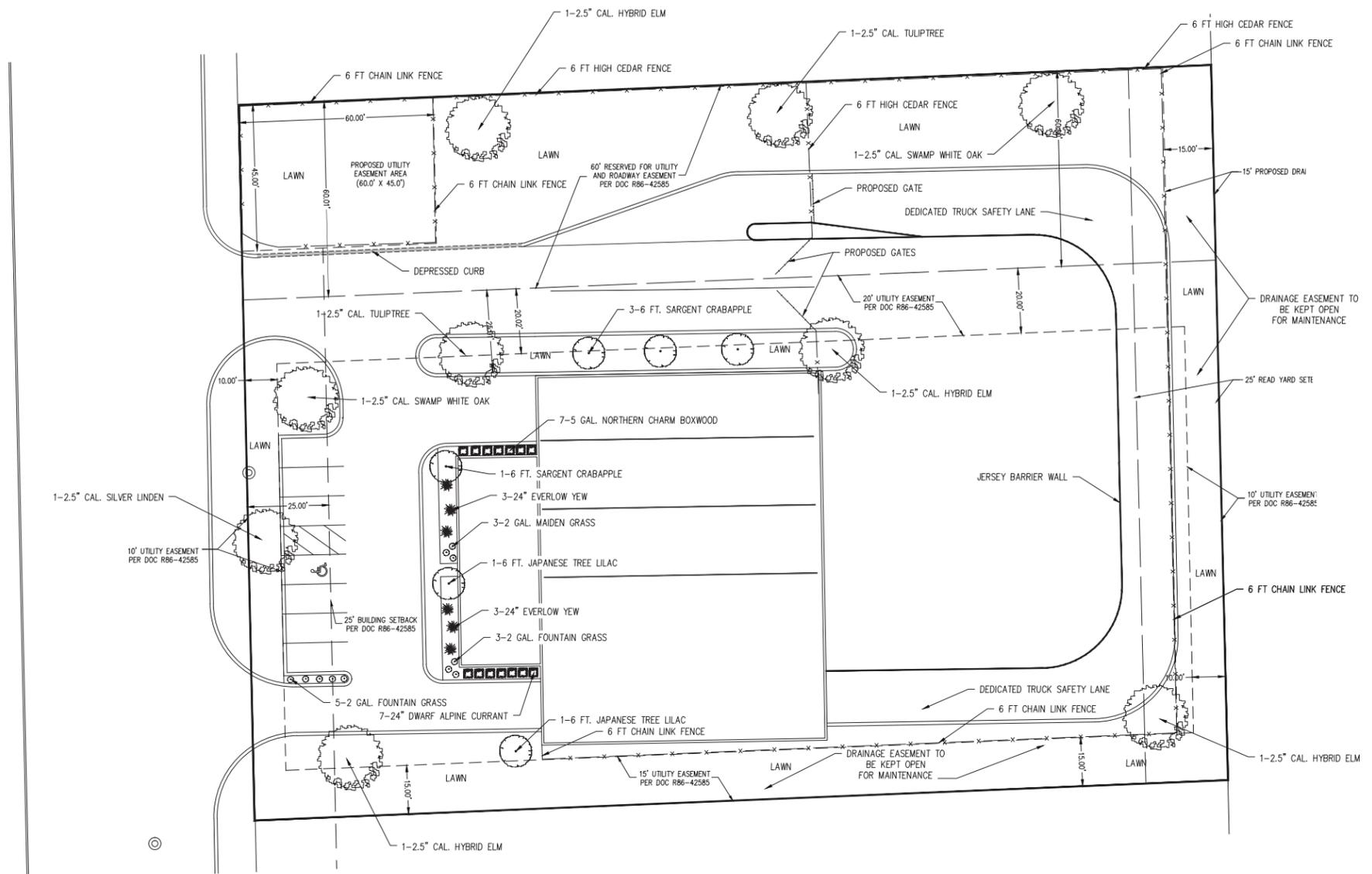
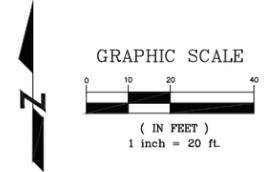
SITE IS BELOW THE 66% IMPERVIOUS REQUIREMENT FOR DETENTION, THUS DETENTION NEED NOT BE PROVIDED.

