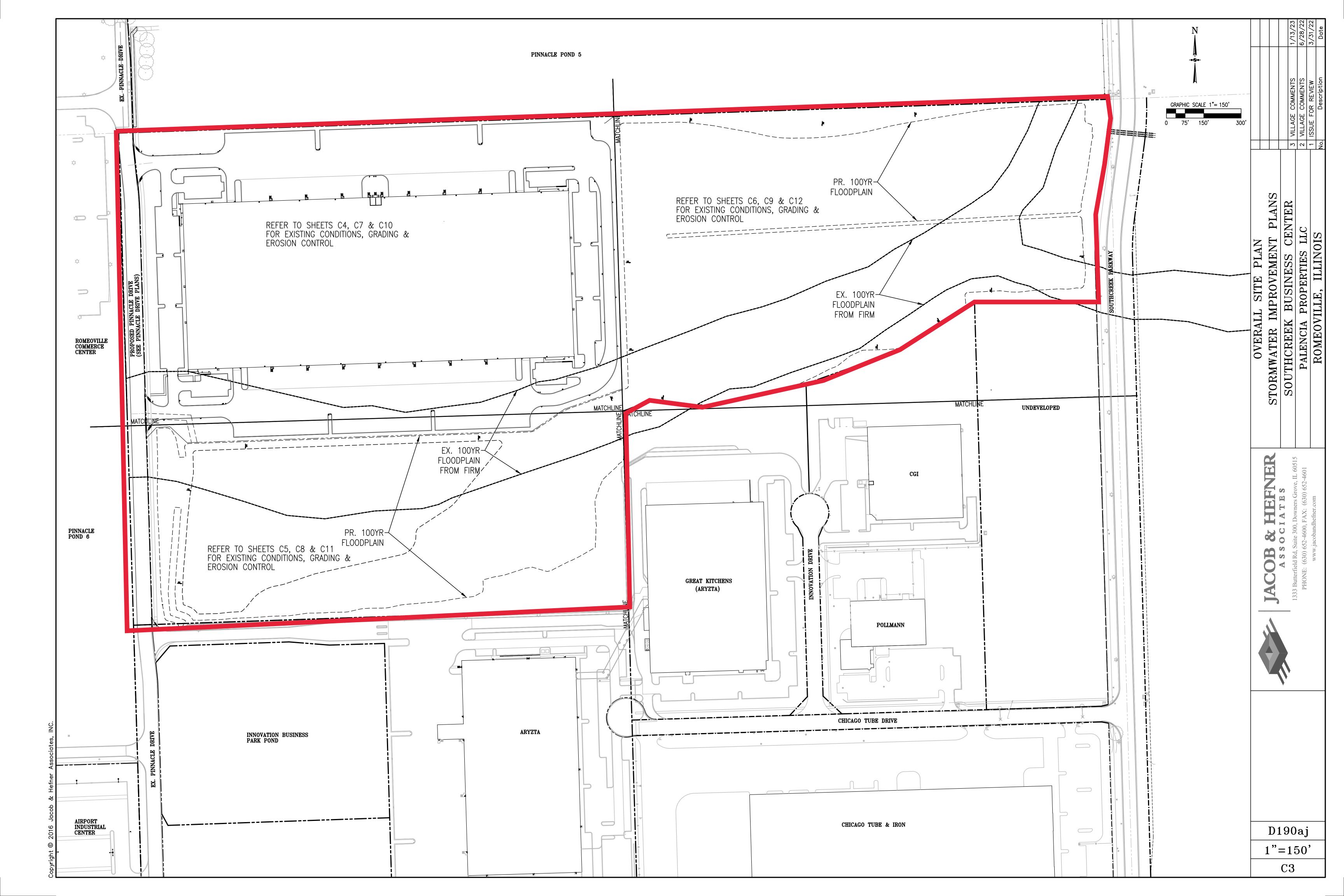
Remaining Territory PUD Exhibit



BUILDING IMPROVEMENT PLANS **FOR**

SOUTHCREEK BUSINESS CENTER

ROMEOVILLE, ILLINOIS PALENCIA PROPERTIES LLC



LOCATION MAP

REFERENCE BENCHMARKS MILES WEST OF THE INTERSECTION OF ILLINOIS ROUTE 53 AND

WILL COUNTY STATION 421 3-D MARKER NEAR THE INTERSECTION OF RENWICK ROAD (ILLINOIS ROUTE 7) AND OLD RENWICK ROAD. (SEE DATA SHEET FOR MORE DETAILED DESCRIPTION).

SITE BENCHMARKS:

CUT CROSS IN TOP OF CONCRETE CURB IN FRONT OF FIRE HYDRANT AT THE SOUTH ENTRANCE OF 148 S. PINNACLE

CUT CROSS IN TOP OF CONCRETE CURB ON THE EAST SIDE OF SOUTHCREEK DRIVE ACROSS FROM THE EASTERLY EXTENSION OF THE NORTHERLY BUILDING LINE OF CHICAGO TUBE AND

BENCHMARK & LOCATIONS:

WILL COUNTY STATION 403 3-D MARKER ON THE SOUTH SIDE OF ROMEO ROAD, 0.25 ELEVATION=628.26 (WILL COUNTY DATUM/NAVD88)

ELEVATION=647.34 (WILL COUNTY DATUM/NAVD88)

ELEVATION=632.58 (NAVD88 DATUM)

PERMITS

PERMIT #

LRC-2018-00451

#22-05-0179R

DATE

2/26/22

AGENCY

IEPA – WATER

IEPA – SANITARY

ELEVATION=666.08 (NAVD88 DATUM)

EXISTING CONDITIONS OBTAINED FROM TOPOGRAPHIC SURVEY COMPLETED BY JACOB & HEFNER ASSOCIATES, DATED FEBRUARY 2022.

Sheet List Table

	OTTOOL LIGHT TABLE
Sheet Numbe	r Sheet Title
C1	COVER
C2	GENERAL NOTES
C3	OVERALL SITE PLAN
C4	EXISTING CONDITIONS & DEMOLITION PLAN
C5	GEOMETRIC PLAN
C6	GRADING PLAN
C7	ADA GRADING PLAN
C8	UTILITY PLAN
C9	EROSION CONTROL PLAN
C10	STORMWATER POLLUTION PREVENTION PLAN
C11	SWPPP DETAILS
C12	SPECIFICATIONS
C13	DETAILS 1
C14	DETAILS 2
C15	DETAILS 3

DRAINAGE CERTIFICATE

I, JASON SNYDER, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THIS DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

	REVISIONS	
No.	Description	Date
1	FOR REVIEW	4/26/22
2	CLIENT REVISIONS	5/11/22
3	VILLAGE COMMENTS	7/26/22

ENGINEER JASON J. SNYDER JSNYDER@JACOBANDHEFNER.COM	DATE
LLINOIS REGISTRATION NO. 062- EXPIRES: 11/30/23)55425
ENGINEER ONLY CERTIFIES SHEETS	
THIS PLANS OR ANY PART THERE OF SHALL	DE 001101DEDED 1/01



JACOB & HEFNER ASSOCIATES

WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601

www.jacobandhefner.com

FOR REVIEW PURPOSES ONLY

WARNING CALL BEFORE

PROPOSED

--- UGE ---

LEGEND

STORM SEWER

SPOT GRADE SANITARY MANHOLE STORM MANHOLE STORM INLET

STORM CATCH BASIN

STREET LIGHT W/MAST

UNDERGROUND ELECTRIC

DEPRESSED CURB FOR RAMP/DRIVEWAY

GARAGE FLOOR, AT REAR OF GARAGE

UNDERGROUND GAS

TOP OF FOUNDATION

TOP OF CURB, DEPRESSED

RISER FOR SANITARY SERVICE

HIGH/NORMAL WATER LEVEL

UNDERGROUND TELEPHONE

UNDERGROUND ELECTRIC

OVERHEAD ELECTRIC

MODELED FLOODPLAIN WETLAND LIMITS

Know what's **below**.

Call before you dig.

