

# PROPOSED ZONING LEGEND

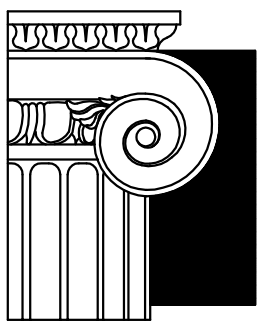
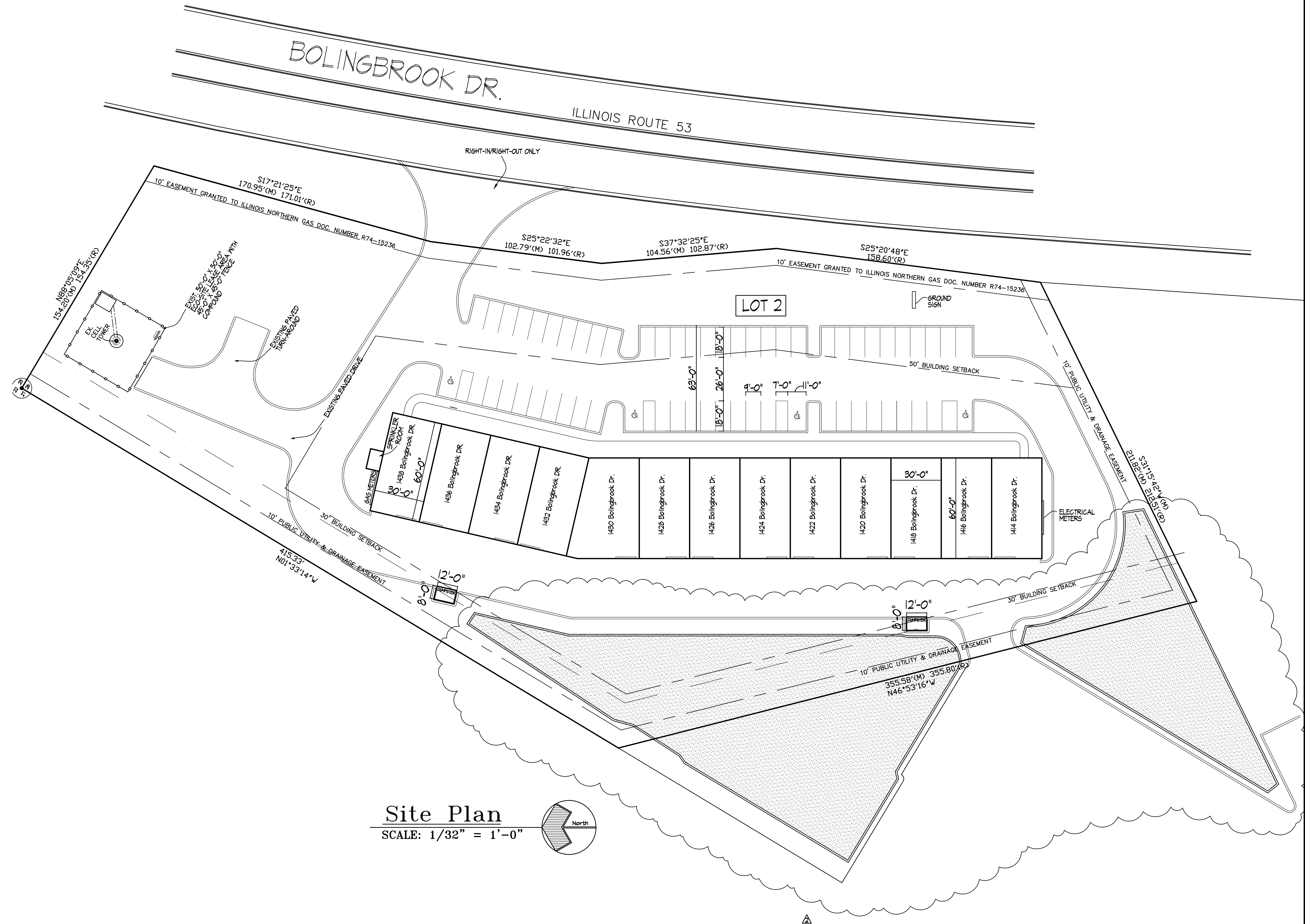
PROPERTY ZONING:	P-B PLANNED BUSINESS USE (CURRENT USE B-3)	
PROPERTY USE:	BUSINESS OFFICE & WAREHOUSE	
TOTAL LOT SIZE:	9.34 ACRES (403,881 SF.)	
	ALLOWED	ACTUAL
LOT COVERAGE (BUILDING)	60% (81,232.86 SF.)	17.2% (24,964.88 SF.)
IMPERVIOUS SURFACE	60% (81,232.86 SF.)	40.3% (58,581.31 SF.)
LOT COV. + IMPERV. SURF.	88% (123,571.88 SF.)	57.5% (83,546.14 SF.)
GREENSPACE:	15% (21,808.22 SF.)	42.5% (61,841.96 SF.)
F.A.R.:	0.60 (81,232.86 SF.)	17.2% (24,964.88 SF.)
BUILDING HEIGHT:	3 STORIES OR 50'	28'-2"

# PARKING REQUIREMENTS

BUILDING AREA:	AREA	PARKING
OFFICE/WAREHOUSE:	24,884.56 SF.	34 (3 PER UNIT)
	REQUIRED	ACTUAL
TOTAL PARKING:	34	67 SPACES (4 HANDICAP)
LOADING SPACES:	N/A	13 (1 PER UNIT)

# SETBACKS

BUILDING SETBACKS	ALLOWED	ACTUAL
FRONT:	50'-0"	46.33'
NORTH SIDE:	20'-0"	146.4'
SOUTH SIDE:	20'-0"	34.02'
REAR:	30'-0"	52.9'
PARKING SETBACKS		
FRONT:	35'-0"	31.54'
NORTH SIDE:	10'-0"	206.35'
SOUTH SIDE:	10'-0"	40.46'
REAR:	10'-0"	N/A
GARBAGE ENCLOSURE:	N/A	46 SF.



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A New Building For:  
**LDD Business Center**  
Bolingbrook Drive  
Romeoville, IL 60446

File No: 16-2362 Date: 8-1-18

Checked: R.M.K. Drawn: J.M.G. / M.J.H.