PARKING SUMMARY

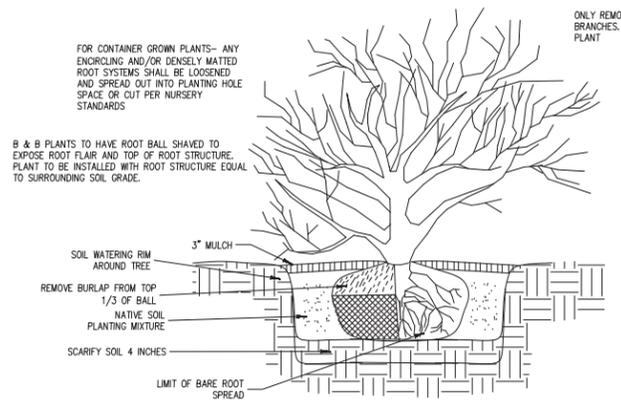
REQUIRED PARKING SPACES: 1 PER EMPLOYEE
 PROVIDED PARKING SPACES: 7 (INCLUDING 1 ADA SPACE)

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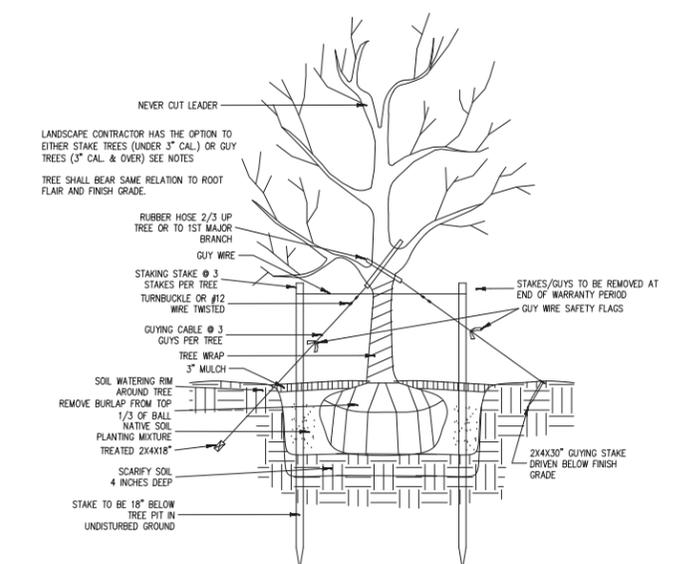
R & W REPAIR 667 PARKWOOD AVENUE ROMEOVILLE, ILLINOIS		DRAWN BY: TEP	CHECKED BY: CML																															
		SCALE: 1"=20'	DATE: 04/15/2016																															
GEOMETRIC PLAN		JOB NUMBER: 16-156	SHEET: C 08.0																															
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		Consulting Civil Engineering Land Planning & Surveying 1050 State Route 126 Plainfield, Illinois 60544 voice 815-254-0505 fax 815-436-5158																																