TRANSFORMER

FENCE LINE

GUARD RAIL

FORCE MAIN

GAS LINE

FLOODPLAIN

TOP OF RETAINING WALL RIM FOR STRUCTURES

CURB & GUTTER

SILT FENCE ROAD SIGN

DESCRIPTION

WATER MAIN WITH SIZE SANITARY SEWER

EXISTING

— G—

(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

Municipality: Romeoville County: Will

Township: 36N Range: 10E Section: 8

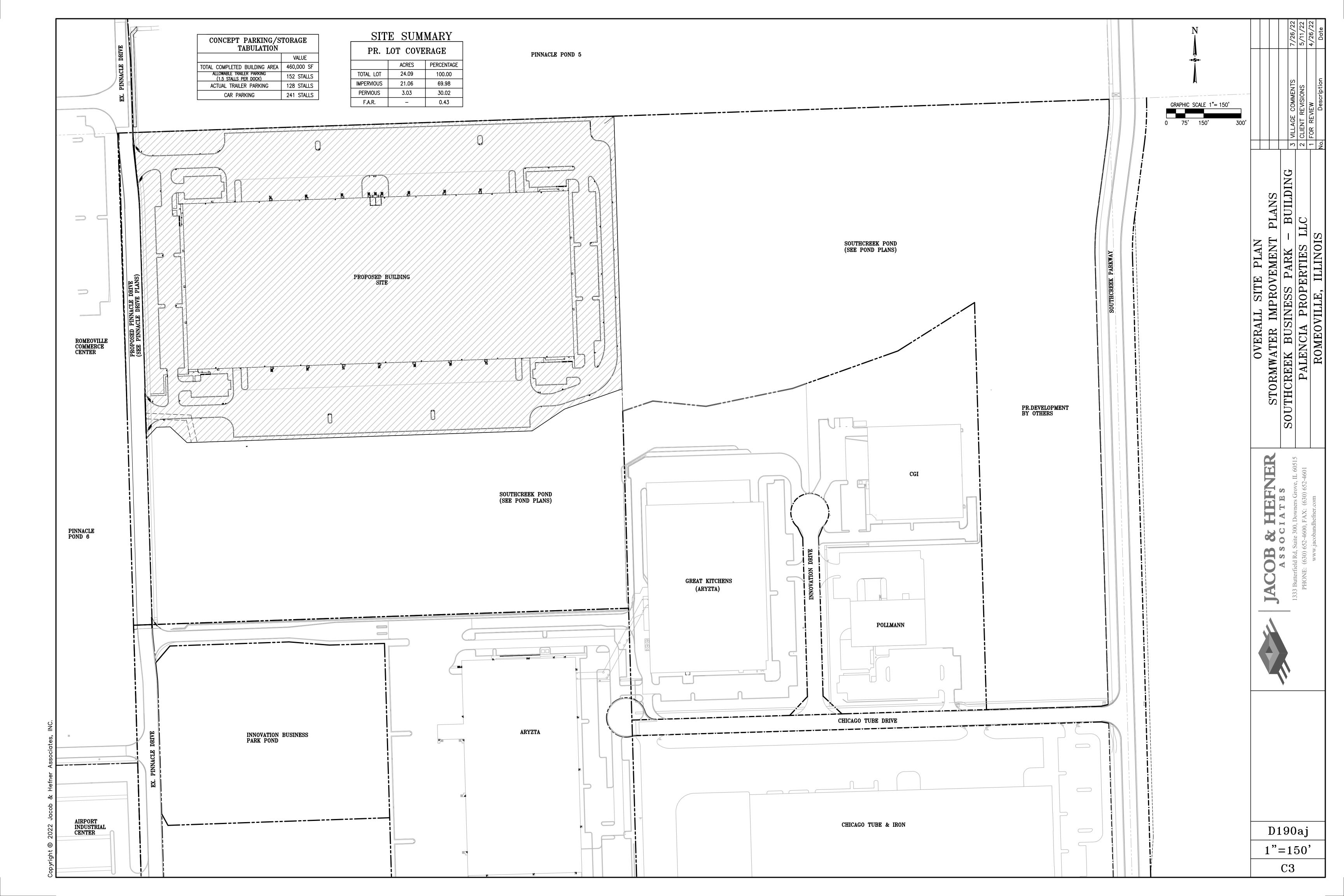
GENERAL NOTES

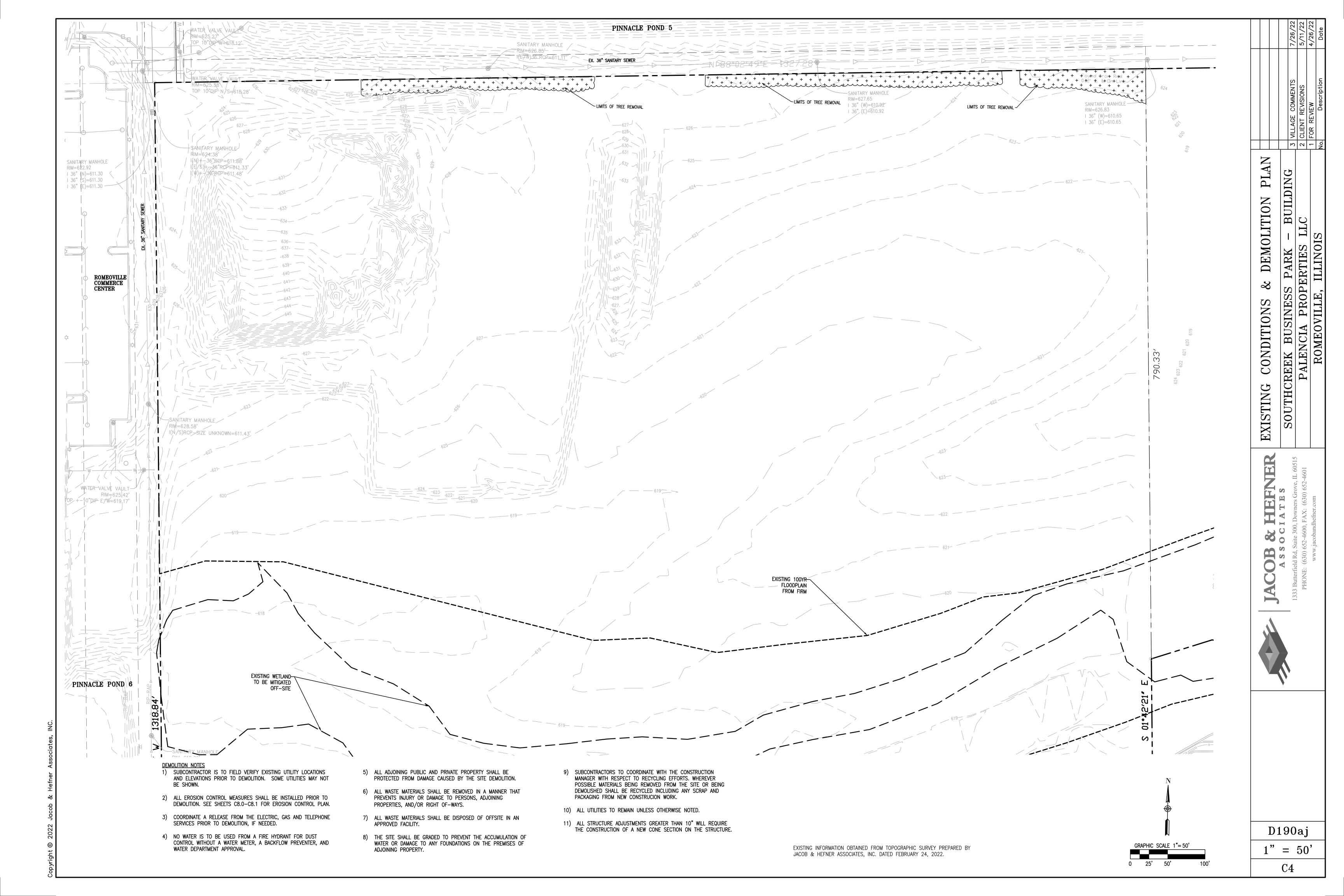
- 1. ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, VILLAGE CODE SHALL TAKE PRECEDENCE.
- 2. ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
- 3. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
- 4. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE SUBCONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
- 5. NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION EACH SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE SUBCONTRACTOR MUST VERIFY THE SURVEYOR'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE SUBCONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE SUBCONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE SUBCONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- 6. NOTIFICATION OF COMMENCING CONSTRUCTION
 - A. EACH SUBCONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE SUBCONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER VILLAGE'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
 - B. FAILURE OF SUBCONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE SUBCONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY SUBCONTRACTOR.
- 7. EACH SUBCONTRACTOR SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
- 8. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
- 9. EACH SUBCONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE SUBCONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE PROJECT'S SURVEYOR AT SUBSUBCONTRACTOR'S COST.
- 10. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER SUBCONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE SUBCONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE VILLAGE AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.
- 11. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE SUBCONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE SUBCONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- 12. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE SUBCONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
- 13. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT.
- 14. ALL WORK PERFORMED SHALL BE GUARANTEED BY THE SUBCONTRACTOR FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
- 15. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE SUBCONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
- 16. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO KNOWN AVAILABLE RECORDS. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, JACOB AND HEFNER ASSOCIATES, INC. IS RESPONSIBLE TO RESOLVE THE CONFLICT. JACOB AND HEFNER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
- 17. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE SUBCONTRACTORS, HOWEVER, SHALL FURNISH EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
- 18. EACH SUBCONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
- 19. EACH SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB RELATINING TO THEIR SCOPE OF WORK IN ACCORDANCE WITH OSHA REGULATIONS.
- 20. EACH SUBCONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, INCLUDING THE REMOVAL OF STAKES, LATHE, ETC. SET BY SURVEYORS FOR CONSTRUCTION PURPOSES, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS
- 21. IT SHALL BE EACH SUBCONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC AND PEDESTRIANS WITHIN THE AREA OF THEIR CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH THE REGULATIONS OF THE MUNICIPALITY OR D.O.T.
- 22. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE VILLAGE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