11/21/18	VILLAGE CODE REVIEW
2/1/19	CODE CHANGE
	CODE CHANGE
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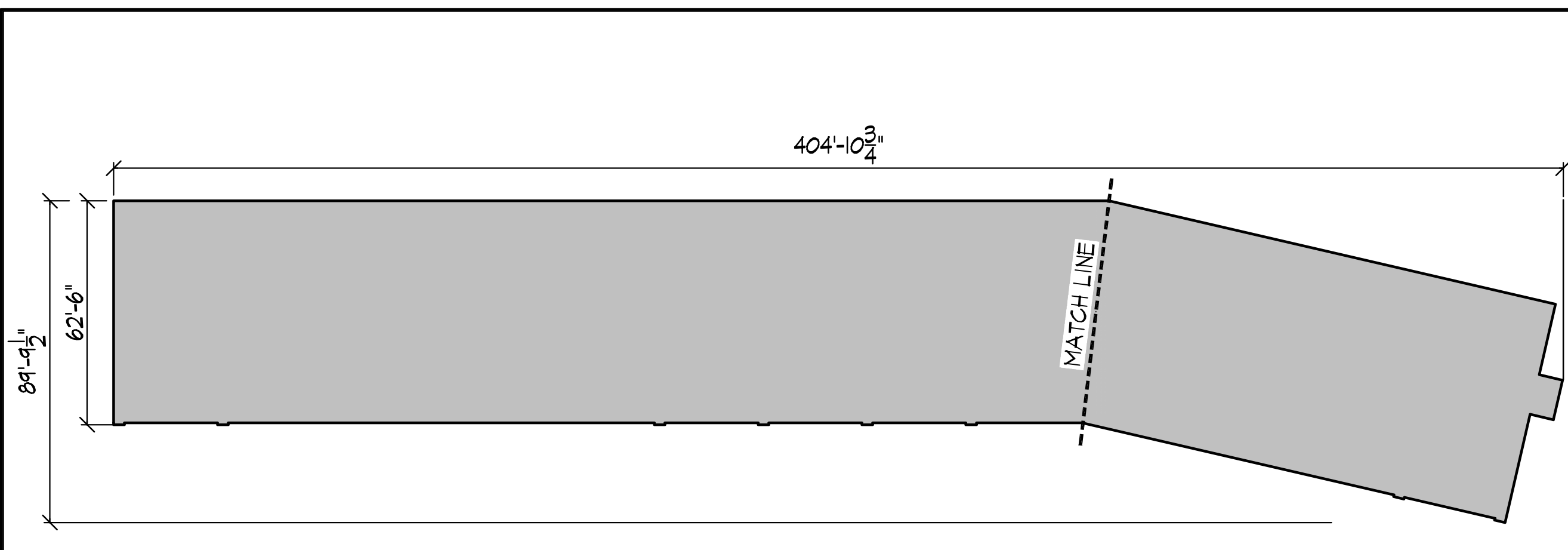
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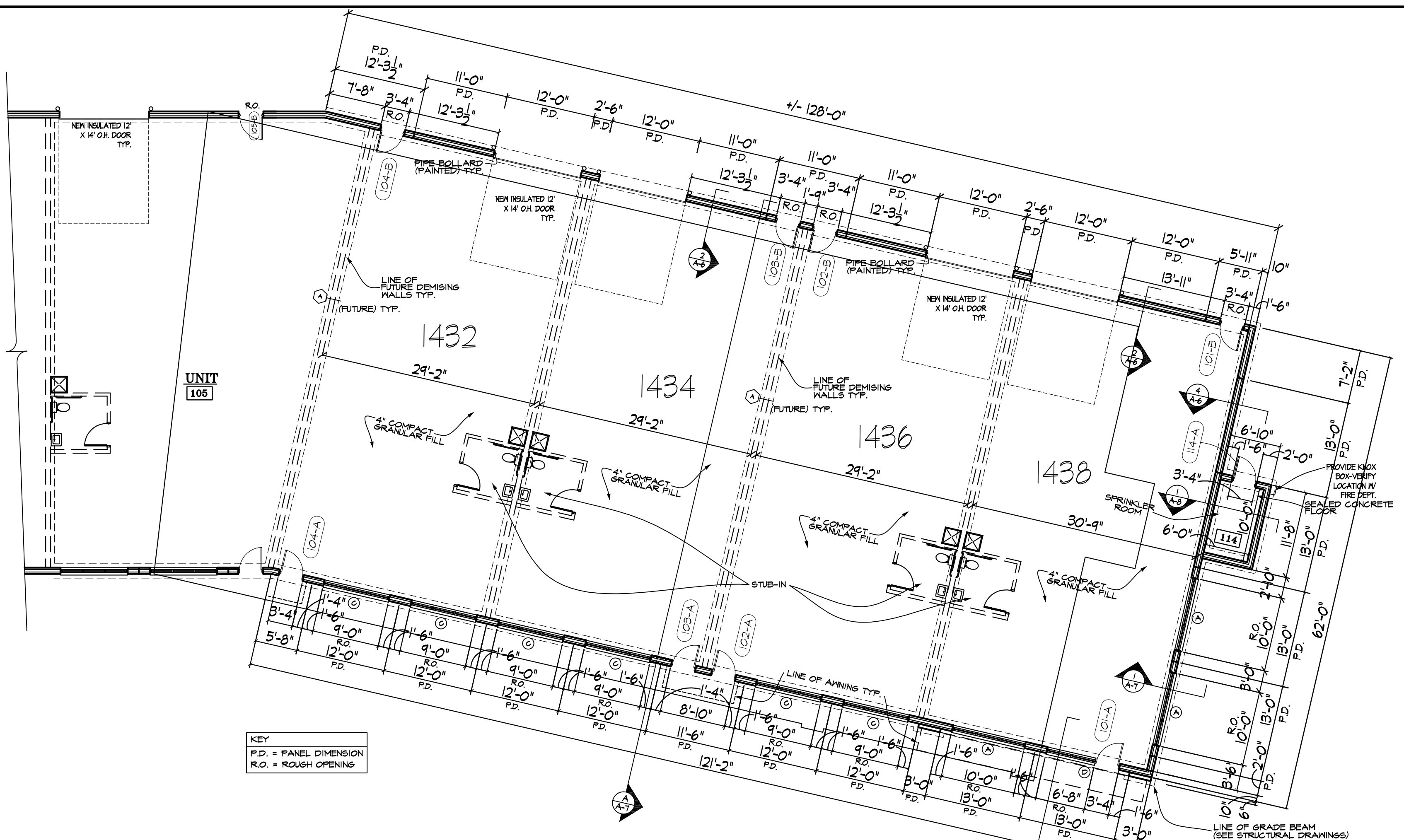
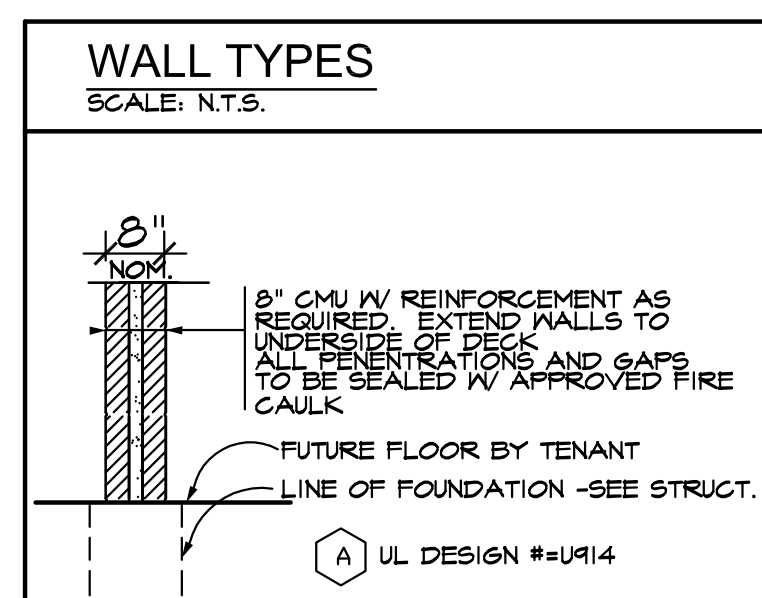
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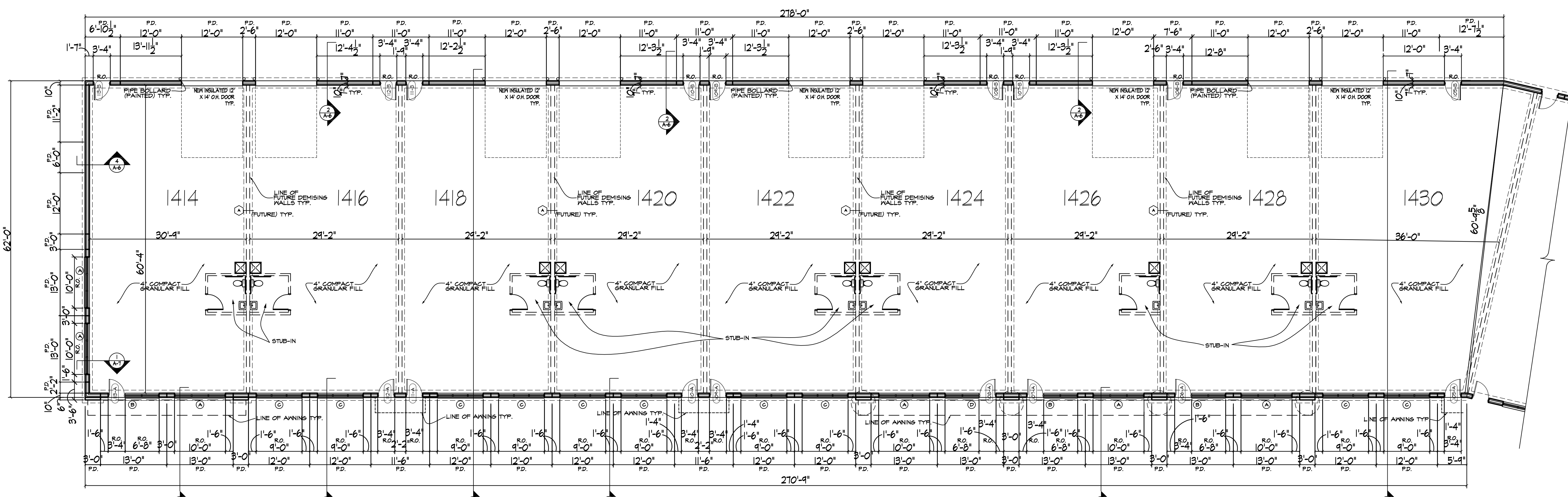
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**KEY PLAN**  
 SCALE: N.T.S.  
 SEE CIVIL ENGINEERING DRAWINGS FOR  
 ADDITIONAL SITE PLAN INFORMATION



**Partial Floor Plan**  
 SCALE: 3/32" = 1'-0"



**Partial Floor Plan**  
 SCALE: 3/32" = 1'-0"

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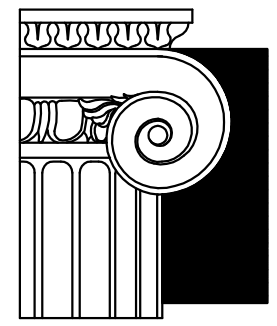
File No: 16-2362 Date: 8-1-18

Checked: RJK. Drawn: JMG, /M.J.H.

VILLAGE CODE REVIEW	
SITE PLAN CHANGE	
11/21/18	
12/11/18	
R 12/11/18	

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LDD Business Center

A New Building For:  
Bolingbrook Drive  
Romeoville, IL 60446

File No: 16-2362 Date: 8-1-18

Checked: RMK Drawn: JMG / M.J.H.