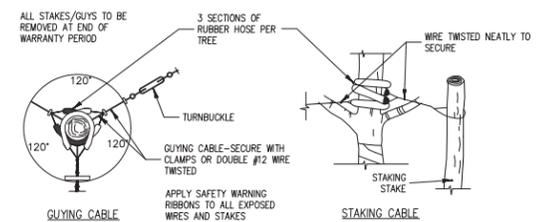
- NOTES:**
- FOR MASTER LEGEND SEE GENERAL NOTES SHEET 3.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ELECTRIC LINES, TELEPHONE LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK.
 - NORTH ARROW AND BEARINGS BASED ON ILLINOIS STATE PLANE COORDINATES, NAD83 (2007), EAST ZONE.
 - ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - CONTRACTOR MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE VILLAGE OF ROMEOVILLE.
 - ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY VILLAGE OF ROMEOVILLE.
 - ALL MATERIALS MUST MEET INDUSTRY STANDARDS. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
 - LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
 - ALL PLANTING SHALL BE SPACED EQUAL DISTANT, BACKFILLED WITH EXCAVATED SOIL, WATERED, AND FERTILIZED.
 - TREES MAY BE STAKED AND GUYED, WILL HAVE A WATERING SAUCER AT BASE, AND WILL HAVE NURSERY TAGS WITH THE SPECIES NAME FOR FUTURE IDENTIFICATION. CONTRACTOR IS RESPONSIBLE TO ENSURE TREES ARE PLUMB AT END OF WARRANTY PERIOD AND ARE STABLE IN THE ROOT BALL. ANY TREES NOT PLUMB OR ARE LOOSE IN THE ROOT BALL WILL BE REJECTED. IF STAKING MATERIALS ARE USED, CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND OFF SITE DISPOSAL AT END OF WARRANTY PERIOD.
 - ALL BEDS TO BE BERMED 12" TO 24" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS.
 - LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED FREE OF CLUMPS AND DEBRIS.
 - SOD SHALL BE ROLLED IMMEDIATELY AFTER LAYING AND WATER APPLIED. SOD SHALL BE STAKED ON SLOPES GREATER THAN 4:1, USING WOOD STAKES.
 - ALL BEDS SHALL BE SPADE EDGED, HAVE WEED PRE-EMERGENTS APPLIED AT THE RECOMMENDED RATE, AND SHREDDED HARDWOOD MULCH SPREAD A MINIMUM OF 3" TO 4" DEEP.
 - IRRIGATION SYSTEM, IF REQUIRED, SHALL BE SET TO RUN AS PER THE LOCAL AUTHORITIES WATER SCHEDULE.
 - ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OFF SITE.
 - ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD AS A GROUND COVER, UNLESS OTHERWISE NOTED.
 - ALL EXISTING TREES OF HIGH QUALITY, LOCATED OUTSIDE OF THE CONSTRUCTION ZONE, SHALL BE SAVED.
 - SIZE AND GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - ALL PLANT MATERIALS SHALL BE NORTHERN ILLINOIS NURSERY GROWN STOCK AND SHALL BE FREE OF ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. SUBMIT TO LANDSCAPE ARCHITECT LISTING OF MATERIALS AND NURSERY WHERE GROWN.
 - TREES NOT EXHIBITING A CENTRAL (OR SINGLE) LEADER WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT LIST AS MULTISTEM.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO ANY UTILITIES CAUSED BY HIS WORK ON THE SITE.
 - TREE PROTECTION SHALL MEET THE VILLAGE OF ROMEOVILLE'S TREE PROTECTION STANDARDS.
 - LANDSCAPE MATERIALS ARE TO BE WARRANTED FOR 1 YEAR AFTER FINAL ACCEPTANCE BY OWNER. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO SUBMIT TO LANDSCAPE ARCHITECT LETTER OF SUBSTANTIAL COMPLETION, INCLUDING DATE OF COMPLETION. ANY MATERIALS NOT IN CONFORMANCE TO VILLAGE STANDARDS WILL BE REPLACED AT CONTRACTOR EXPENSE AND GUARANTEED FOR ONE ADDITIONAL GROWING SEASON.



SHRUB PLANTING N.T.S.