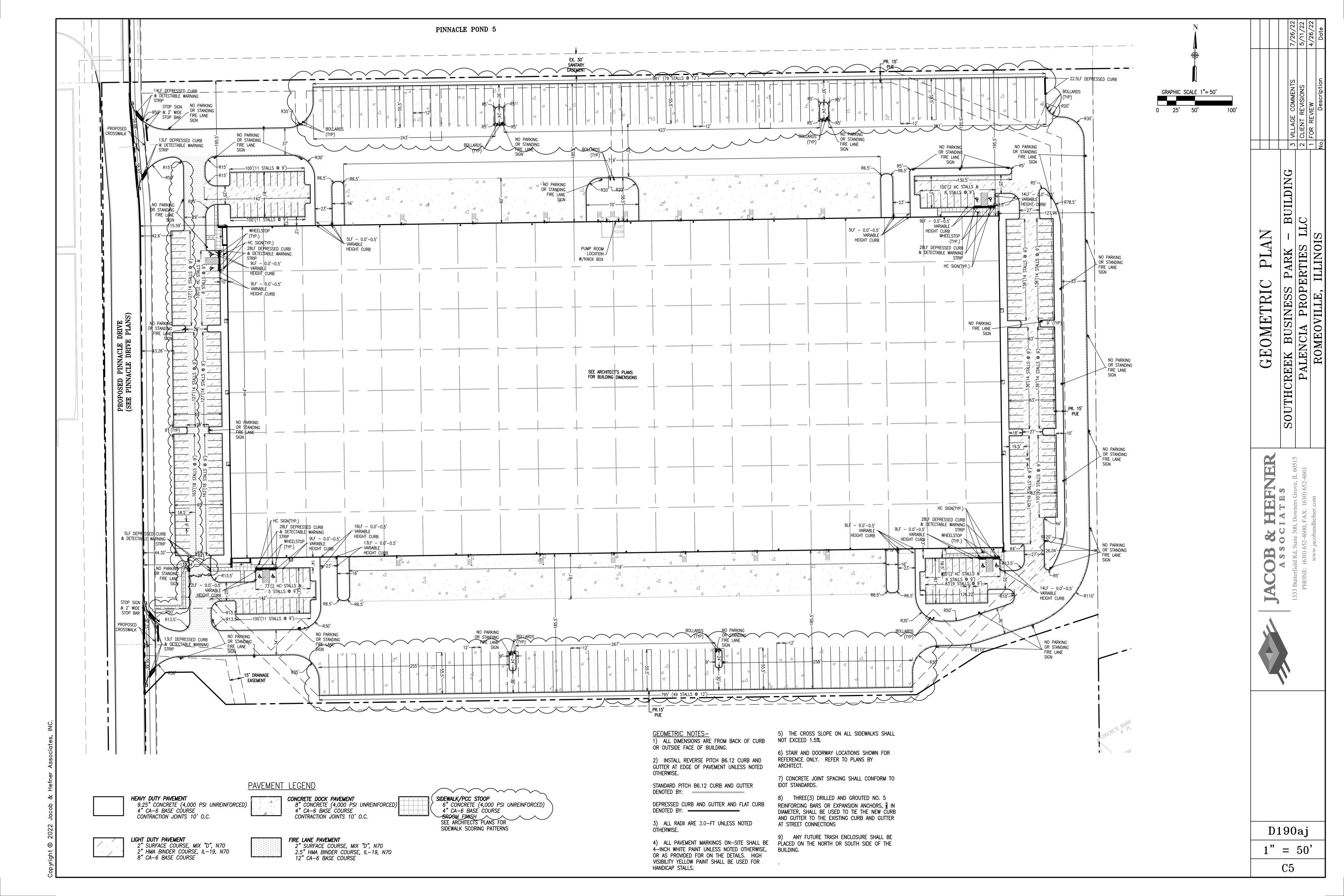
- 23. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
- 24. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- 25. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
- 26. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
- 27. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE SUBSUBCONTRACTOR AT HIS OWN EXPENSE.
- 28. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- 29. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE SUBCONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
- 30. SUBCONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- 31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND BEDDING MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-7.
- 32. WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. DRAINAGE STRUCTURES AND SEWERS CONSTRUCTED AS PART OF THIS CONTRACT SHALL BE MAINTAINED BY THE SUBCONTRACTOR AT HIS OWN EXPENSE.
- 33. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR FLUSHING OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE SUBCONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.
- 34. AS THE STORM SEWER SYSTEM IS CONSTRUCTED THE SUBCONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJECENT AND/OR UPSTREAM DRAINAGE AREAS.
- 35. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL; AND SHALL BE MAINTAINED BY THE SUBSUBCONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
- 36. CONTRACTOR SHALL PROVIDE ONE MYLAR AND REQUIRED COPIES OF "RECORD DRAWINGS" TO THE VILLAGE AND OWNER PRIOR TO ANY REQUEST FOR FINAL INSPECTION. SAID PLANS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDE VERIFICATION OF ALL BUILDING PADS, TOP OF FOUNDATION, INVERT, RIM, AND SPOT GRADE ELEVATIONS, LOCATION OF ALL WATER SERVICE B-BOXES, SANITARY SERVICES, AND STORM SERVICES AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE VILLAGE AND SIGNED BY A PROFESSIONAL LAND SURVEYOR.
- 37. AN ON-SITE GEOTECHNICAL ENGINEER WILL BE RETAINED TO MONITOR EARTHWORK AND GRADING ACTIVITY, IN ORDER TO IDENTIFY UNSUTABLE SOILS FOR REMOVAL FROM THE SITE.
- 38. SOILS REPORT PREPARED BY TESTING SERVICE CORPORATION 510K OFFICE/WAREHOUSE FACILITY SOUTHCREEK PARCEL -DATED SEPTEMBER 24, 2021

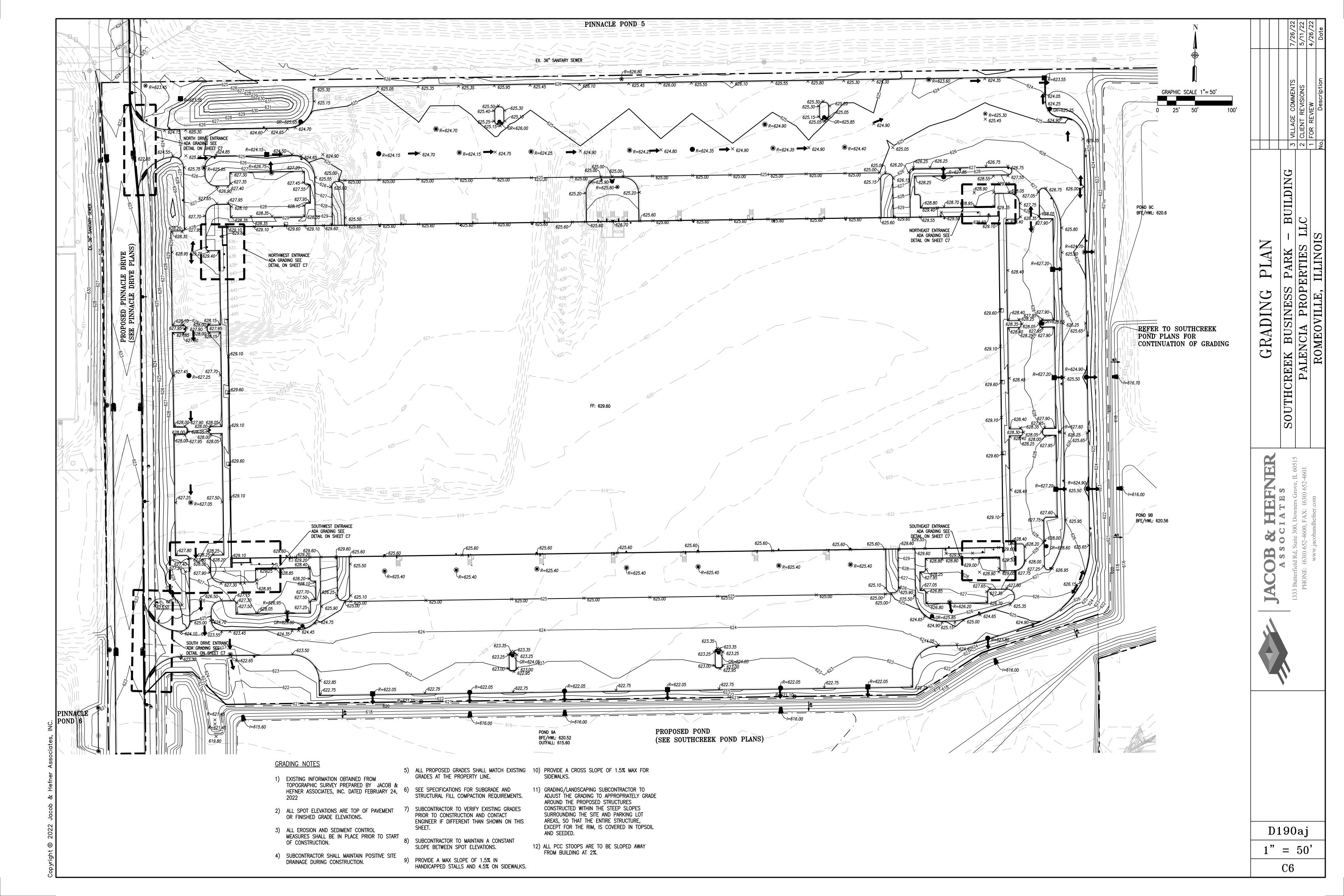
			T _a , T	01 T
CONTACTS		7/26/22	5/11/22	4/26/22 Date
VILLAGE OF ROMEOVILLE CONTACT: MR. JONATHAN ZABROCKI, P.E. C/O VILLAGE OF ROMEOVILLE 1050 WEST ROMEO ROAD ROMEOVILLE, IL 60446 PH: (815) 886–1870 ENGINEER: JASON SNYDER, P.E. JACOB & HEFNER ASSOCIATES		3 VILLAGE COMMENTS	+ +	1 FOR REVIEW No. Description
5030 38TH AVENUE MOLINE, ILLINOIS 61265 PH: (309) 757–1900 OWNER/DEVELOPER: ARNOLD KOZYS PALENCIA PROPERTEIS, LLC 2202 W, 166TH STREET MARKHAM, ILLINOIS 60428 PH: 708–968–33333	GENERAL NOTES	REEK BUSINESS PARK - BUILDING	PALENCIA PROPERTIES LLC	ROMEOVILLE, ILLINOIS
	JACOB & HEFNER	ASSOCIATES SOUTHCREEK SOUTHCREEK		www.jacobandhefner.com