11/21/18	CODE REVIEW	
11/21/18	VILLAGE CODE REVIEW	
11/21/18	SITE PLAN CHANGE	
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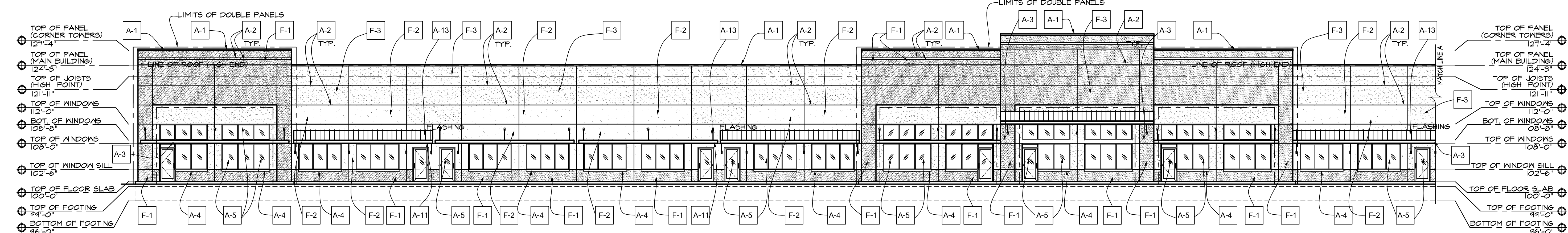
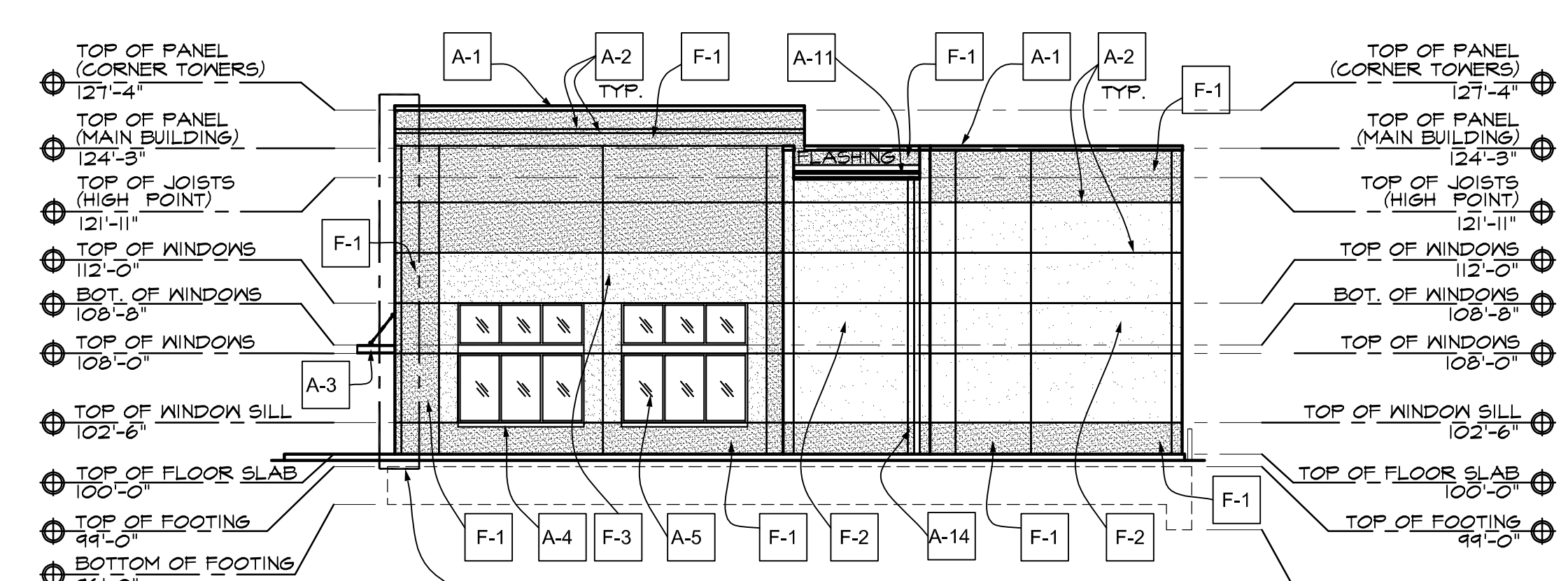
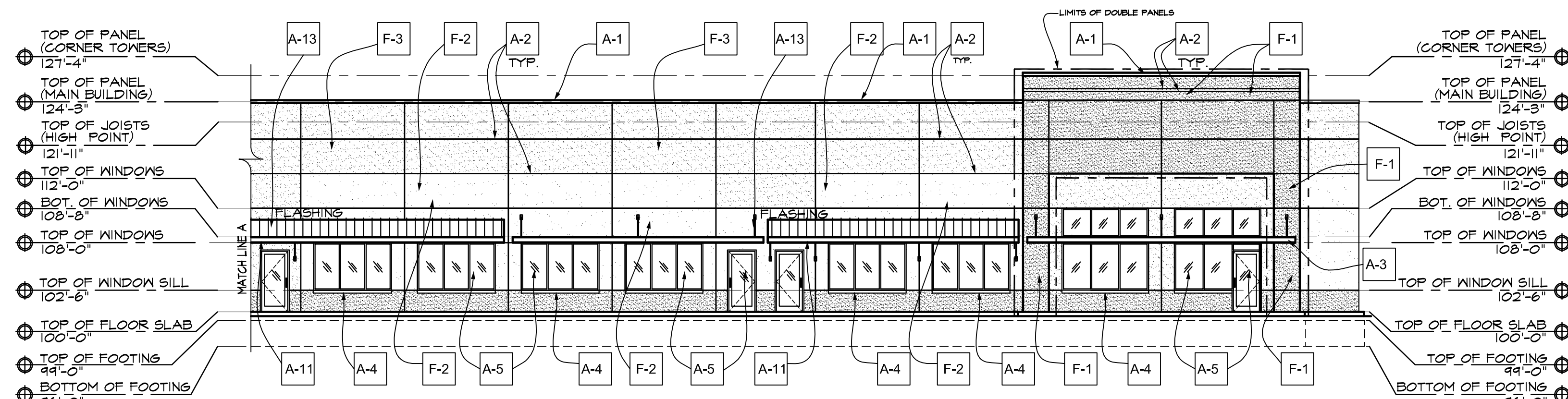
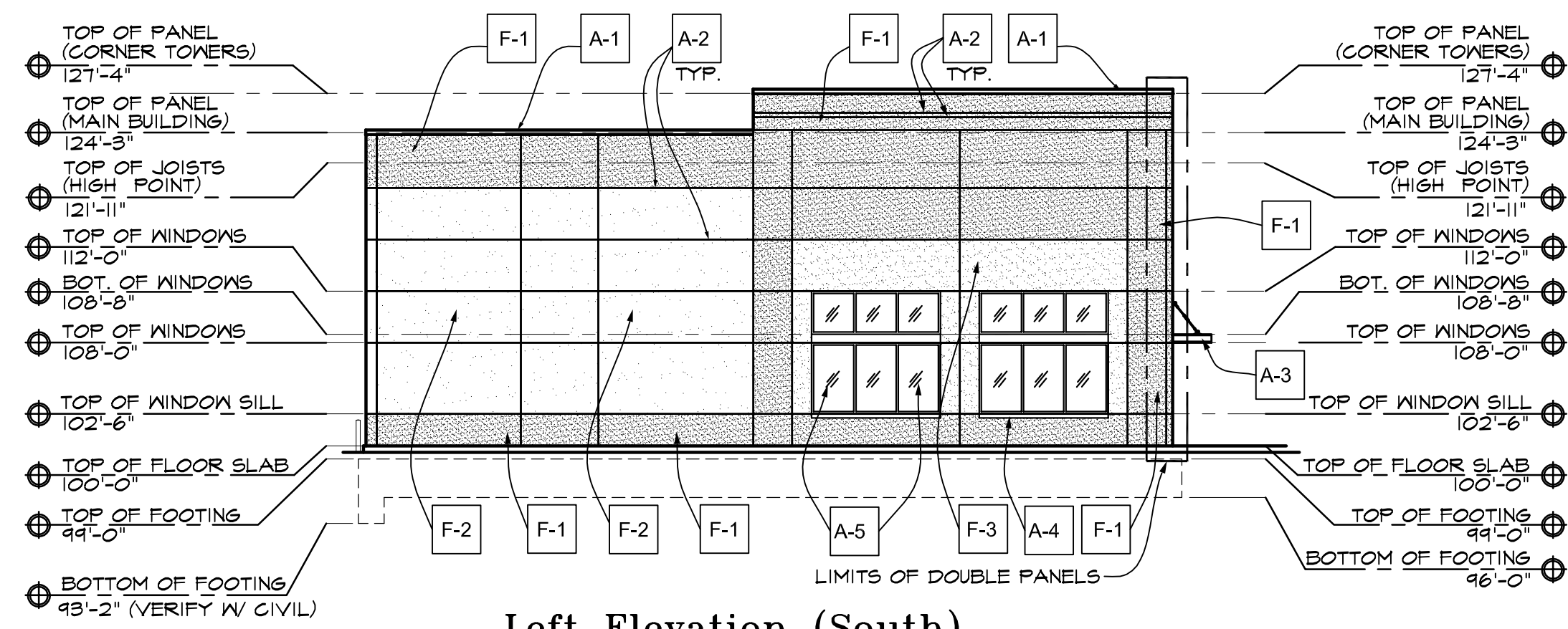
5 OF 4 SHEETS

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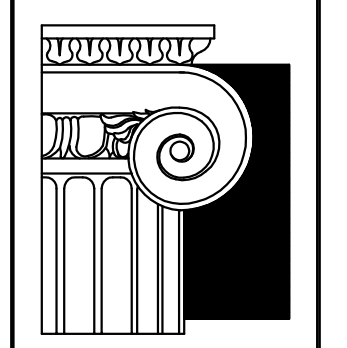
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ELEVATION KEY NOTES

- |   |  |
|---|--|
| A-1 METAL CAP-PAINT TO MATCH STOREFRONT (DARK BRONZE)   | A-11 GUTTER-PAINT TO MATCH STOREFRONT (DARK BRONZE)                              |
| A-2 PRECAST WALL PANEL HORIZONTAL "SCORE LINE"  | A-12 ALUM. PANEL TO MATCH STOREFRONT SYSTEM (DARK BRONZE)-BY STOREFRONT PROVIDER |
| A-3 PAINTED STEEL CANOPY FASCIA COLOR TO MATCH STOREFRONT SYSTEM (DARK BRONZE)                        | A-13 STANDING SEAM METAL ROOFING TO MATCH STOREFRONT SYSTEM (DARK BRONZE)        |
| A-4 PRECAST CONCRETE WINDOW SILL W/ DRIP EDGE (CAST AS PART OF WALL PANEL)                            | A-14 5" DIAMETER GALVANIZED DOWNSPOUT - PAINT TO MATCH STOREFRONT (DARK BRONZE)  |
| A-5 ALUMINUM & GLASS WINDOW/DOOR (STOREFRONT SYSTEM)  | F-1 PRE-CAST CONCRETE WALL PANEL COLOR #1. VERIFY COLOR W/ ARCHITECT/OWNER       |
| A-6 METAL ARCHITECTURAL ACCENT ROOF ELEMENT SEE DETAIL 6/A-10 (COLOR TO MATCH STOREFRONT-DARK BRONZE) | F-2 PRE-CAST CONCRETE WALL PANEL COLOR #2. VERIFY COLOR W/ ARCHITECT/OWNER       |
| A-7 METAL PIPE BOLLARD-PAINTED "SAFTEY YELLOW"  | F-3 PRE-CAST CONCRETE WALL PANEL COLOR #3. VERIFY COLOR W/ ARCHITECT/OWNER       |
| A-8 INSULATED OVERHEAD DOORS COLOR BY OWNER   |  |
| A-9 HOLLOW METAL DOOR-PAINTED TO MATCH ALUMINUM STORE FRONT (DARK BRONZE)                             |  |
| A-10 ROOFING TERMINATION BAR  |  |



Front Elevation (East)  
SCALE: 3/32" = 1'-0"



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11/2/18	LODGE	VILLAGE CODE REVIEW
2/1/19	LODGE	SITE PLAN CHANGE
8/1/19	LODGE	LODGE
8/1/19	LODGE	LODGE

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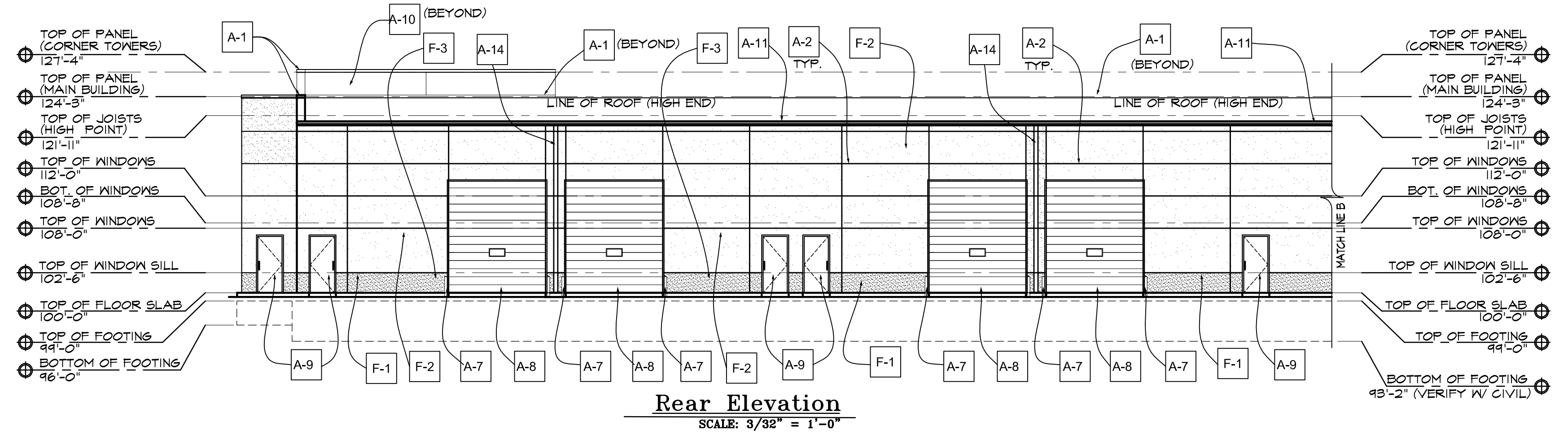
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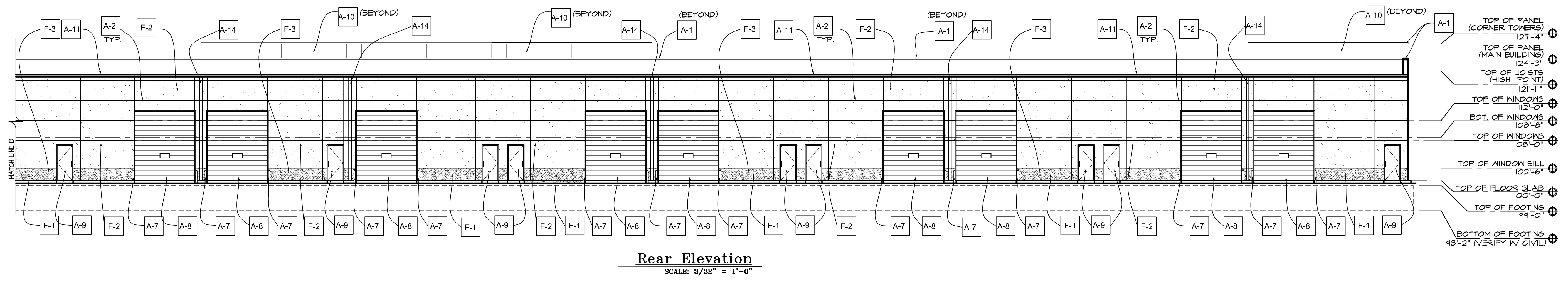
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**ELEVATION KEY NOTES**