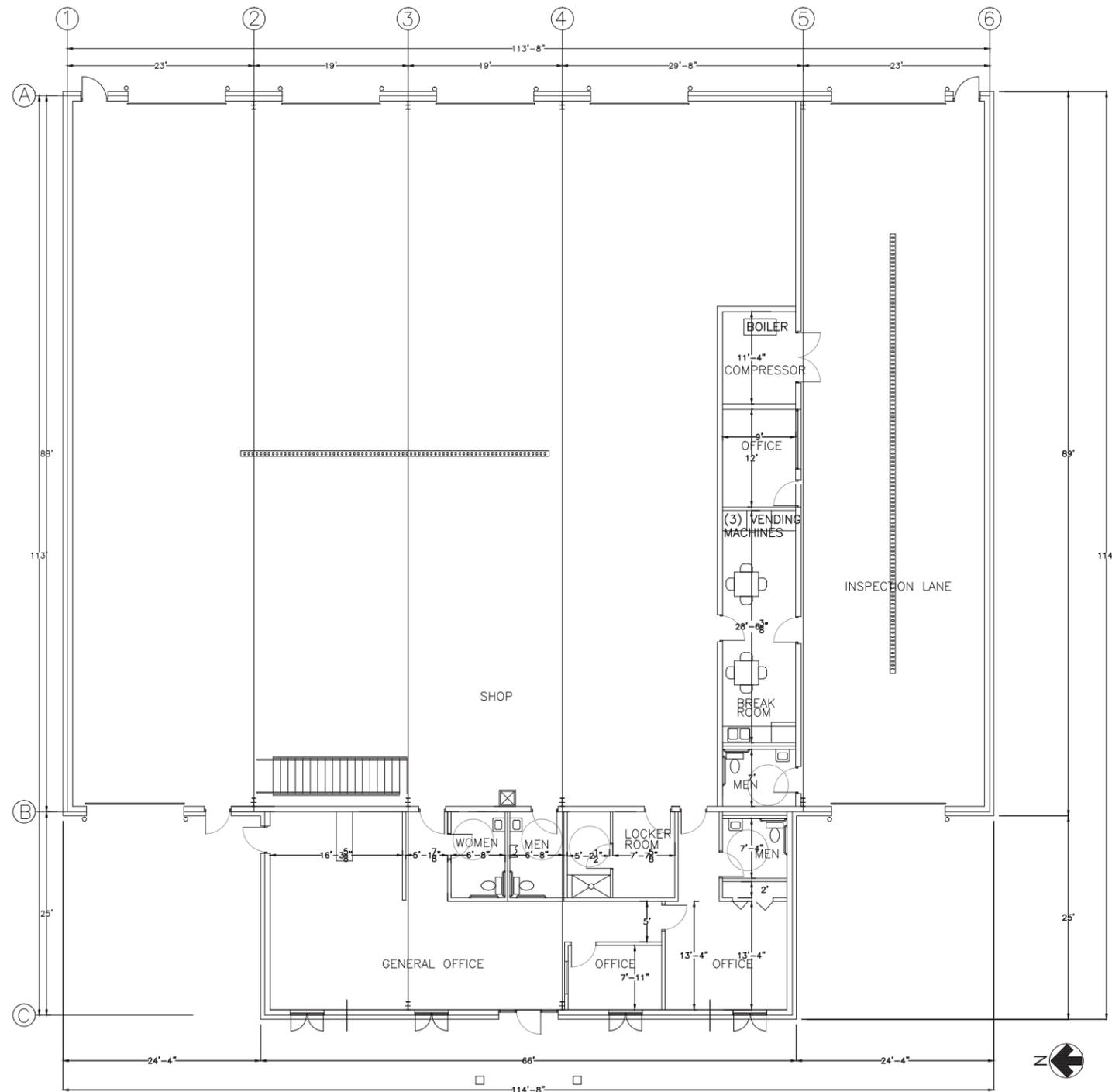
DECIDUOUS TREE PLANTING N.T.S.



GUYING AND STAKING CABLE N.T.S.