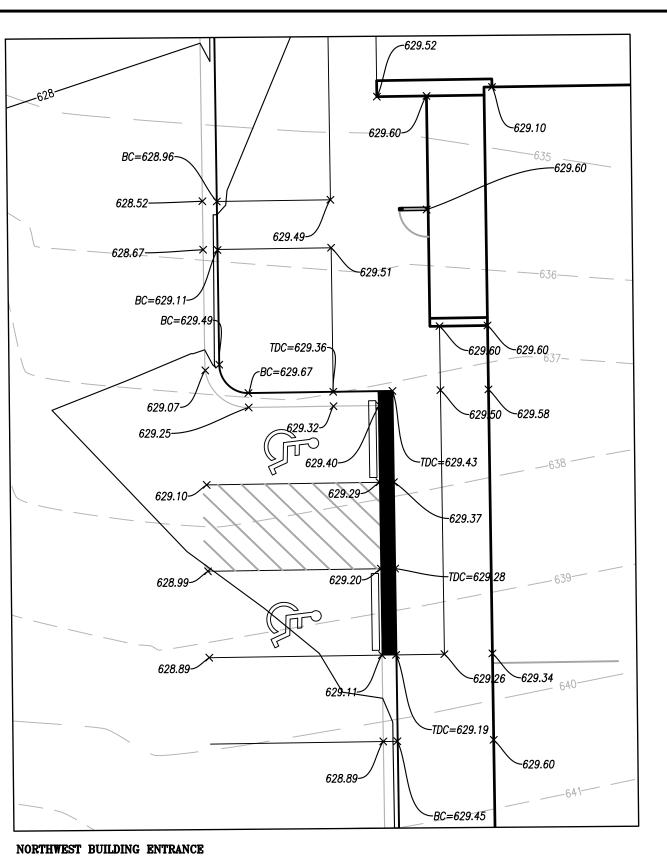
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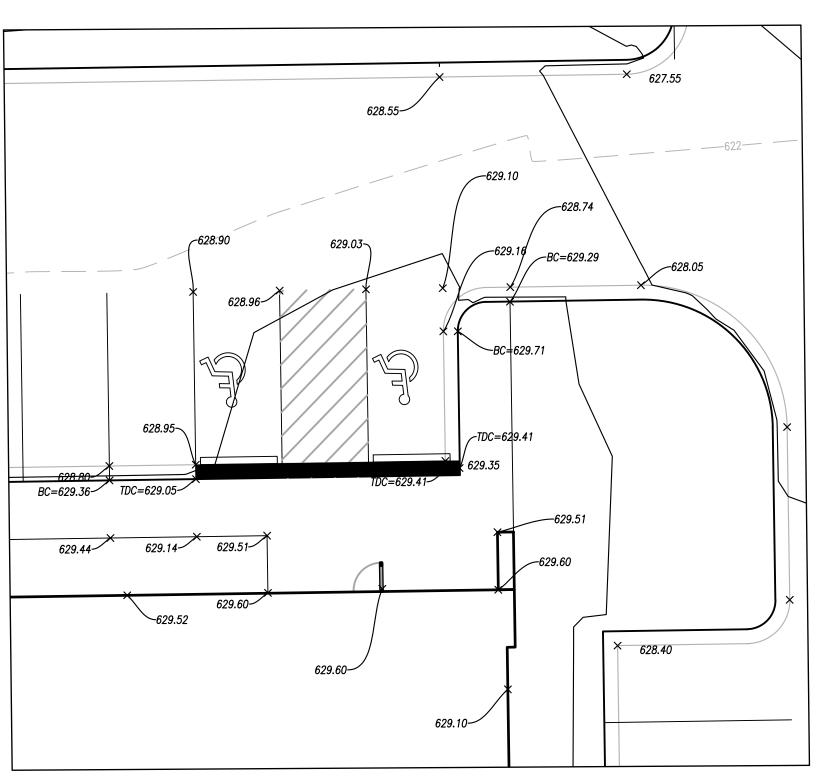


- **GRADING NOTES**
- 1) EXISTING INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY JACOB & HEFNER ASSOCIATES, INC. DATED FEBRUARY 24, 2022
- 2) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE
- 3) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 4) SUBCONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING
- 5) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY
- 6) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 7) SUBCONTRACTOR TO VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND CONTACT ENGINEER IF DIFFERENT THAN SHOWN ON THIS SHEET.
- 8) SUBCONTRACTOR TO MAINTAIN A CONSTANT SLOPE BETWEEN SPOT
- 9) PROVIDE A MAX SLOPE OF 1.5% IN HANDICAPPED STALLS AND 4.5% ON SIDEWALKS.
- 10) PROVIDE A CROSS SLOPE OF 1.5% MAX FOR SIDEWALKS.
- 11) GRADING/LANDSCAPING SUBCONTRACTOR TO ADJUST THE GRADING TO APPROPRIATELY GRADE AROUND THE PROPOSED STRUCTURES CONSTRUCTED WITHIN THE STEEP SLOPES SURROUNDING THE SITE AND PARKING LOT AREAS, SO THAT THE ENTIRE STRUCTURE, EXCEPT FOR THE RIM, IS COVERED IN TOPSOIL AND SEEDED.

627.80

627.40 TDC=627.35

12) ALL PCC STOOPS ARE TO BE SLOPED AWAY FROM BUILDING AT 2%.



NORTHEAST BUILDING ENTRANCE

628.25

627.90—

628.20

TDC=628.14

DC=628.05

ADA GRADING NOTES

- 1) ALL SIDEWALKS INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMPS UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
- 2) ALL HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%. HANDICAP ACCESSIBLE ROUTE DENOTED BY:

4) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT

NOT EXCEED 1.5% IN ANY DIRECTION.

629.10

629.56

629.26 629.30

BC=628.61~

628.05

SOUTHWEST BUILDING ENTRANCE

629.60

629.51

× 627.30

629.51

_BC=628.76

628.20

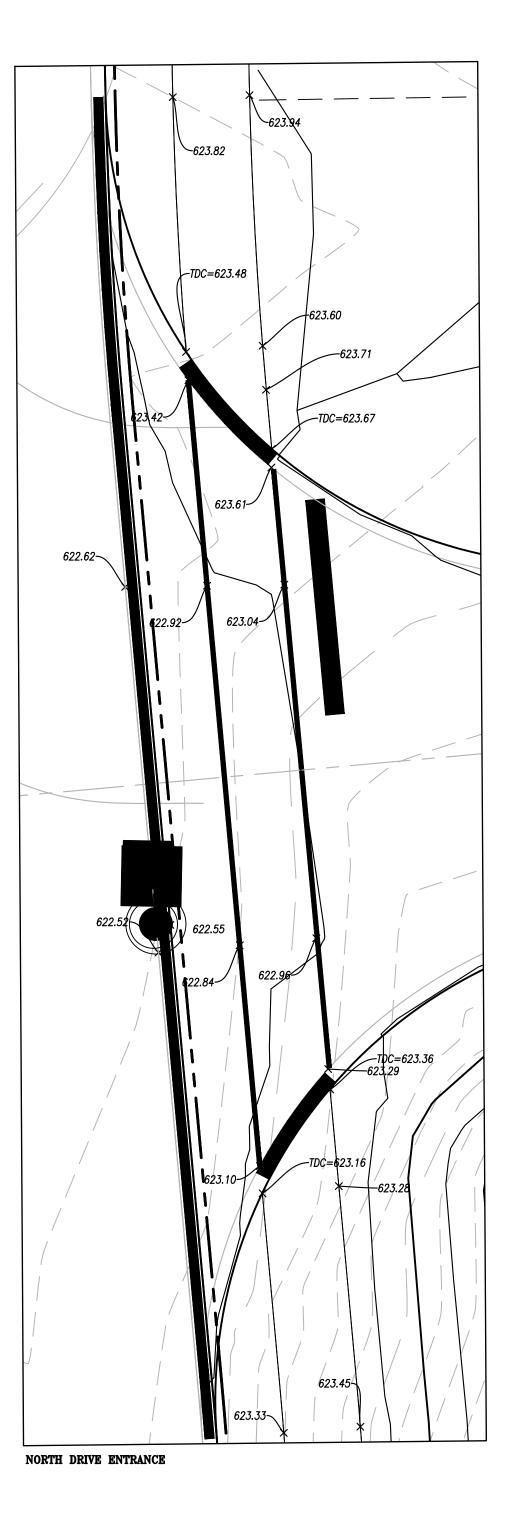
629.46

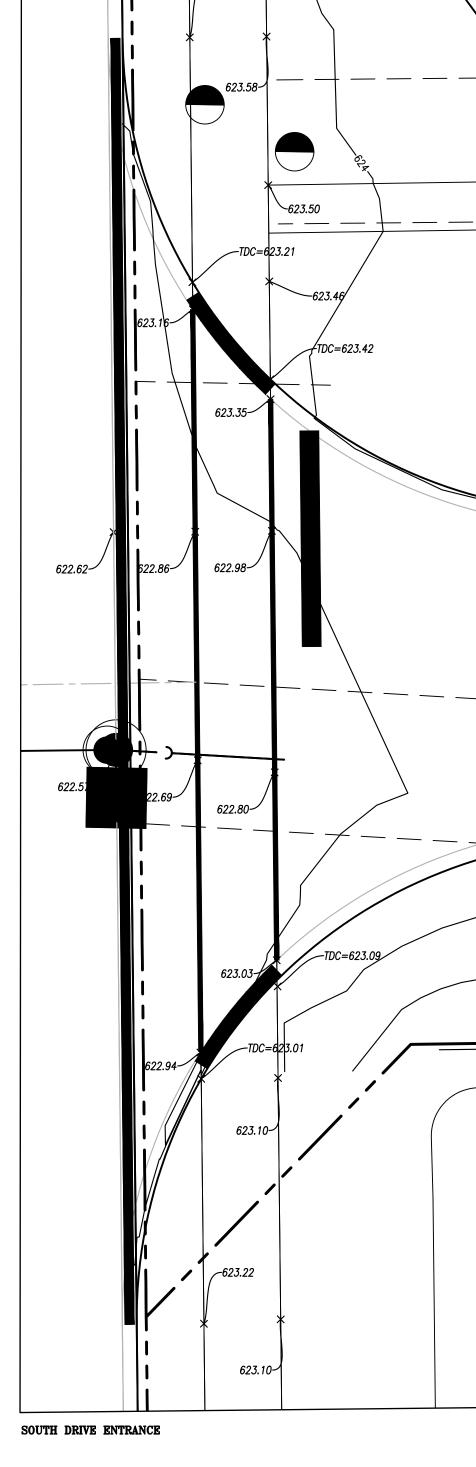
TDC=629.31~

629.29~

BC=629.59~

- EXCEED 1.5%. 5) THE PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL
- 6) REFER TO SHEET C6 FOR OVERALL GRADING PLAN AND