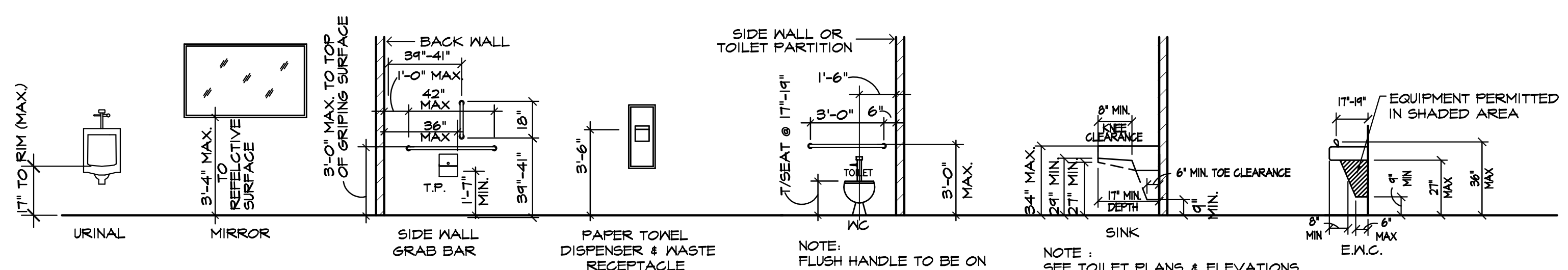
- A-1 METAL CAP-PAINT TO MATCH STOREFRONT (DARK BRONZE)
- A-2 PREGAST WALL PANEL HORIZONTAL "SCORE LINE"
- A-3 PAINTED STEEL CANOPY FASCIA COLOR TO MATCH STOREFRONT SYSTEM (DARK BRONZE)
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- F-1 PRE-CAST CONCRETE WALL PANEL COLOR #1. VERIFY COLOR W/ ARCHITECT/OWNER
- F-2 PRE-CAST CONCRETE WALL PANEL COLOR #2. VERIFY COLOR W/ ARCHITECT/OWNER
- F-3 PRE-CAST CONCRETE WALL PANEL COLOR #3. VERIFY COLOR W/ ARCHITECT/OWNER



**Rear Elevation**  
SCALE: 3/32" = 1'-0"



**Rear Elevation**  
SCALE: 3/32" = 1'-0"



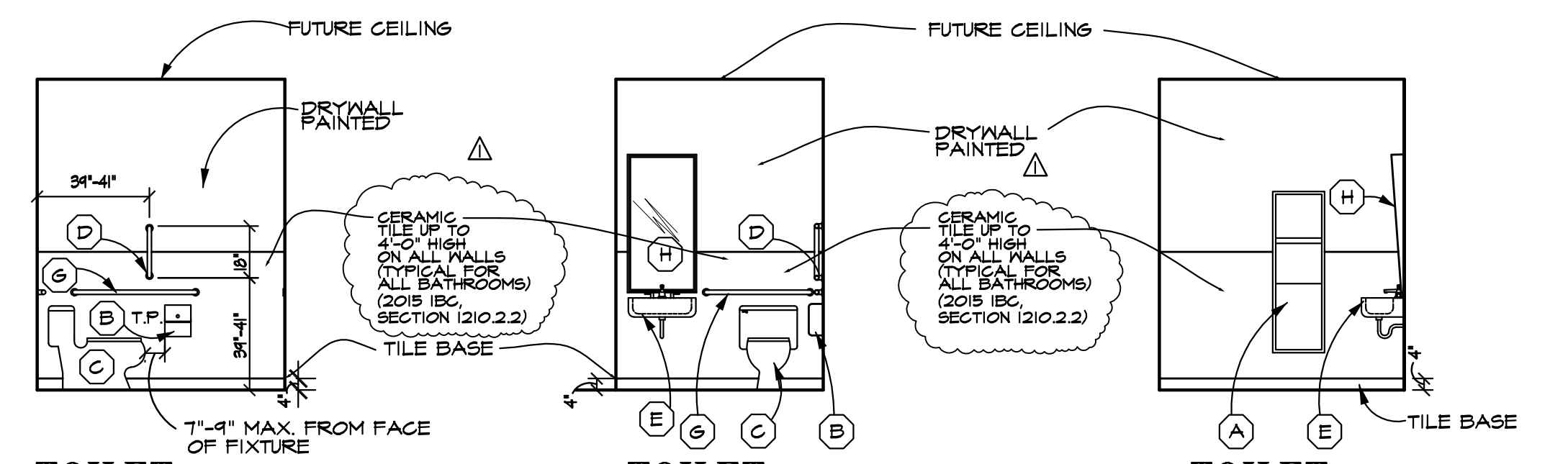
**MOUNTING HEIGHT REQUIREMENTS FOR HANDICAPPED TOILET ACCESSORIES/FIXTURES**

- ALL MOUNTING HEIGHTS SHALL BE PER THE "ILLINOIS ACCESSIBILITY STANDARDS, LATEST EDITION."
- SEE TOILET PLANS & ELEVATIONS FOR ADDITIONAL HEIGHT/DIM. REQUIREMENTS.

SCALE: 1/4" = 1'-0"

**KEY NOTES**

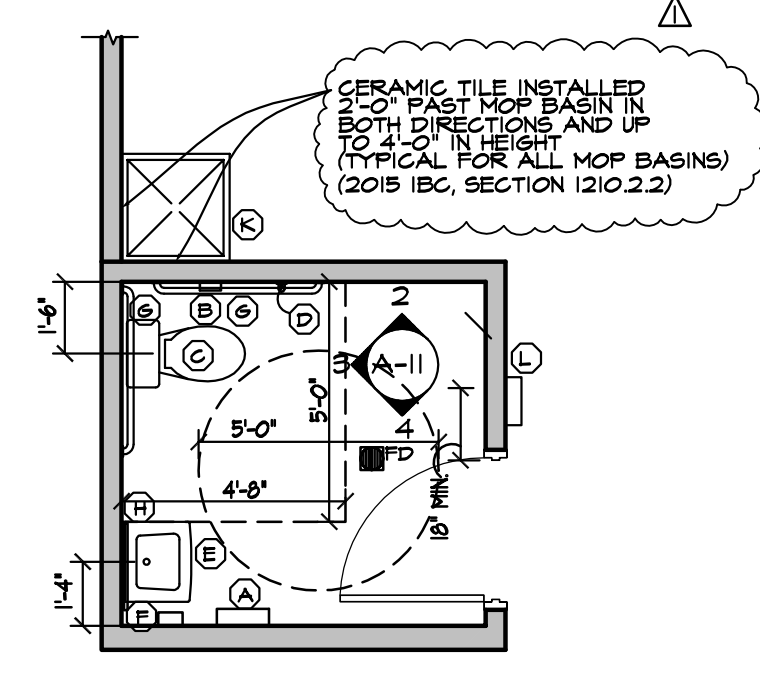
- (A) SURFACE MOUNTED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE BOBRICK MODEL # B-3442
- (B) SURFACE MOUNTED MULTI-ROLL (2) TOILET PAPER DISPENSER - BOBRICK MODEL # B-2888
- (C) FLOOR MOUNTED HANDICAP ACCESSIBLE TOILET
- (D) GRAB BAR By: BOBRICK B-6806x18
- (E) HANDICAP ACCESSIBLE SERVICE SINK
- (F) WALL MOUNTED SOAP DISPENSER BOBRICK MODEL # B-2111
- (G) GRAB BAR By BOBRICK: TOILETS: B-6806x42 & B-6806x36 SHOWER: B-6806x42 & B-6806x24
- (H) STAINLESS STEEL FRAMED MIRROR BOBRICK MODEL # B-240 2436 BOBRICK MODEL # B-240 2460 FLOOR DRAINS - SEE PLUMBING DRAWINGS
- (K) 24"x24" VINYL MOP BASIN-SEE PLUMBING DRAWINGS
- (L) HANDICAPPED BATHROOM SIGNAGE, MOUNT AT 60" FROM FINISH FLOOR TO CENTERLINE OF SIGN.