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		SCALE: 1"=20'	DATE: 04/15/2016
LANDSCAPE PLAN		JOB NUMBER: 16-156	SHEET: C 12.0
		DATE	DESCRIPTION
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		# DATE DESCRIPTION	
		# DATE DESCRIPTION	
		# DATE DESCRIPTION	



FLOOR PLAN
SCALE 1/8" = 1'-0"

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R & W REPAIR

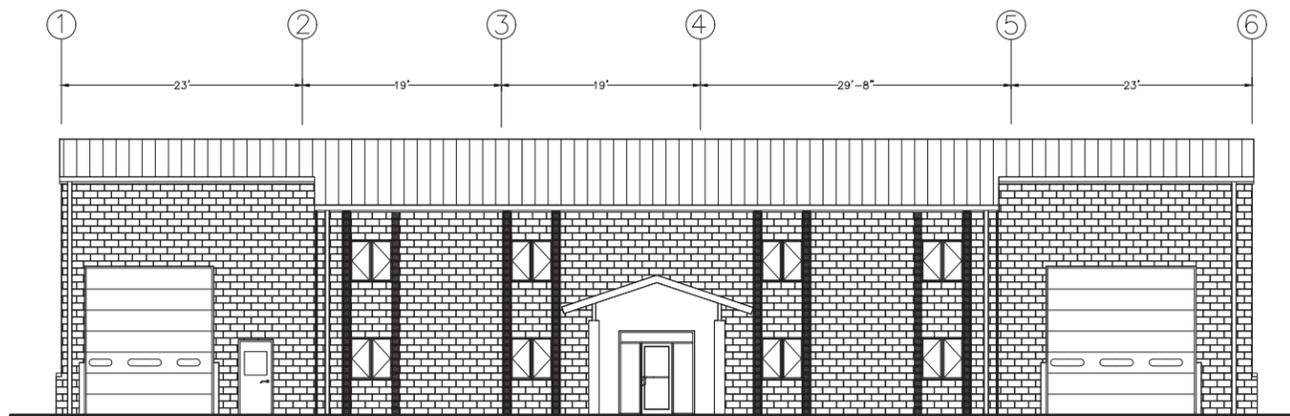
667 PARKWOOD AVENUE
ROMEIOVILLE, ILLINOIS

BUILDING FLOOR PLANS

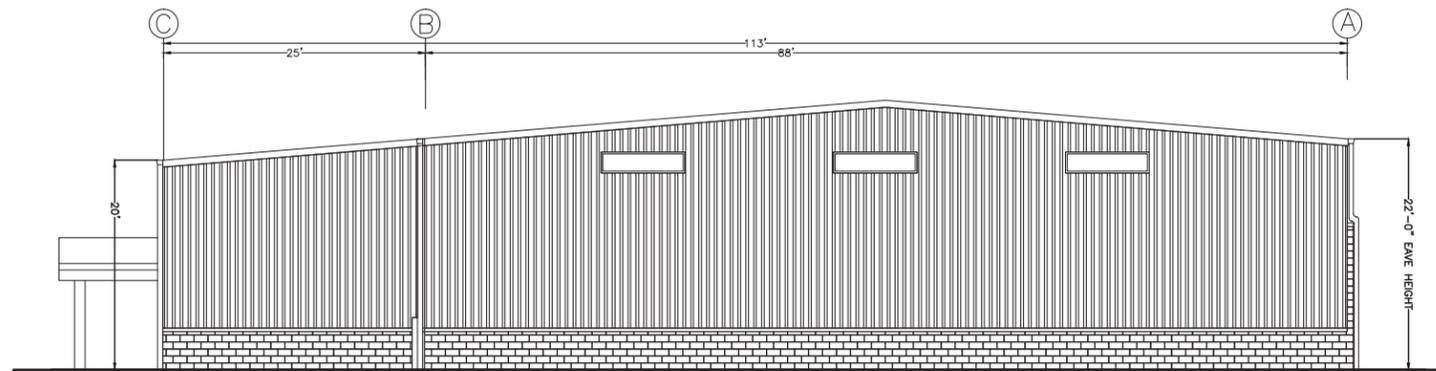


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Land Planning & Surveying
1050 State Route 126
Plainfield, Illinois 60544
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fax 815-436-5158