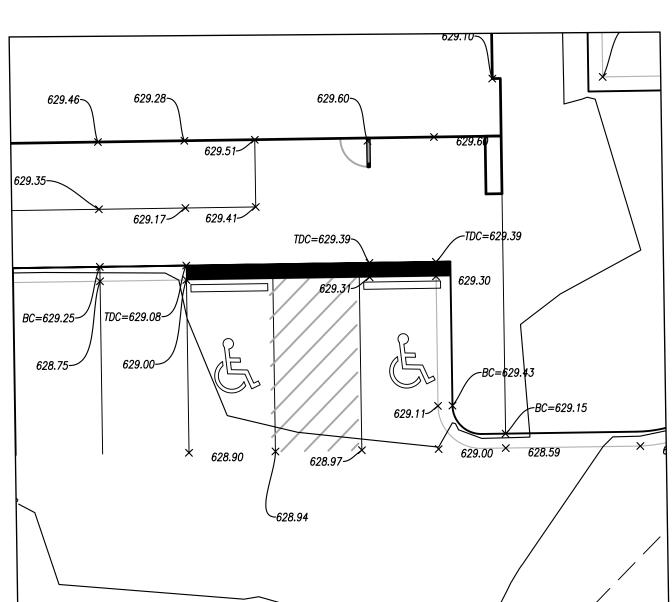
-623.46

_BC=629.13

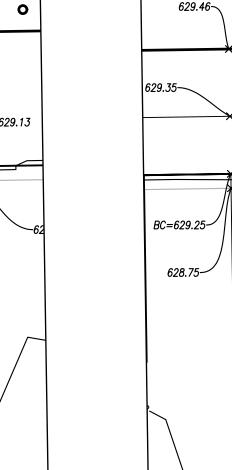
628,97 TDC=628.90

628.82

GRAPHIC SCALE 1"=10'



SOUTHEAST BUILDING ENTRANCE



3 VILL, 2 CLIE 1 FOR

JSINESS PARK
A PROPERTIES

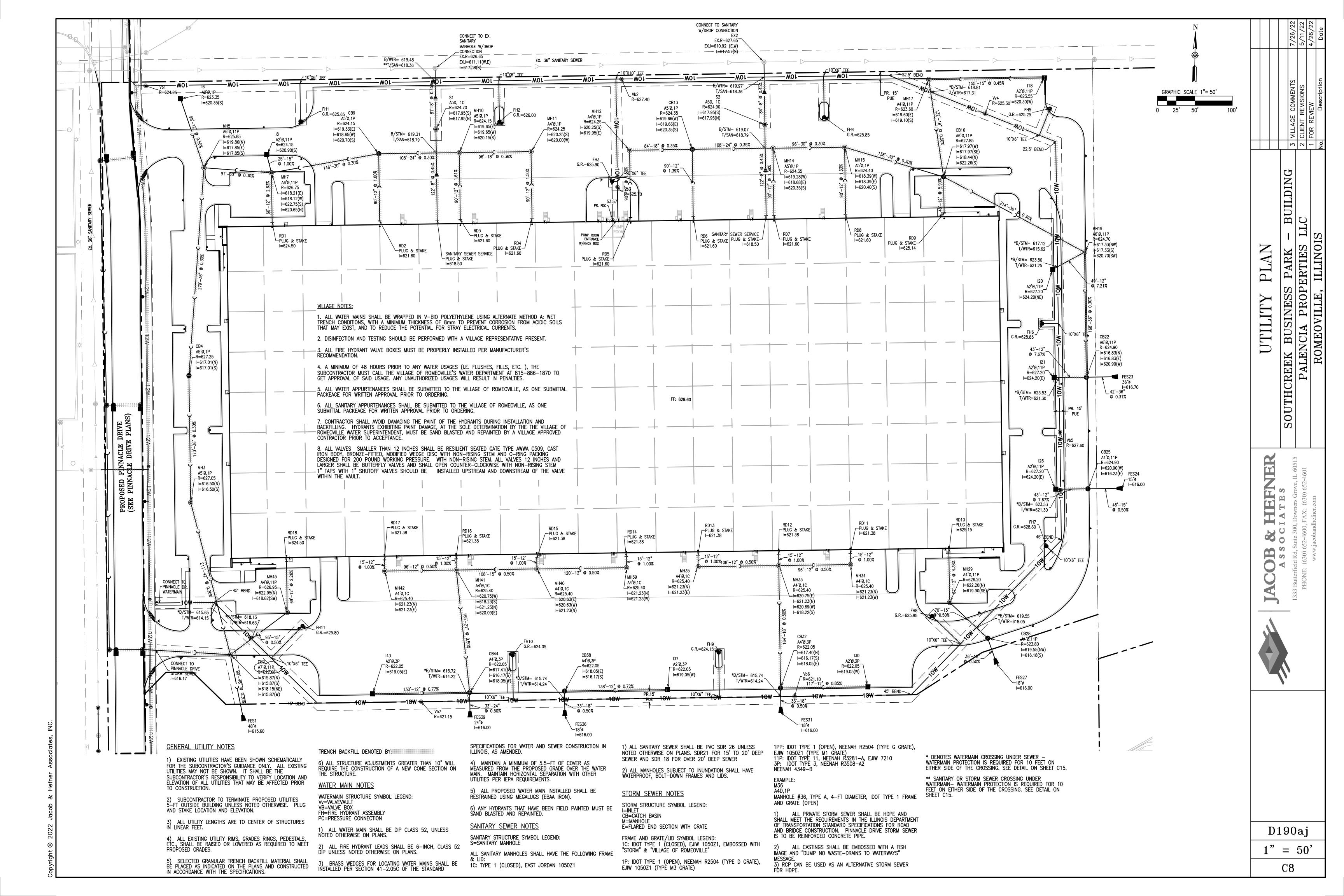
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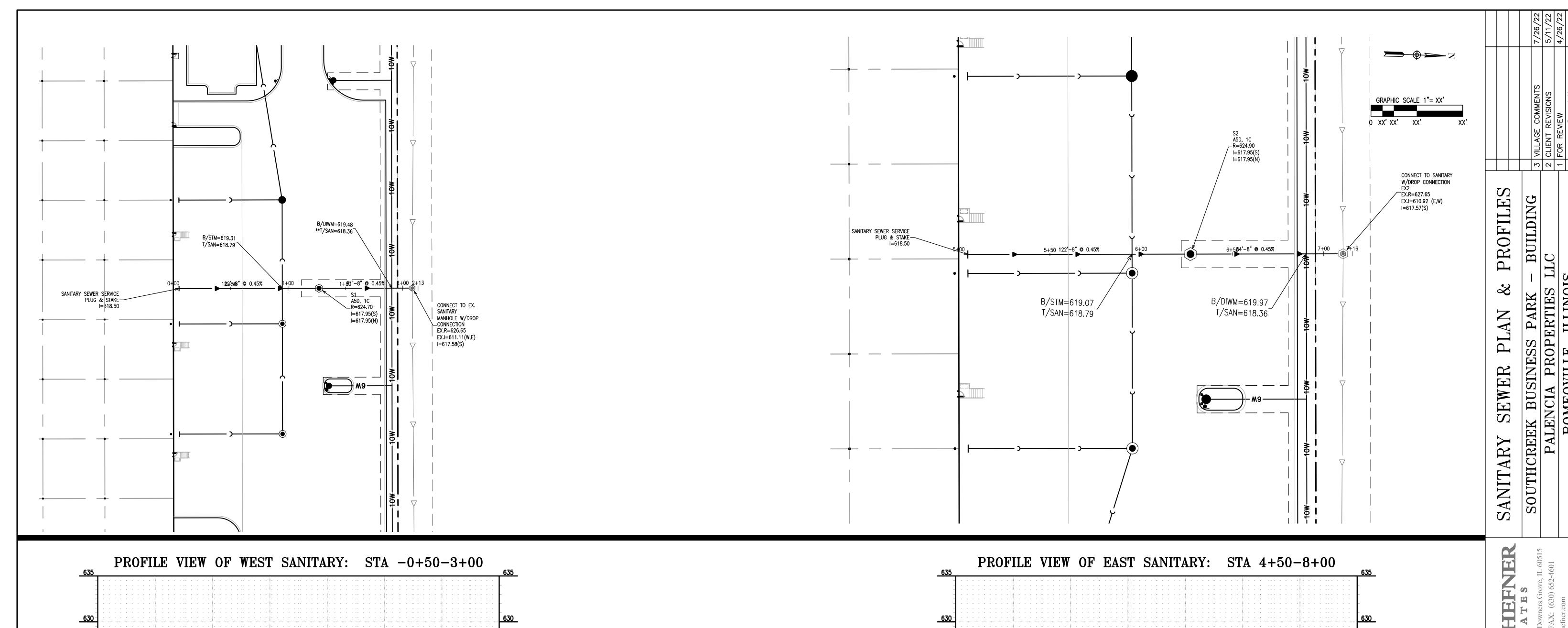
GRADIN