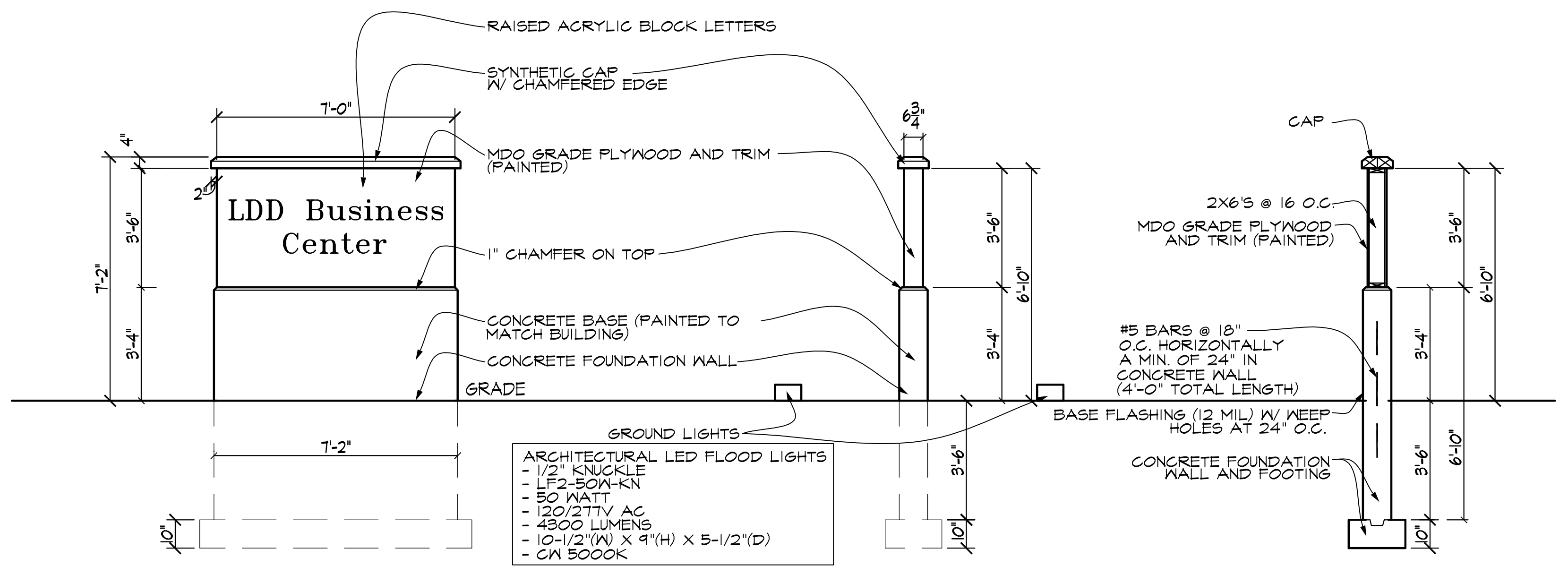
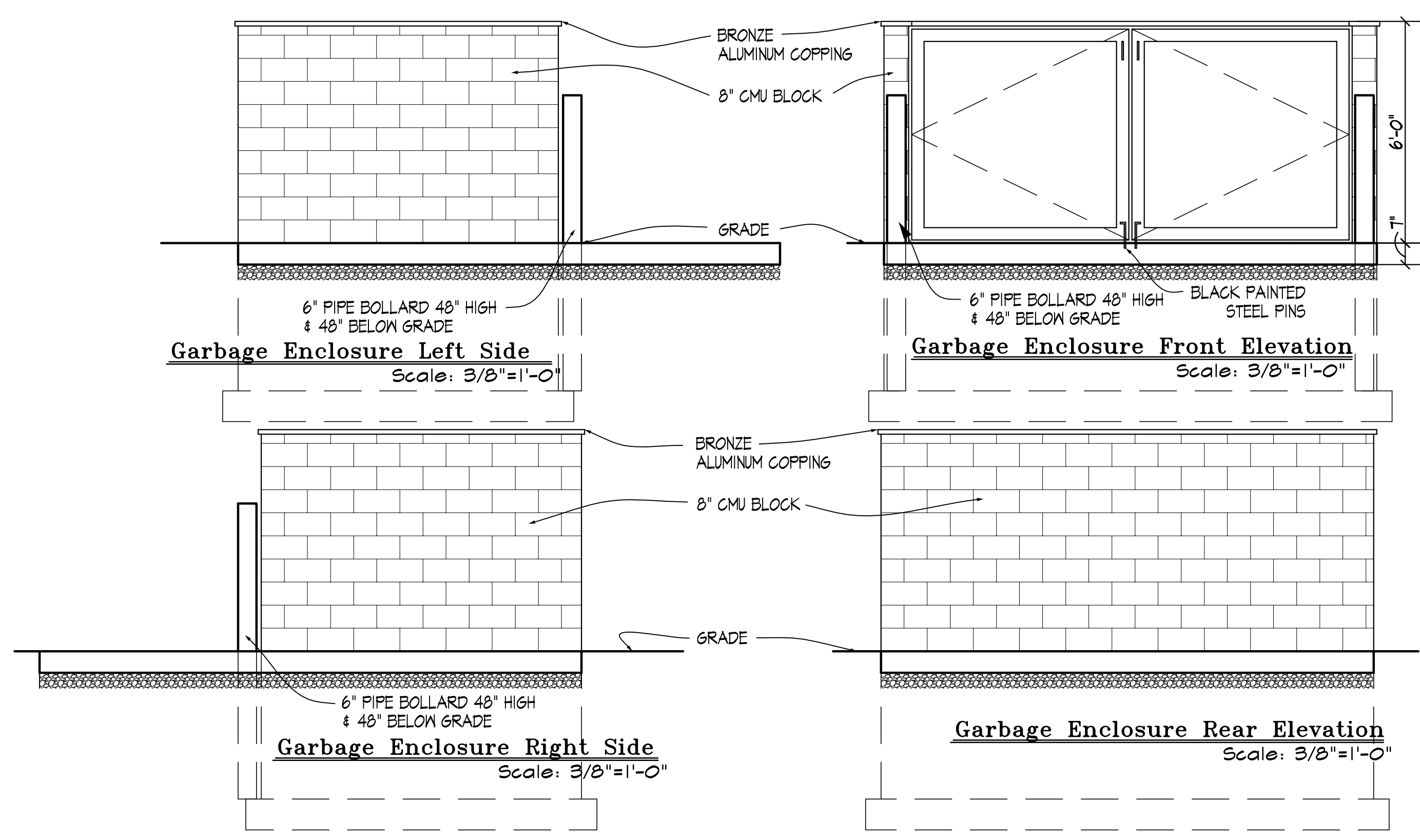
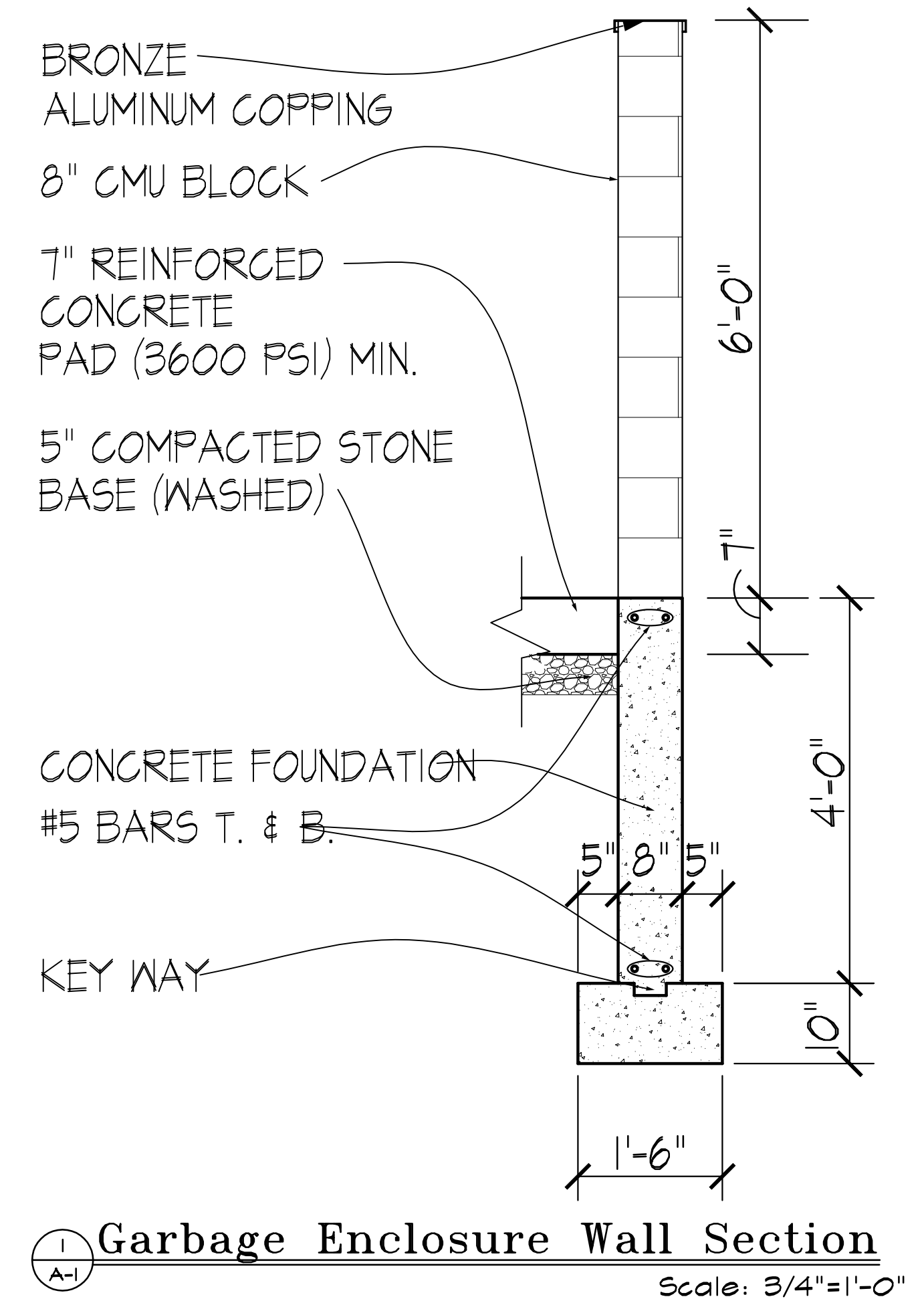
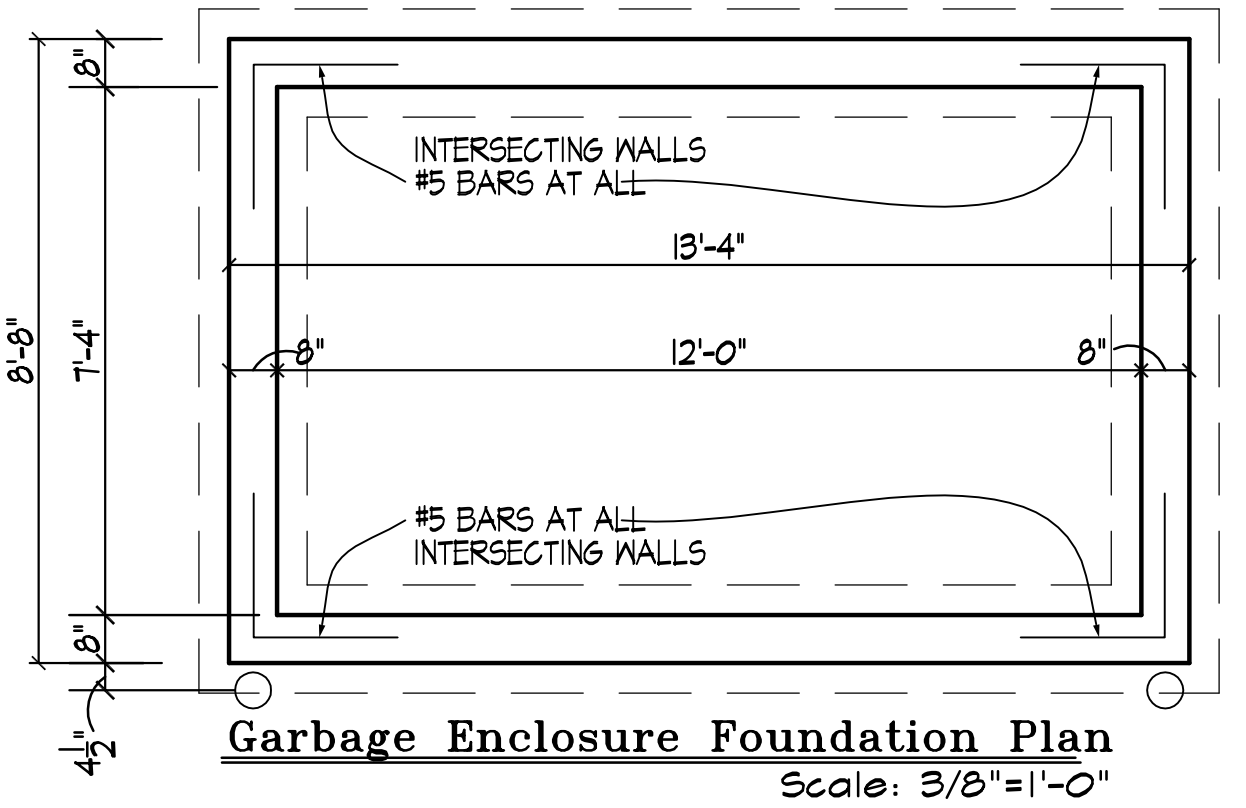
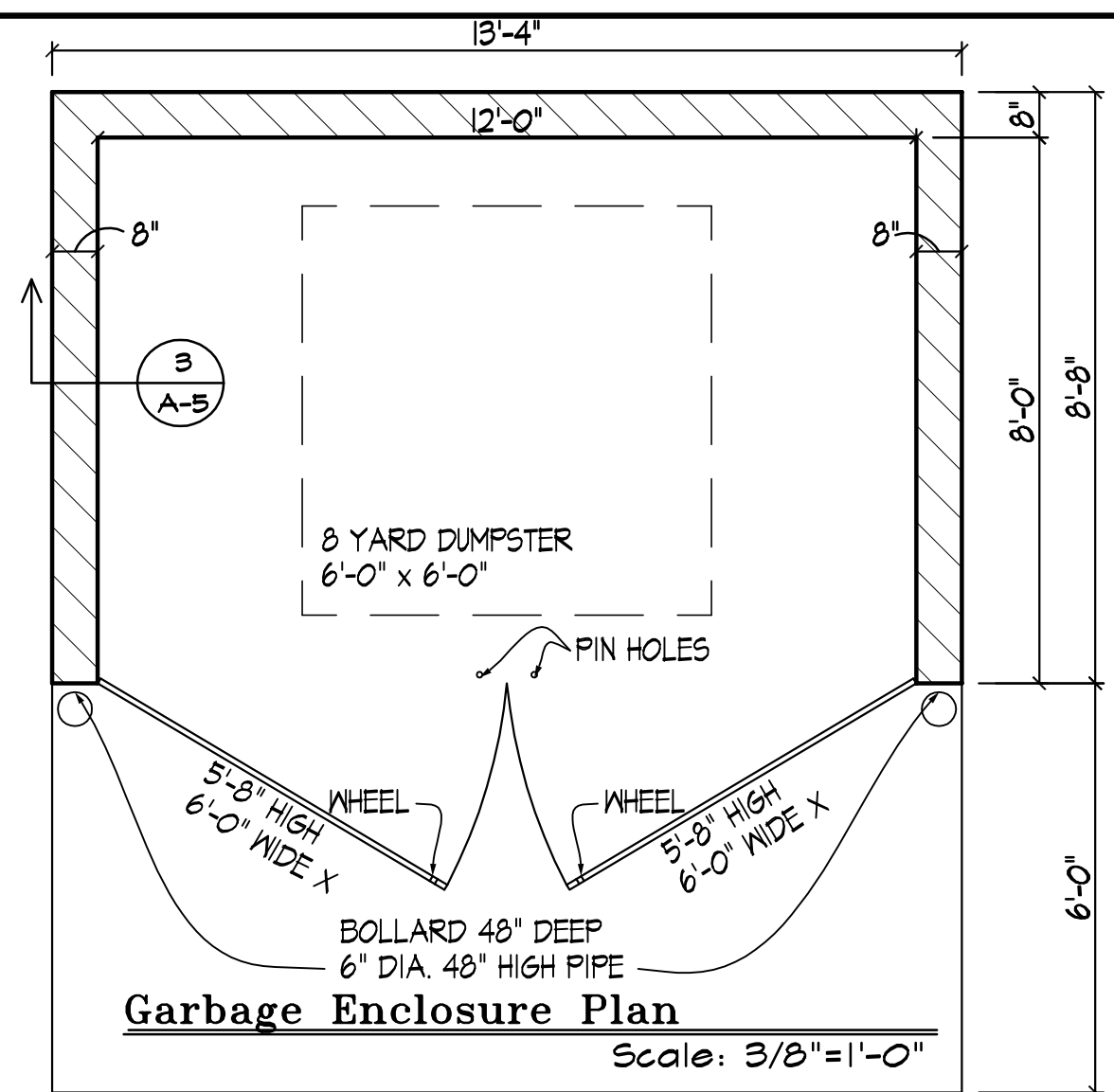
**TOILET ELEVATIONS**  
SCALE: 1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"