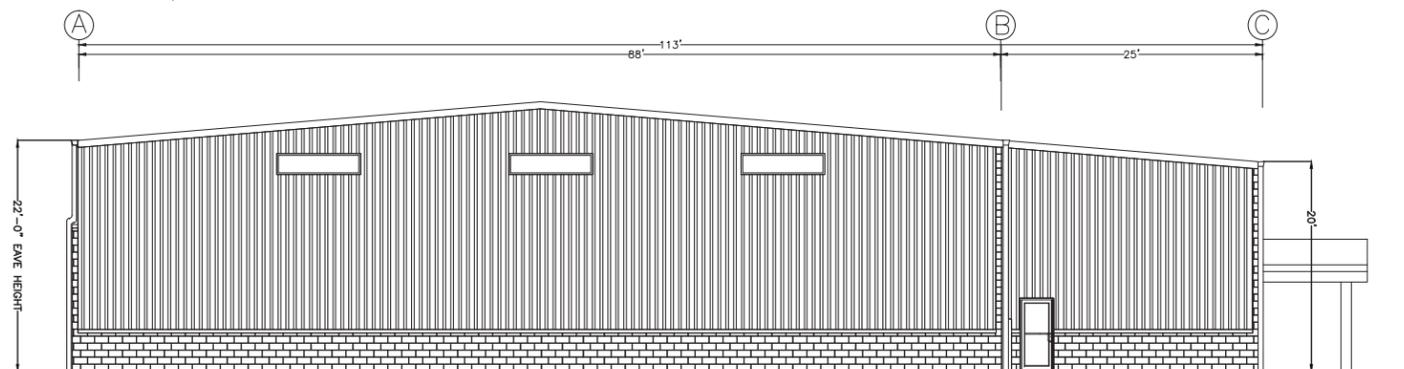
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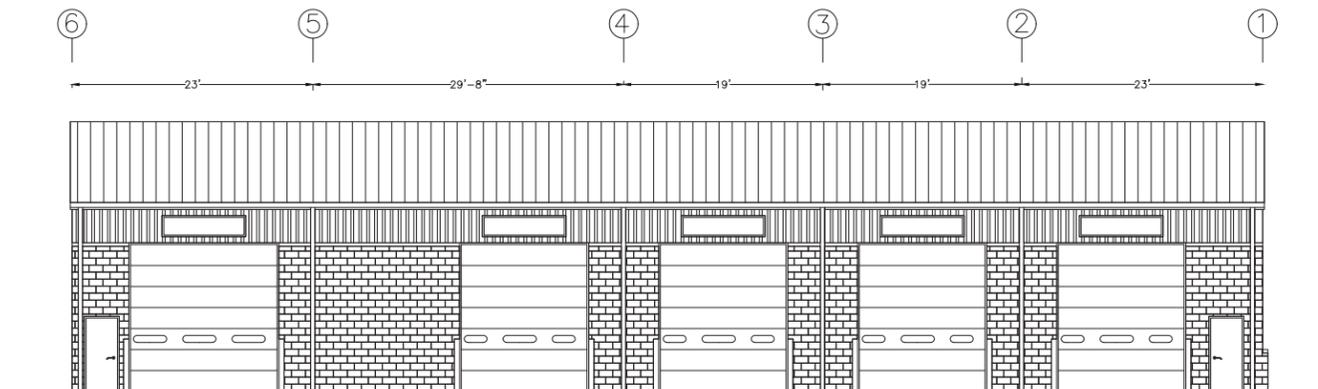
WEST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"