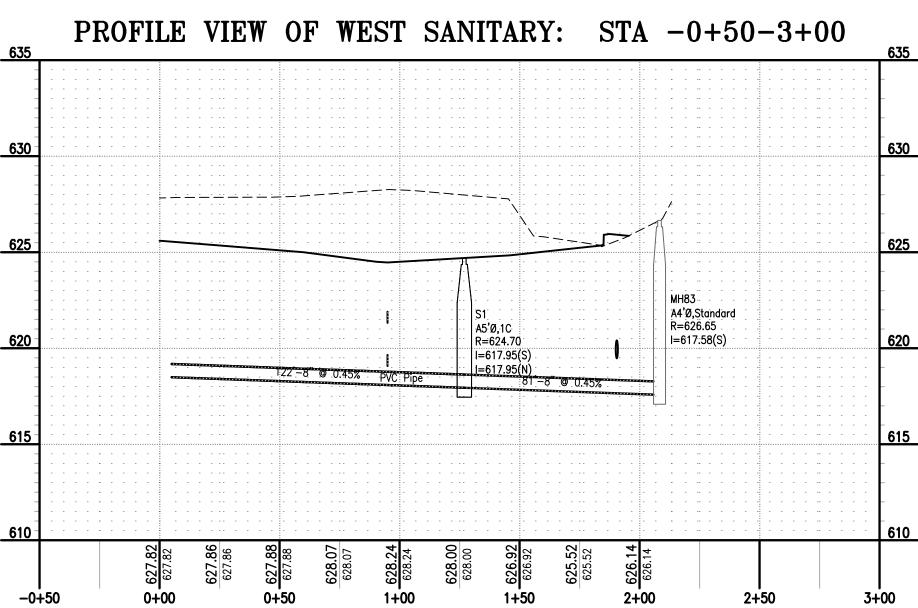
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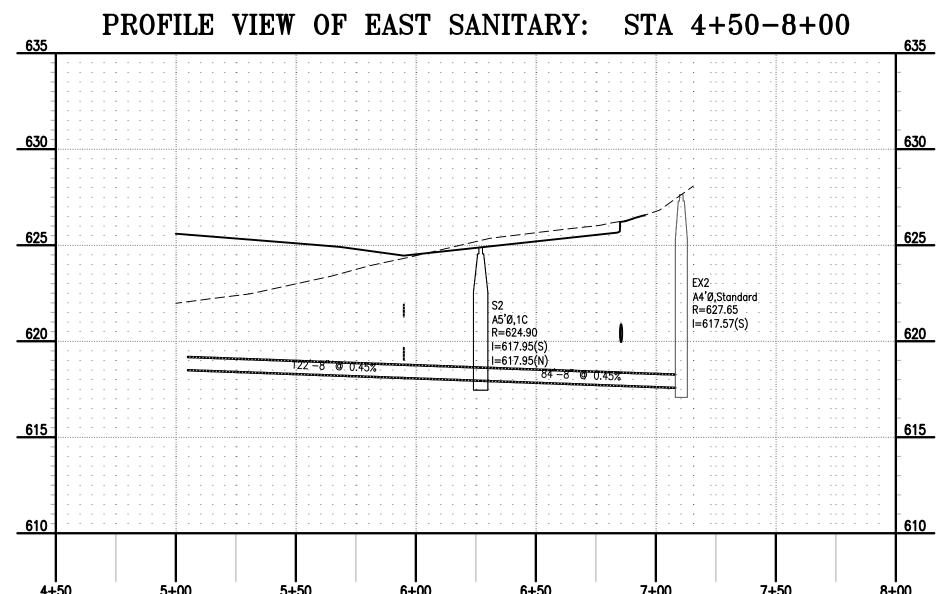
D190aj

1" = 10'









GENERAL UTILITY NOTES

PROPOSED GRADES.

1) EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE SUBCONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR

TO CONSTRUCTION. 2) SUBCONTRACTOR TO TERMINATE PROPOSED UTILITIES 5—FT OUTSIDE BUILDING UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.

3) ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET. 4) ALL EXISTING UTILITY RIMS, GRADES RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET

5) SELECTED GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS.

TRENCH BACKFILL DENOTED BY:

6) ALL STRUCTURE ADJUSTMENTS GREATER THAN 10" WILL REQUIRE THE CONSTRUCTION OF A NEW CONE SECTION ON THE STRUCTURE.

WATER MAIN NOTES WATERMAIN STRUCTURE SYMBOL LEGEND: Vv=VALVEVAULT VB=VALVE BOX

FH=FIRE HYDRANT ASSEMBLY

PC=PRESSURE CONNECTION 1) ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON PLANS.

2) ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON PLANS. 3) BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE

INSTALLED PER SECTION 41-2.05C OF THE STANDARD

SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.

4) MAINTAIN A MINIMUM OF 5.5—FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.

5) ALL PROPOSED WATER MAIN INSTALLED SHALL BE RESTRAINED USING MEGALUGS (EBAA IRON). 6) ANY HYDRANTS THAT HAVE BEEN FIELD PAINTED MUST BE SAND BLASTED AND REPAINTED.

SANITARY SEWER NOTES

ALL SANITARY MANHOLES SHALL HAVE THE FOLLOWING FRAME 1C: TYPE 1 (CLOSED), EAST JORDAN 1050Z1

1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. SDR21 FOR 15' TO 20' DEEP SEWER AND SDR 18 FOR OVER 20' DEEP SEWER

2) ALL MANHOLES SUBJECT TO INUNDATION SHALL HAVE WATERPROOF, BOLT-DOWN FRAMES AND LIDS.

STORM SEWER NOTES STORM STRUCTURE SYMBOL LEGEND: I=INLET_ CB=CATCH BASIN M=MANHOLE E=FLARED END SECTION WITH GRATE FRAME AND GRATE/LID SYMBOL LEGEND: 1C: IDOT TYPE 1 (CLOSED), EJIW 1050Z1, EMBOSSED WITH

1PP: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE G GRATE), EJIW 1050Z1 (TYPE M1 GRATE)
11P: IDOT TYPE 11, NEENAH R3281—A, EJIW 7210
3P: IDOT TYPE 3, NEENAH R3508—A2

MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATË (OPEN)

ALL PRIVATE STORM SEWER SHALL BE HDPE AND IS TO BE REINFORCED CONCRETE PIPE.

3) RCP CAN BE USED AS AN ALTERNATIVE STORM SEWER FÓR HDPE.

* DENOTES WATERMAIN CROSSING UNDER SEWER -WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C15.

** SANITARY OR STORM SEWER CROSSING UNDER WATERMAIN— WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON

D190aj

SS

" = 40C8.1

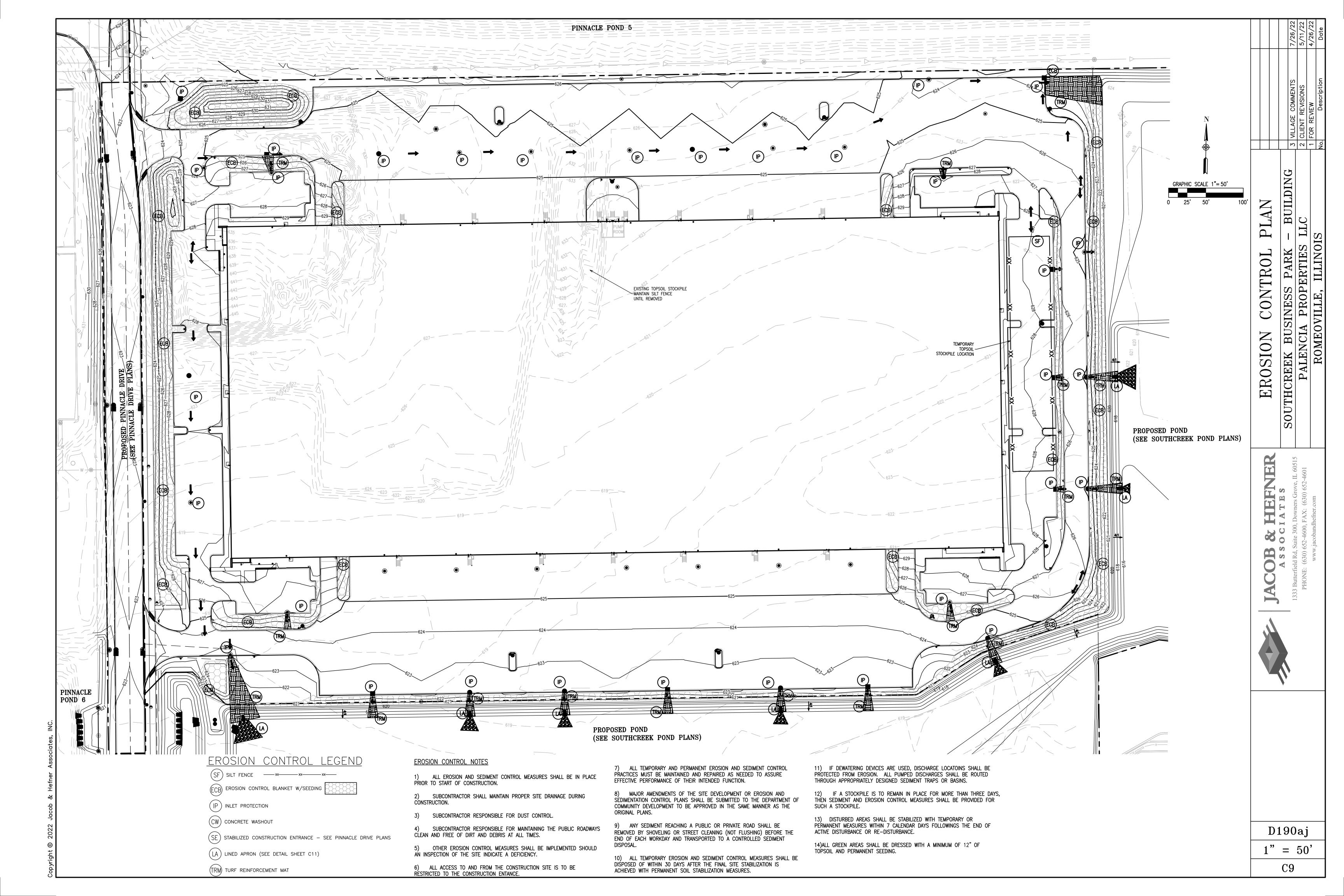
SANITARY STRUCTURE SYMBOL LEGEND: S=SANITARY MANHOLE

> "STORM" & "VILLAGE OF ROMEOVILLE" 1P: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE D GRATE), EJIW 1050Z1 (TYPE M3 GRATE)

NEENAH 4349-B

SHALL MEET THE REQUIREMENTS IN THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. PINNACLE DRIVE STORM SEWER

ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE.