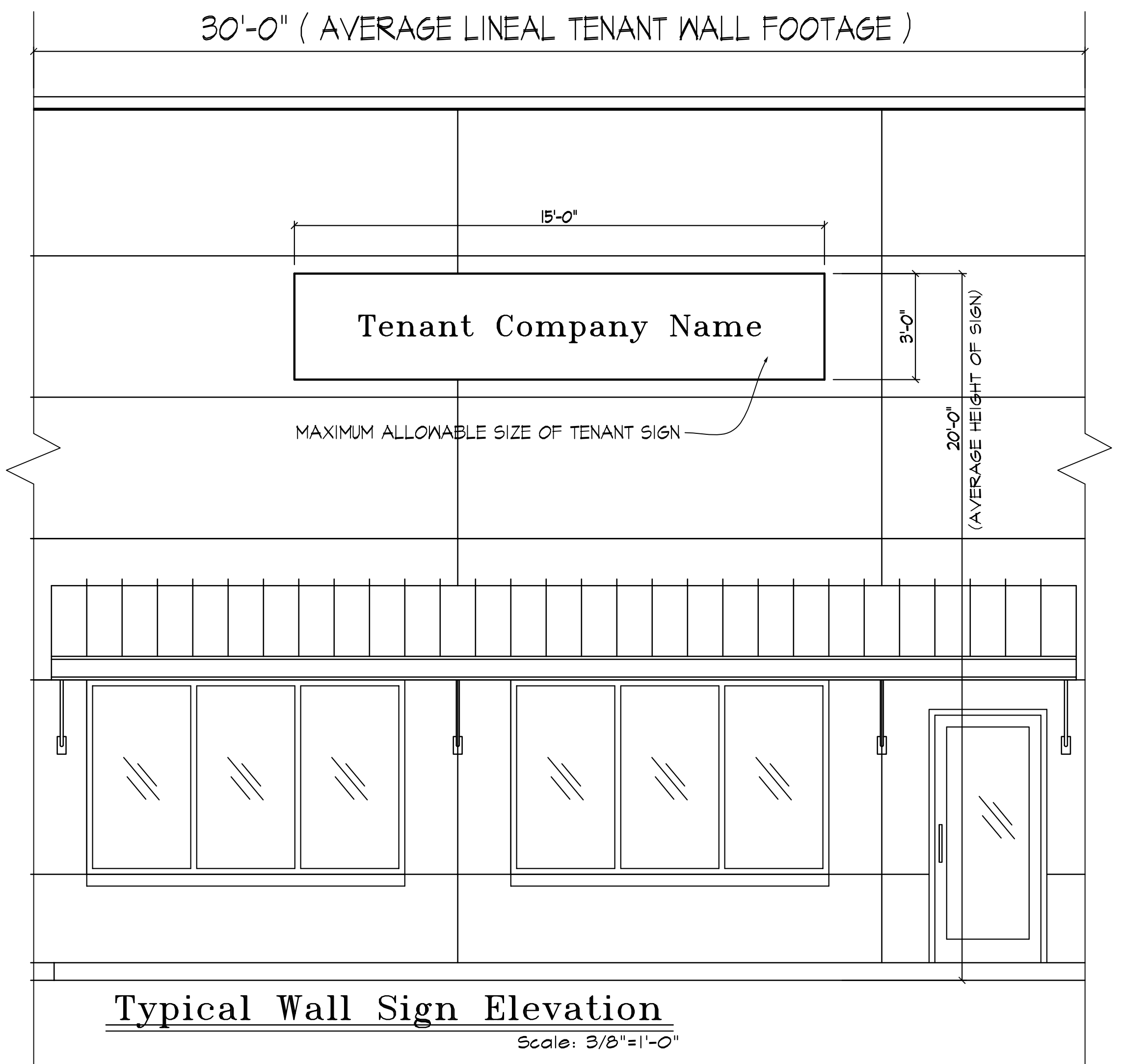
**TOILET ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**TOILET ROOM FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



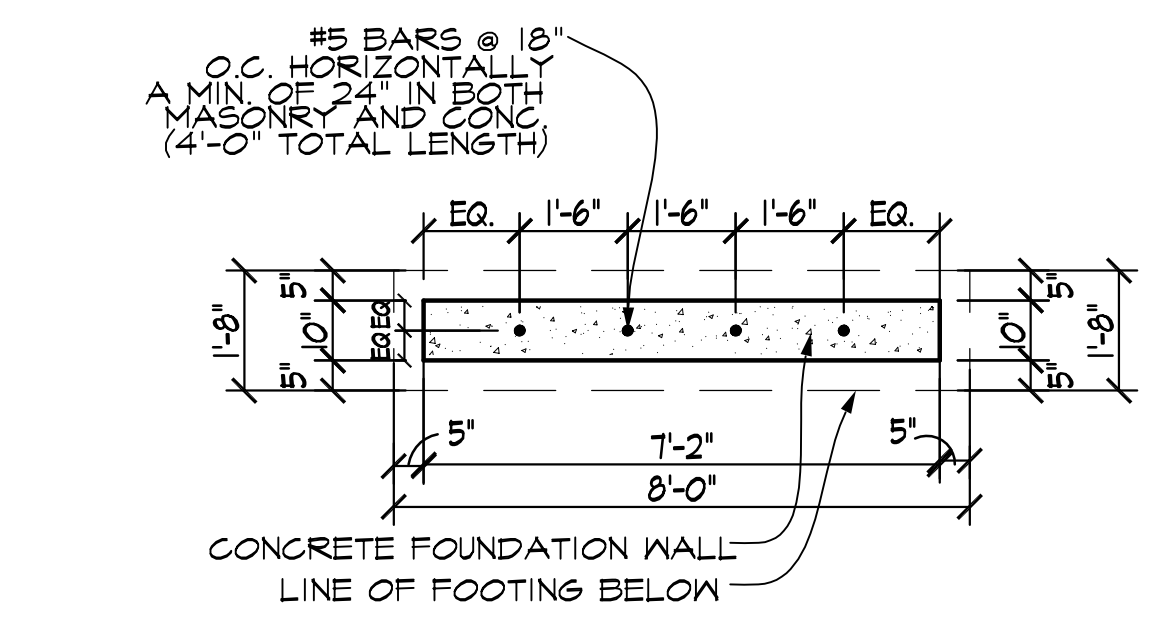
- ARCHITECTURAL LED FLOOD LIGHTS
- 1/2" KNUCKLE
- LF2-50W-KN
- 50 WATT
- 120/277V AC
- 4300 LUMENS
- 10-1/2"(W) X 4"(H) X 5-1/2"(D)
- CW 5000K