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R & W REPAIR

867 PARKWOOD AVENUE
ROMEIOVILLE, ILLINOIS

BUILDING ELEVATIONS

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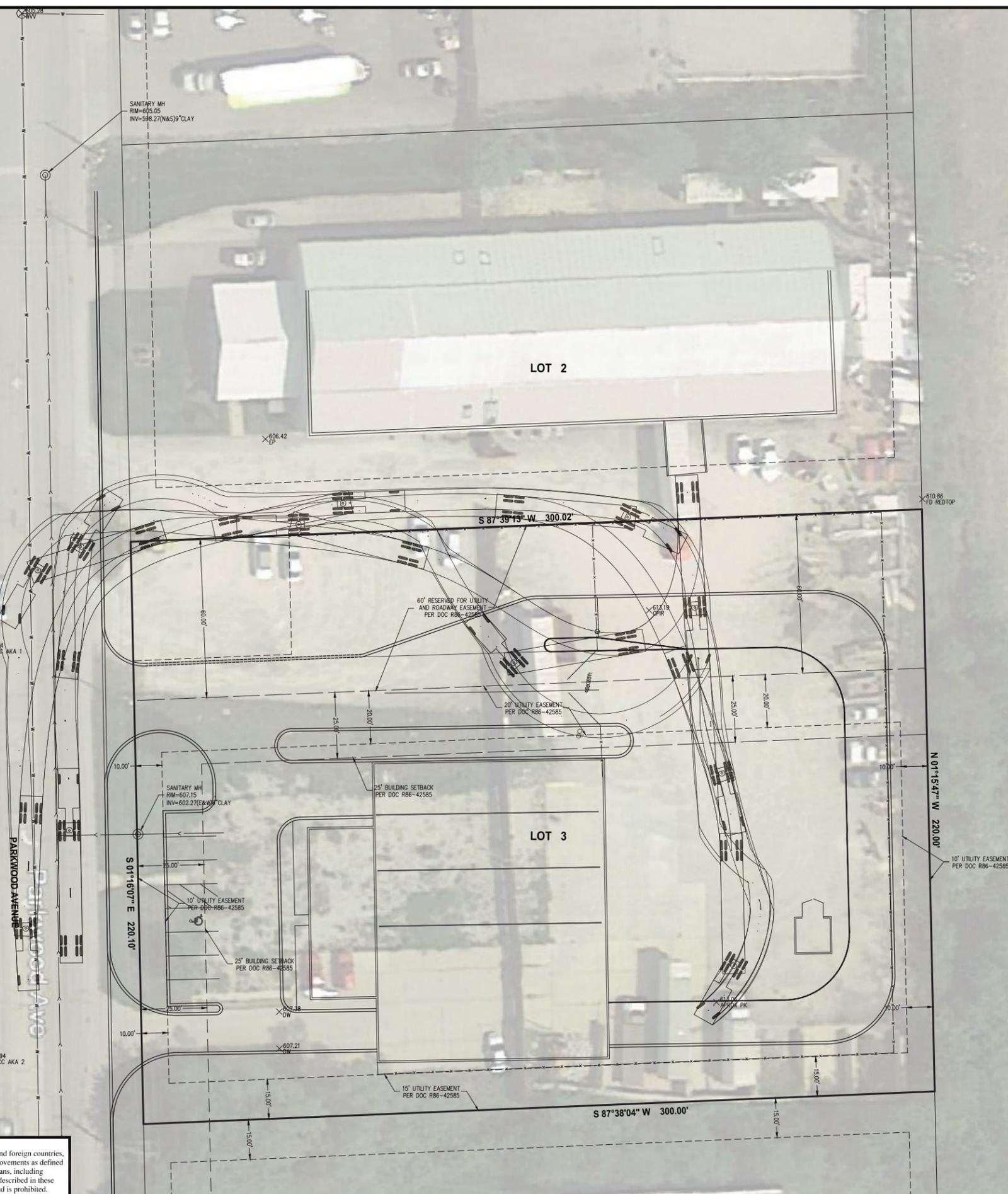
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Land Planning & Surveying
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 ROMEVILLE, ILLINOIS

EXISTING TRUCK MOVEMENT

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