CONTROL MEASURE GROUP	CONTROL MEASURE	APPL.	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERMNT	MAINTENANCE FREQUENCY
	TEMPORARY SEEDING	X	ख	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X		REDO ANY FAILING AREAS.
VEGETATIVE	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		x	REDO ANY FAILING AREAS.
SOIL COVER	DORMANT SEEDING		(DS)	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	x	RE-SEED IF NEEDED.
	SODDING		<u>so</u>	QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGE WAYS WHERE SEEDING MAY BE DIFFICULT.	X	x	N/A
	MACHINE TRACKING		6	PROVIDES SOIL ROUGHING FOR EROSION CONTROL.		x	N/A
NON VEGETATIVE	POLYMER		P	ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. PROVIDES TEMPORARY COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X	x	REAPPLY EVERY 1½ MONTHS.
SOIL COVER	AGGREGATE COVER		(AG	PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF—SITE.	X	х	CLEAN UP DIRT FROM STONE AS NEEDE
OOVER	PAVING	X	®	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		х	N/A
	RIDGE DIVERSION		RD	TYPICALLY USED ABOVE SLOPES TO COLLECT FLOW AND TRANSFER DOWNSLOPE.	X	х	CLEAN SILT OUT WHEN HALF-FULL.
	CHANNEL DIVERSION		®	TYPICALLY USED TO DIVERT FLOW.	X	х	REPLACE PROTECTION WHEN NEEDED.
DIVERSIONS	COMBINATION DIVERSION		<u>©</u>	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.	X	х	REPLACE PROTECTION WHEN NEEDED.
	CURB AND GUTTER	X	@	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION.		х	N/A
	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY.	X	х	N/A
	VEGETATIVE CHANNEL		8	PROVIDED ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.	X	х	REDO ANY FAILING AREAS.
WATERWAYS	LINED CHANNEL		(9)	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.	X	x	REPLACE PROTECTION WHEN NEEDED.
ENCLOSED	STORM SEWER	X	(F)	CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.		х	CLEAN SEDIMENT OUT.
DRAINAGE	UNDER DRAIN	X	9	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DEWATER SEDIMENT BASINS.	X	х	N/A
	STRAIGHT PIPE SPILLWAY		€P9	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		х	CLEAN OUT CONSTRUCTION DEBRIS.
SPILLWAYS -	DROP INLET PIPE SPILLWAY		OIS	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		х	CLEAN OUT CONSTRUCTION DEBRIS.
	WEIR SPILLWAY	X	W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.	X	x	CLEAN OUT CONSTRUCTION DEBRIS.
	BOX INLET WEIR SPILLWAY		BS	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.	X	x	CLEAN OUT CONSTRUCTION DEBRIS.
OUTLETS	LINED APRON	X	(3)	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.	X	x	REPAIR DISLODGED STONES OR EROSION UNDER RIP—RAP AS NEEDED
SEDIMENT	SEDIMENT BASIN		(SB)	USED TO COLLECT SMALLER PARTICLES — DETAIN WATER WITH CONTROLLED RELEASE.	X	x	CLEAN SEDIMENT OUT WHEN HALF-FULL
BASINS	SEDIMENT TRAP		জ	USED TO COLLECT LARGER PARTICLES — DETAIN WATER WITH CONTROLLED RELEASE.	Х	x	CLEAN SEDIMENT OUT WHEN HALF-FULL
SEDIMENT	SILT FENCE	X	(SF)	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	X		CLEAN SEDIMENT OUT WHEN SILT IS HALF-FULL. REPAIR ANY DAMAGED SILT FENCE WHEN NEEDED.
FILTERS	VEGETATIVE FILTER		(F)	USED ALONG DRAINAGE WAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.	X	х	REDO ANY FAILING AREAS.
MUD AND	STABILIZED CONST. ENTRANCE	X	(SE)	PREVENT MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X	х	SCRAPE MUD AND REPLACE STONE AS NEEDED.
DUST CONTROL	DUST CONTROL	X	a	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X	х	RE-APPLY AS NEEDED.
	EROSION CONTROL BLANKET	X	€	PROTECTS SOIL, SEED AND HELPS GROW VEGETATION.			REPLACE AS NEEDED
	TURF REINFORCEMENT MAT	X	(RM)	REINFORCES TURF IN CHANNELS AND SHORELINES.			REPLACE AS NEEDED
EROSION	CELLULAR CONFINEMENT		Œ	USED TO HOLED TOPSOIL ON STEEP SLOPES.			REPLACE AS NEEDED
CONTROL	GABIONS		(A)	USED TO PREVENT EROSION IN VERY HIGH FLOW AREAS.			REPLACE AS NEEDED
	GEOTEXTILE FABRIC		(F)	USED FOR EROSION / SEDIMENT CONTROL/ SEPARATION / STABILIZATION.			REPLACE AS NEEDED
	GEOBLOCK POROUS PAVEMENT		@	USED FOR FIRE LANE ACCESS / VEGETATIVE PAVEMENT.			REPLACE AS NEEDED
	INLET PROTECTION	X	(a)	USED FOR PROTECTION OF INLETS.			REPLACE OR CLEAN WHEN CLOGGED.
	SLOPE INTERRUPT		SI	USED TO BREAK UP THE FLOW ON A SLOPE.			CLEAN OUT WHEN HALF-FULL OF SILT.
ŀ	DITCH CHECK	X	8	USED FOR FLOW SEDIMENT CONTROL IN SWALES AND CHANNELS.			CLEAN OUT WHEN HALF-FULL OF SILT.
SEDIMENT	FLOC LOG		E	USED TO CLARIFY WATER THAT HAS SEDIMENT IN THE WATERY COLUMN.			REPLACE WHEN HALF DISSOLVED.
CONTROL	SILT CURTAIN		SC	USED FOR SEDIMENT CONTROL IN STREAM / POND.			REPLACE WHEN FABRIC IS TORN OR HO BEGIN TO FORM.
	PUMPING DISCHARGE BAG		PB	USED FOR PUMP DISCHARGE LINES.			REPLACE WHEN HALF-FULL, FABRIC IS TO OR HOLES BEGIN TO FORM.
	CONCRETE WASHOUT	X	(S)	FOR CONCRETE TRUCKS TO WASHOUT.			CLEAN OUT WHEN HALF-FULL, CLEAN WASHOUT GRAVEL AREA AS NEEDED.
		+					CLEAN ONCE A WEEK, OR AS NEEDED

USED TO PREVENT SILT BUILD UP IN STREETS.

SEEDING CHART

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	ост.	NOV.	DEC.
PERMANENT SEEDING			+ <u>A</u>			-•-			-			
DORMANT SEEDING	В		-								+ B	-
TEMPORARY SEEDING			+c			-	+ <u>D</u>		-			
SODDING			+E++						-			
MULCHING	F											
MOLO! III4G												

- KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS
- C SPRING OATS 100 LBS/ACRE D WHEAT OR CEREAL RYE
- RENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS
 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.

* IRRIGATION NEEDED DURING JUNE AND JULY.

- 150 LBS/ACRE.
- F STRAW MULCH 2 TONS/ACRE.
- ** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD. *** MOW LAWNS AS NECESSARY

STREET SWEEPING

	OBSERVATION	& MAINTENANCE	SCHEDULE
	ACTIVITY	RESPONSIBLE PARTY	DURATION
	STABILIZATION DURING CONSTRUCTION— MAINTENANCE	MERIDIAN DESIGN BUILD 9550 W HIGGINS ROAD, STE 400 ROSEMONT, IL 60018 PH: 847-374-9200	DURING CONSTRUCTION
	STABILIZATION DURING CONSTRUCTION— OBSERVATION	JACOB & HEFNER ASSOC, 1333 BUTTERFIELD RD, STE 300 DOWNERS GROVE, IL 60515 PH: 630-652-4600	WEEKLY & AFTER EARAINFALL EVENT IN EXCESS OF 0.5".
	VEGETATION MAINTENANCE	PALENCIA PROPERTIES, LLC 2202 W 166TH STREET MARKHAM, IL 60428 PH: 708-968-3333	1 YEAR FROM COMPLETION
	VEGETATION STABILIZATION MAINTENANCE	PALENCIA PROPERTIES, LLC 2202 W 166TH STREET MARKHAM, IL 60428 PH: 708-968-3333	ONGOING FROM CONSTRUCTION COMPLETION
(

NOTES:

This plan has been prepared to comply with the provisions of the NPDES Permit Number ILR10B569, issued by the Illinois Environmental Protection Agency for Stormwater Discharges from Construction Site Activities and Soil Erosion and Sediment Control Ordinance for the County.

Site Description.

a. The following is a description of the construction activity following mass grading which is the subject of this

The proposed development consists of construction of Industrial Development The construction activities for site improvements will include:

mass grading, pavement construction, installation of utilities including storm sewers, soil erosion and sedimentation control measures, as a minimum.

b. The following is a description of the intended sequence of major activities which will disturb soils for major portions of the construction site, such as grubbing, excavation, and grading:

The sequence of the construction activities may be as follows: 1) install silt filter fence and stabilized

construction entrance, 2) mass grading, 3) underground utilities installation, 4) fine grading in pavement

area and 5) pavement construction. The soil erosion and sedimentation control items will be constructed as needed during the above construction activities.

c. The total area of the construction site is estimated to be <u>24.1</u> acres. The total area of the site that it is estimated to be disturbed by excavation, grading, or other activities,

is <u>24.1</u> acres. d. The estimated runoff coefficients of the various areas of the site after construction activities are completed are contained in the project drainage study, titled Stormwater Management for Southcreek Building

The estimated proposed overall site runoff coefficient is 0.89 e. Existing data describing soils or quality of discharge (soils report if available) Poor/Fair/Good (Not Available)

Improvmenets prepared by Jacob & Hefner Associates. Inc. which is hereby incorporated by reference in this

f. Name of receiving water(s) Southcreek Pond Name of ultimate receiving water(s) Mlnk Creek

g. Wetland acreage: 0.58

Controls.