**Sign Elevation**  
NOTE: SIGN TO BE ILLUMINATED FROM BELOW VIA GROUND LIGHTS  
Scale: 3/8"=1'-0"

**Sign Side Elevation**  
NOTE: SIGN TO BE ILLUMINATED FROM BELOW VIA GROUND LIGHTS  
Scale: 3/8"=1'-0"

**Sign Wall Section**  
NOTE: SIGN TO BE ILLUMINATED FROM BELOW VIA GROUND LIGHTS  
Scale: 3/8"=1'-0"



**Sign Foundation Plan**  
NOTE: SIGN TO BE ILLUMINATED FROM BELOW VIA GROUND LIGHTS  
Scale: 3/8"=1'-0"

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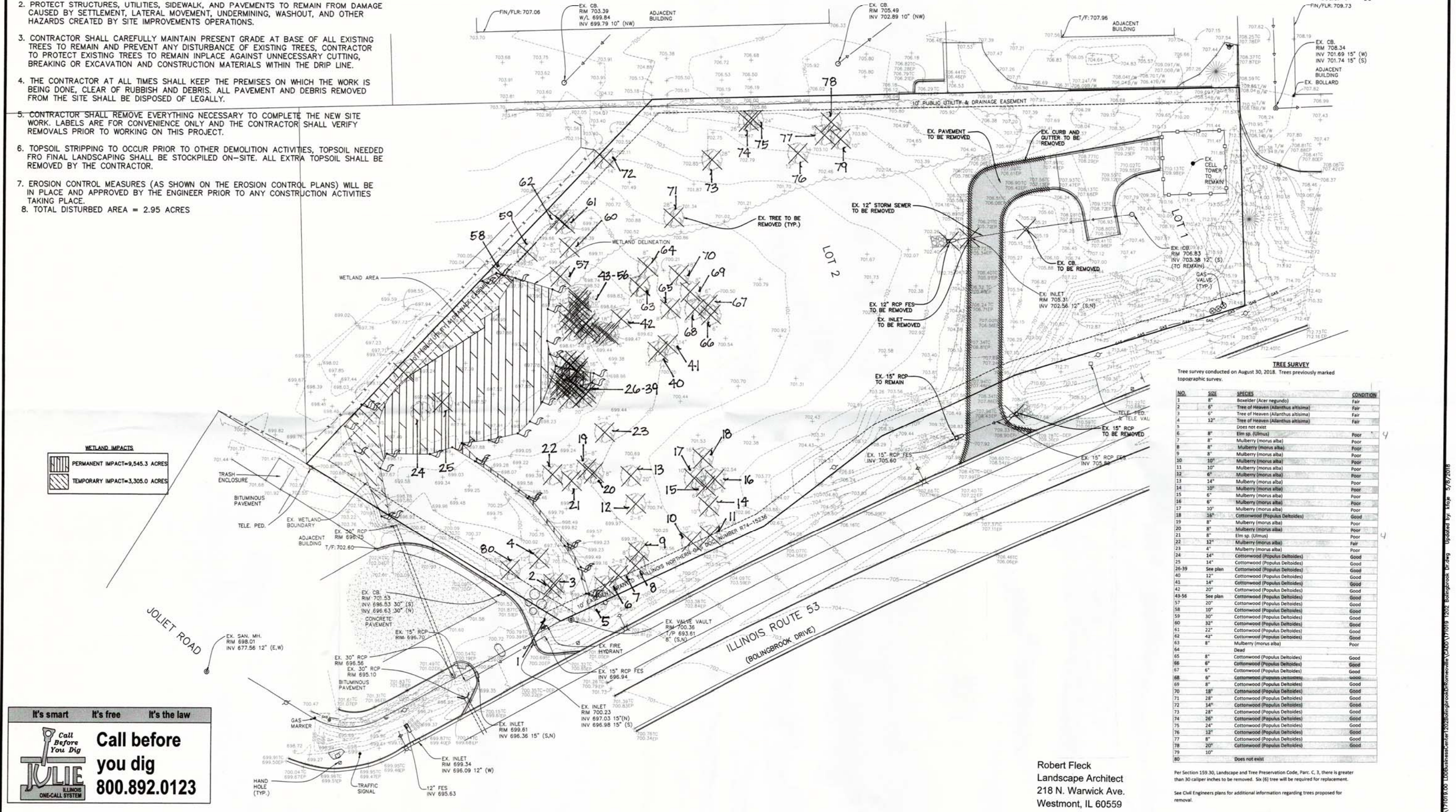
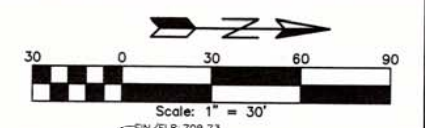
11/21/18	CODE REVIEW
12/11/18	VILLAGE CODE REVIEW
1/11/19	SITE PLAN CHANGE
2/11/19	
3/11/19	
4/11/19	
5/11/19	
6/11/19	
7/11/19	
8/11/19	
9/11/19	
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12/11/19	

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SHEET NO:  
**A-10**  
10 OF 9 SHEETS  
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**DEMOLITION GENERAL NOTES:**

- BEFORE ANY EXCAVATION ON THE SITE, CALL JULIE TO LOCATE EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/ HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS SITE WORK.
- PROTECT STRUCTURES, UTILITIES, SIDEWALK, AND PAVEMENTS TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY SITE IMPROVEMENTS OPERATIONS.
- CONTRACTOR SHALL CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN AND PREVENT ANY DISTURBANCE OF EXISTING TREES, CONTRACTOR TO PROTECT EXISTING TREES TO REMAIN INPLACE AGAINST UNNECESSARY CUTTING, BREAKING OR EXCAVATION AND CONSTRUCTION MATERIALS WITHIN THE DRIP LINE.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH THE WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- CONTRACTOR SHALL REMOVE EVERYTHING NECESSARY TO COMPLETE THE NEW SITE WORK. LABELS ARE FOR CONVENIENCE ONLY AND THE CONTRACTOR SHALL VERIFY REMOVALS PRIOR TO WORKING ON THIS PROJECT.
- TOPSOIL STRIPPING TO OCCUR PRIOR TO OTHER DEMOLITION ACTIVITIES. TOPSOIL NEEDED FOR FINAL LANDSCAPING SHALL BE STOCKPILED ON-SITE. ALL EXTRA TOPSOIL SHALL BE REMOVED BY THE CONTRACTOR.
- EROSION CONTROL MEASURES (AS SHOWN ON THE EROSION CONTROL PLANS) WILL BE IN PLACE AND APPROVED BY THE ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES TAKING PLACE.
- TOTAL DISTURBED AREA = 2.95 ACRES



Tree survey conducted on August 30, 2018. Trees previously marked topographic survey.

NO.	SIZE	SPECIES	CONDITION
1	6"	Boxelder (Acer negundo)	Fair
2	6"	Tree of Heaven (Ailanthus altissima)	Fair
3	6"	Tree of Heaven (Ailanthus altissima)	Fair
4	12"	Tree of Heaven (Ailanthus altissima)	Fair
5		Does not exist	
6	8"	Elm sp. (Ulmus)	Poor
7	8"	Mulberry (morus alba)	Poor
8	8"	Mulberry (morus alba)	Poor
9	8"	Mulberry (morus alba)	Poor
10	10"	Mulberry (morus alba)	Poor
11	10"	Mulberry (morus alba)	Poor
12	6"	Mulberry (morus alba)	Poor
13	14"	Mulberry (morus alba)	Poor
14	10"	Mulberry (morus alba)	Poor
15	6"	Mulberry (morus alba)	Poor
16	6"	Mulberry (morus alba)	Poor
17	10"	Mulberry (morus alba)	Poor
18	36"	Cottonwood (Populus Deltoides)	Good
19	8"	Mulberry (morus alba)	Poor
20	8"	Mulberry (morus alba)	Poor
21	8"	Elm sp. (Ulmus)	Poor
22	32"	Mulberry (morus alba)	Fair
23	4"	Mulberry (morus alba)	Poor
24	14"	Cottonwood (Populus Deltoides)	Good
25	14"	Cottonwood (Populus Deltoides)	Good
26-39	See plan	Cottonwood (Populus Deltoides)	Good
40	32"	Cottonwood (Populus Deltoides)	Good
41	14"	Cottonwood (Populus Deltoides)	Good
42	20"	Cottonwood (Populus Deltoides)	Good
43-56	See plan	Cottonwood (Populus Deltoides)	Good
57	20"	Cottonwood (Populus Deltoides)	Good
58	10"	Cottonwood (Populus Deltoides)	Good
59	30"	Cottonwood (Populus Deltoides)	Good
60	32"	Cottonwood (Populus Deltoides)	Good
61	22"	Cottonwood (Populus Deltoides)	Good
62	42"	Cottonwood (Populus Deltoides)	Good
63	8"	Mulberry (morus alba)	Poor
64		Dead	
65	8"	Cottonwood (Populus Deltoides)	Good
66	6"	Cottonwood (Populus Deltoides)	Good
67	6"	Cottonwood (Populus Deltoides)	Good
68	6"	Cottonwood (Populus Deltoides)	Good
69	8"	Cottonwood (Populus Deltoides)	Good
70	18"	Cottonwood (Populus Deltoides)	Good
71	28"	Cottonwood (Populus Deltoides)	Good
72	34"	Cottonwood (Populus Deltoides)	Good
73	28"	Cottonwood (Populus Deltoides)	Good
74	36"	Cottonwood (Populus Deltoides)	Good
75	24"	Cottonwood (Populus Deltoides)	Good
76	32"	Cottonwood (Populus Deltoides)	Good
77	8"	Cottonwood (Populus Deltoides)	Good
78	20"	Cottonwood (Populus Deltoides)	Good
79	10"	Does not exist	

It's smart It's free It's the law

**Call before you dig**  
800.892.0123

Robert Fleck  
Landscape Architect  
218 N. Warwick Ave.  
Westmont, IL 60559

**TREE SURVEY**  
LDD BUSINESS CENTER  
ROMEOLLE, ILLINOIS

SCALE: 1" = 30'  
DATE: 9/24/18  
JOB NO:  
SHEET 1 of 3

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

**ENGINEERING RESOURCE ASSOCIATES**

35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60655  
PHONE (630) 393-3060  
FAX (630) 393-2152

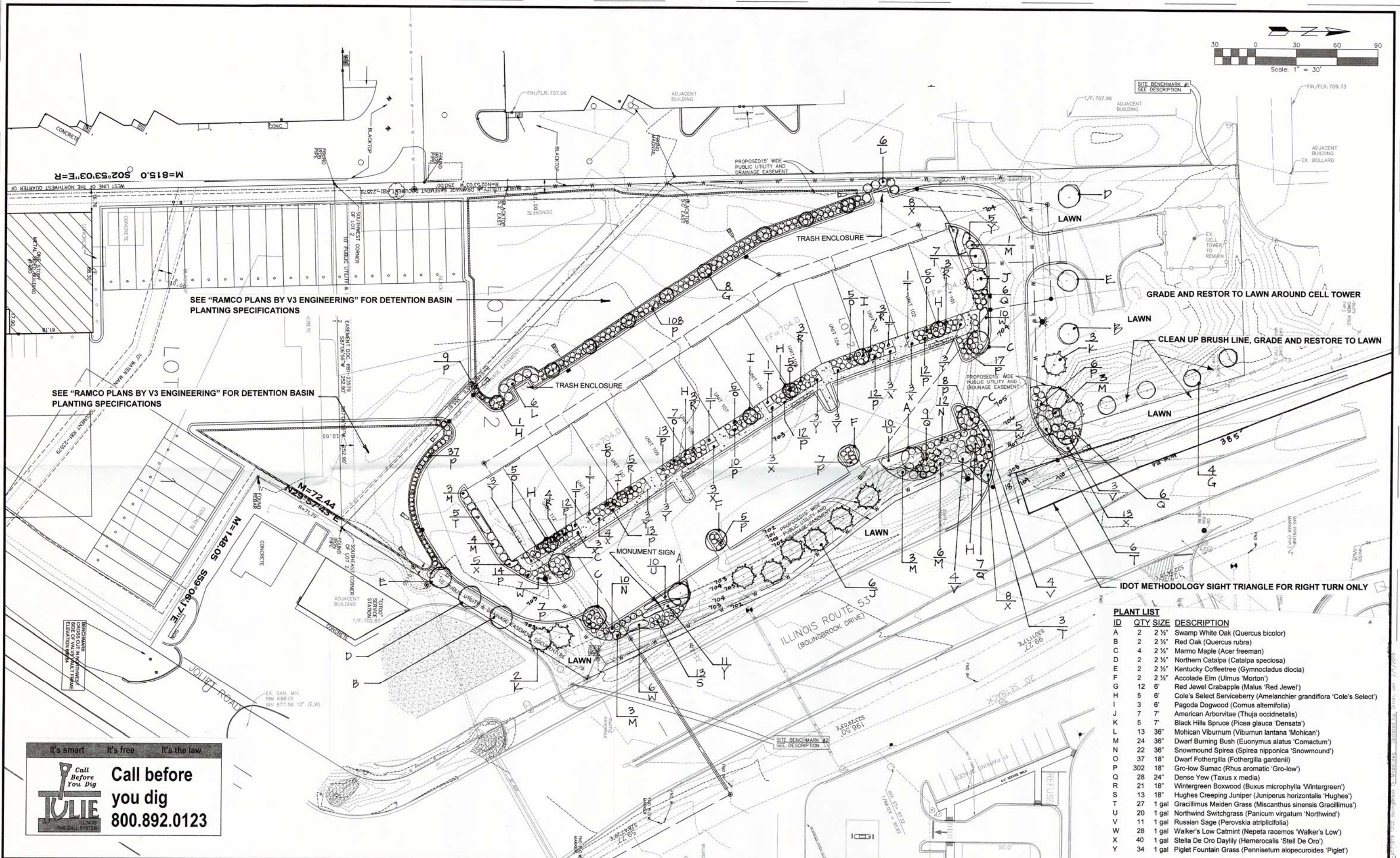
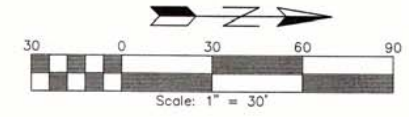
10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

DODEVSKI

TITLE:

Updated by: klog 5/9/2018



**PLANT LIST**

ID	QTY	SIZE	DESCRIPTION
A	2	2 1/2"	Swamp White Oak (Quercus bicolor)
B	2	2 1/2"	Red Oak (Quercus rubra)
C	4	2 1/2"	Marmo Maple (Acer freeman)
D	2	2 1/2"	Northern Catalpa (Catalpa speciosa)
E	2	2 1/2"	Kentucky Coffeetree (Gymnocladus dioica)
F	2	2 1/2"	Accolade Elm (Ulmus 'Morton')
G	12	6"	Red Jewel Crabapple (Malus 'Red Jewel')
H	5	6"	Cole's Select Serviceberry (Amelanchier grandiflora 'Cole's Select')
I	3	6"	Pagoda Dogwood (Cornus alternifolia)
J	7	7"	American Arborvitae (Thuja occidentalis)
K	5	7"	Black Hills Spruce (Picea glauca 'Densata')
L	13	36"	Mohican Viburnum (Viburnum lantana 'Mohican')
M	24	36"	Dwarf Burning Bush (Euonymus alatus 'Comactum')
N	22	36"	Snowmound Spirea (Spirea nipponica 'Snowmound')
O	37	18"	Dwarf Fothergilla (Fothergilla gardenii)
P	302	18"	Gro-low Sumac (Rhus aromatic 'Gro-low')
Q	28	24"	Dense Yew (Taxus x media)
R	21	18"	Wintergreen Boxwood (Buxus microphylla 'Wintergreen')
S	13	18"	Hughes Creeping Juniper (Juniperus horizontalis 'Hughes')
T	27	1 gal	Gracillimus Maiden Grass (Miscanthus sinensis Gracillimus)
U	20	1 gal	Northwind Switchgrass (Panicum virgatum 'Northwind')
V	11	1 gal	Russian Sage (Perovskia atriplicifolia)
W	28	1 gal	Walker's Low Catmint (Nepeta racemos 'Walker's Low')
X	40	1 gal	Stella De Oro Daylily (Hemerocallis 'Stell De Oro')
Y	34	1 gal	Piglet Fountain Grass (Pennisetum alopecuroides 'Piglet')

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**800.892.0123**

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
2/10/19	FA	1 Village of Romeoville Comments			

**LANDSCAPE PLAN**

DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_

Robert Fleck  
 Landscape Architect  
 218 N. Warwick Ave.

TITLE: **LDD BUSINESS CENTER  
 ROMEOVILLE, IL**

SCALE: 1" = 30'  
 DATE: \_\_\_\_\_  
 JOB NO: \_\_\_\_\_  
 SHEET 2 OF 3

**GENERAL NOTES**

1. The extent of the site work is as shown on the plans and includes all work done offsite.
2. The Contractor shall be responsible for examining all site conditions prior to the commencement of work.
3. The Contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The Contractor shall notify the Construction Manager, in writing, of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Construction Manager and/or Owner before any changes are executed.
4. The Contractor shall notify J.U.L.I.E. (800-8920123) 72 hours prior to construction for location of all utilities and shall be responsible for protection of the same.
5. All necessary site work permits and licenses shall be obtained and paid for by the Contractor prior to the commencement of work.
6. The Contractor shall protect and preserve all trees, lawns, curbs, pavement or other existing site feature not proposed for removal, during construction. Any trees, pavement or areas damaged during construction or as a result of the contractor's actions shall be repaired or replaced at the contractor's sole expense to the satisfaction of the Owner.
7. The Landscape Architect shall assume no responsibility for the Contractor's workmanship, actions or behavior, nor shall the Landscape Architect assume any responsibility for the Contractor's success or failure of the project.
8. Contractor shall be responsible for the removal of all mud, dirt and/or debris deposited on parking lots and adjacent roadways as a result of their own work.

**PLANTING NOTES**

1. All plant material shall conform to the standards of the American Association of Nurseryman Standards.
2. All plant material shall be grown and obtained from nurseries within a 100 mile radius of Romeoville, IL.
3. All plant material shall be inspected and approved by the owner or the owner's representative prior to installation.
4. All areas not shown as plantings shall be restored and seeded per the plan. A starter fertilizer shall be broadcast over the soil prior to the placement of sod. Contractor shall provide initial watering until sod is fully established.
5. All landscaped areas shall be backfilled with a minimum 6" of topsoil, free of clay, clods, debris or other foreign material.
6. Contractor shall fine grade all landscaped areas to within .05' of finished grade. All grading shall be free of ruts, clods, rivulets, stone, twigs or other debris. Maintain positive drainage.
7. All perennial beds shall be amended with a minimum 2" of mushroom compost and rototilled to a depth of 6" prior to planting.
8. A pre-emergent ("Snapshot") shall be applied to all beds per the manufacturer's specifications prior to the placement of mulch.
9. All plants shall be mulched to a depth of 4" with shredded hardwood mulch.
10. All beds and tree rings shall be spade edged upon final placement of sod.
11. Contractor shall remove all twine, tags or rope from all plant material before the final completion of the work.
12. Contractor shall provide an initial watering of all plant material after placement in the ground and placement of mulch.
13. Mulch shall be pulled 2" away from the base of all trees to exposed the base of the trunk and root crown.
14. Mulch beds shall extend a minimum of two feet (2') beyond the center of all trees or shrubs.
15. Per the Village of Romeoville Zoning Code, Section 159.30, Landscaping and Tree Preservation, Section D, 4-C-1, trees shall not be planted within ten (10) feet of any fire hydrant, manhole, catch basin, or utility structure. Trees shall not be planted within five (5) feet of any underground utility line.

**GUARANTEES**

1. The Owner of the premises shall be responsible for the maintenance, repair, and replacement of all landscaping materials and barriers as long as the property in his/her possession. For this reason the Contractor shall guarantee all plant material and work for a period of one (1) year against defects including death and unsatisfactory growth after final and substantial completion of the contract. Before acceptance all work shall be inspected and approved by the Owner's Construction Manager.

**SEED MATERIALS: QUALITY, CONDITION AND HANDLING**

1. ~~Native seed for the Bio-retention basin shall be the "Swale Seed Mix" obtained from Cardno Native Plant Nursery, 128 Sunset Drive, Walkerton, IN 46574. (574)586-2412.~~
2. Seed shall conform to applicable State and Federal regulations as in effect on the date of letting. Unless otherwise specified, seed shall not contain in excess of one (1) percent weed seeds; zero (0) percent is desirable.
3. All storage requirements, stratification, and scarification considerations shall be the sole responsibility of the Landscape Contractor.
4. ~~Under no circumstances shall Wheat (*Triticum aestivum*), Cereal Rye (*Secale cereale*), Perennial Rye (*Lolium perenne*), or Barley (*Hordeum vulgare*) be used as a temporary cover crop in the native seed planting area.~~
5. Landscape contractor shall be solely responsible for the proper handling and storage of the seed according to the best seed handling and storage practices, including fungicide treatments and stratification considerations. Owner shall make no compensation for damage to the seed because of improper storage, cleaning, threshing, or screening operations.
6. ~~All native seed shall be packed and covered in such a manner as to ensure adequate protection against damage and maintain dormancy while in transit, storage, or during excess 60 degrees.~~
7. Lawn Seed Mixture: Provide fresh, clean new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified:
  - 5 lbs./1,000 sq. ft.
  - 50% Kentucky Bluegrass 98/85
  - 15% Cutter Perennial Ryegrass
  - 10% Spartan Hard Fescue
  - 10% Edge Perennial Ryegrass
  - 10% Express Perennial Ryegrass
  - 5% Pennlawn Creeping Red Fescue
8. Erosion Control Blanket: North American Green S75, or approved equal. Install per manufacturers recommendations in lawns and seeded areas.

**TREES AND SHRUBS**

1. Set balled and burlapped (B&B) stock on a layer of compacted topsoil mixture, plumb and in center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill. Remove knots and top of burlap from around trunk or base of shrubs.
2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
3. Mulch pits, trenches and planted areas. Provide not less than 3" thickness of mulch, 4" is specified.
4. Prune, thin and shape trees in accordance with standard horticultural practice. Prune trees to retain required height and spread. Unless otherwise directed by Landscape Architect, do not cut tree leaders and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural character.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period.
7. Per the Village of Romeoville Zoning Code, Section 159.30, Landscaping and Tree Preservation, Section D, 4-C-1, trees shall not be planted within ten (10) feet of any fire hydrant, manhole, catch basin, or utility structure. Trees shall not be planted within five (5) feet of any underground utility line.

**SEEDING NEW LAWNS**

1. Remove existing grass, vegetation. Dispose of such material legally and off site.
2. Till to a depth of 6", apply soil amendments, remove high areas and fill in depressions, till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1 1/2" in diameter, roots and other extraneous matter. Dispose of such material legally and off site. Fine grade areas to be seed.
3. Seeded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft and shall have an analysis of 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1 1/2".
4. Do not use wet or seed which is moldy or otherwise damaged in transit or storage.
5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
6. Sow not less than specified rate.
7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fin spray.
8. After seeding in completed, install erosion control blanket per manufacturer's specification for areas shown on plans.
9. Optimal time for seeding of lawns is March 15-May 15 or September 15-October 15.

**INSPECTION AND ACCEPTANCE**

1. The landscape architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
2. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
3. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
4. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.

Robert Fleck  
Landscape Architect  
218 N. Warwick Ave.  
Westmont, IL 60559

1	KAF	Village of Romeoville Comments 2/10/19			<p align="center"><b>NOTES AND SPECIFICATIONS</b> <b>LDD BUSINESS CENTER</b> <b>ROMEOVILLE, IL</b></p> <p align="right">9/29/18 SHEET 3 OF 3</p>
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