This section of the plan addresses the various controls that will be implemented for each of the major construction activities described in 1.b above. For each measure discussed, the contractors will be responsible for its implementation as indicated. Each such contractor has signed the required certification on forms which are attached to, and are a part of, this plan.

a. Erosion and Sediment Controls.

(i) STABILIZATION PRACTICES. Provided below is a description of interim and permanent stabilization practices, including site-specific scheduling of the implementation of the practices. Site plans will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Except as provided in 2.a.(i).(A) and 2.b., stabilization measures shall be initiated within 1 working day in portions of the site where construction activities have temporarily or permanently ceased and must be completed within 14 calendar days after the construction activity in that portion of the site has ceased on all disturbed portions of the site where construction activity will not occur for a period of 14 or more

Where the initiation of stabilization measures after construction activity temporarily or permanently ceases is precluded by snow cover, stabilization measures shall by initiated as soon as practicable thereafter.

The following interim and permanent stabilization practices, as a minimum, will be implemented to stabilize the disturbed area of the site:

- Permanent seeding Silt filter fence
- Vegetative Filter
- Stabilized construction entrance Barrier filter

(ii) STRUCTURAL PRACTICES. Provided below is a description of structural practices that will be implemented, to the degree attainable, to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. The installation of these devices may be subject to Section 404 of the Clean Water Act.

- Detention Pond Storm sewer system
- Rip-rap for outlet protection Permanent seeding

(iii) DUST CONTROL: Dust Control shall be provided per standard 825 of Illinois Urban Manual. Following are the dust control that can be used.

- Spray on adhesive Vegetative cover Mulching

b. Stormwater Management.

(i)Provided below is a description of measures that will be installed durina the construction process to control pollutants in stormwater discharges that will occur after construction operations have been

completed. The installation of these devices may be subject to Section 404 of the Clean Water Act. The practices selected for implementation were determined on the basis of the technical guidance contained in IEPA's Standard Specifications for Soil Erosion and Sedimentation Control, and other

ordinances listed in the Specifications. The stormwater pollutant control measures shall include:

- 1. Silt filter fence Barrier filters
- 4. Retention/Detention ponds

(ii) Velocity dissipation devices will be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity flow from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydroperiod and hydrodynamics present prior to the initiation of construction activities).

- Stormwater Management Control includes:
- 1. Rip-rap for outlet protection 2. Ditch check

TO KEEP STREET CLEAN.

c. Other Controls.

(i) Waste Disposal. The solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed off-site by the contractor. The contractor is responsible to acquire any permit required for such disposal. Burning on the site will not be permitted. No solid materials, including building materials, shall be discharged into Waters of the State, except as authorized by a Section 404 permit.

(ii) The provisions of this plan shall ensure and demonstrate compliance with applicable State and/or local waste disposal, sanitary sewer or septic system regulations.

The sanitary sewage will be discharged to the proposed sanitary sewer constructed per IEPA and local

d. Approved State or Local Plans.

The management practices, controls, and other provisions contained in this plan are at least as protective as the requirements contained in the Illinois Environmental Protection Agency's Standards and Specifications for Soil Erosion and Sediment Control dated October 1987, Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Plan, and the Municipal Subdivision Ordinance. Requirements specified in sediment and erosion control site plans or site permits or stormwater management site plans or site permits approved by local officials that are applicable to protecting surface water resources are, upon submittal of an NOI to be authorized to discharge under this permit, incorporated by reference and are enforceable under this permit even if they are not specifically included in the plan.

The following is a description of procedures that will be used to maintain, in good and effective operating conditions, vegetation, erosion and sediment control measures and other protective measures identified in this plan and Standard Specifications.

Stabilized construction entrance: The entrance shall be maintained to prevent tracking of sediment onto public streets. This will be done by top dressing with additional stones, remove and replace top layer of stones or washing the entrance. The sediment washed on the public right-of-way will be removed immediately. Vegetative erosion control measures: The vegetative growth of temporary and permanent seeding, sodding, vegetative channels, vegetative filter, etc. shall be maintained periodically and supply adequate watering and fertilizer. The vegetative cover shall be removed and reseeded as necessary.

Sedimentation basins/traps: The sediments shall be removed when 40-50 percent of the total original capacity is occupied by the sediment. In no case shall the sediment be built up to more than 1 foot below the crest elevation. At this stage, the basin shall be cleaned out to restore its original volume.

Silt filter fence: The damaged silt filter fence shall be restored to meet the standards or removed and replaced as needed

Straw bale barrier filters: The straw bale barrier filter shall be inspected frequently and shall be repaired or

Rip-Rap outlet protection: It shall be inspected after high flows for any scour beneath the Rip-Rap or for stones that have been dislodged. It shall be repaired immediately

The Owner, or Owner's representative shall provide qualified personnel to inspect disturbed areas of the construction site which have not been finally stabilized, structural control measures, and location where vehicles enter or exit the site. Such inspections shall be conducted at least once every seven (7) calendar days and within 24 hours of the end of a storm (or by the end of the following business or work day) that consists of 0.5 inches or greater of ranifall or a discharge occurs due to snowmelt.

a. Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off site sediment tracking.

b. Based on the results of the inspection, the description of potential pollutant sources identified in section 1 above and pollution prevention measures identified in section 2 above shall be revised as appropriate as soon as practicable after such inspection. Any changes to this plan resulting from the required inspections shall be implemented within 7 calendar days following the inspection.

c. A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this stormwater pollution prevention plan, and actions taken in accordance with section 4.b. shall be made and retained as part of the plan for at least three (3) years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the general permit.

d. If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this plan, the Resident Engineer or Resident Technician shall complete and file an "Incidence of Noncompliance" (ION) report for the identified violation. The Resident Engineer or Resident Technician shall use forms provided by the Illinois Environmental Protection Agency and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted from the noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with Part VI. G of the general permit. The report of noncompliance shall be mailed to the following address:

- ALL PACKAGES: Illinois Environmental Protection Agency Division of Water Pollution Control Attn: Compliance Assurance Section 1024 North Grand Avenue, East
- Illinois Environmental Protection Agency Division of Water Pollution Control Attn: Compliance Assurance Section Post Office Box 19276 Springfield, IL 62794-9276
- 5. Non-Stormwater Discharge

Except for flows from fire fighting activities, sources of non-stormwater that may be combined with stormwater discharges associated with the residential activity addressed in this plan, are described below:

Water main flushing Fire hydrant flushing

Springfield, IL 62794

- Watering for dust control
- Irrigation drainage for vegetative growth for seeding, etc.

The pollution prevention measures, as described below, will be implemented for non-stormwater components of

The fire hydrant and water main shall not be flushed directly on the exposed area or subgrade of the pavement. Hoses shall be used to direct the flow into the storm sewer system. The erosion due to irrigation of seeding shall be considered minor.

NPDES CERTIFICATE

This certification statement is a part of the Storm Water Pollution Prevention Plan for the project described below, in accordance with NPDES Permit No. ILR10B569, issued by the Environmental Protection Agency on 7/31/10

PROJECT TITLE: SOUTHCREEK - BUILDING PLANS

PROJECT LOCATION: ROMEOVILLE CITY/VILLAGE

DEVELOPER: PALENCIA PROPERTIES

I certify under penalty of law that I understand the terms of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site identified as part of this certification.

Signature:

Name:	Signature

CONTRACTOR/SUBCONTRACTOR CERTIFICATION STATEMENT

VILLAGE NOTES:

1) THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.

2) ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO

3) A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LÉAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL COSTRUCTION SITES OVER ONE ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.

4) AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.

5) A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMTTIED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION. 6) ALL WEEKLY INSPECTION REPORTS and THOSE REPORTS AFTER 1" OF RAINFALL SHALL ALSO BE SENT VIA EMAIL TO NPDES@ROMEOVILLE.ORG

EROSION CONTROL CERTIFICATE:

THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND COMPLIES WITH THE URBAN SOIL EROSIONS CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

CONSTRUCTION SCHEDULE

DESCRIPTION	JUL-22	AUG-22	SEP-22	OCT-22	NOV-22	DEC-22	JAN-23	FEB-23	MAR-23	APR-23	MAY-23	JUN-23	JUL-23
EROSION CONTROL													
SITE CLEARING													
MASS GRADING													
UTILITIES													
PAVING													
SITE STABILIZATION													
	•		•		•	•		•	•				

RIP-RAP DIMENSION TABLE

STRUCTURE NUMBER/POND	INLET PIPE SIZE d (IN)	DISCHARGE Q (CFS)	LENGTH OF APRON La (FT)	MEDIAN RIPRAP SIZE C (IN)	WIDTH OF APRON U/S FACE 3d (FT)	WIDTH OF APRON D/S FACE 3d+La (FT)	DEPTH OF RIP RAP Y (IN)	AREA OF RIP RAP (SQ.YDS.)	VOLUME OF RIP RAP (CU.YDS.)
ALL	12		10	6	3.00	13.00	15	8.89	3.7
ALL	15		10	6	3.75	13.75	15	9.72	4.1
ALL	18		15	9	4.50	19.50	20	20.00	11.1
ALL	21		15	9	5.25	20.25	20	21.25	11.8
ALL	24		18	9	6.00	24.00	20	30.00	16.7
ALL	27		18	9	6.75	24.75	20	31.50	17.5
ALL	30		20	9	7.50	27.50	20	38.89	21.6
ALL	36		24	12	9.00	33.00	28	56.00	43.6
ALL	42		27	12	10.5	37.50	30	72.00	60.0
ALL	48		27	15	12.0	39.00	32	76.50	68.0
ALL	54		27	15	13.5	40.50	32	81.00	72.0
ALL	60		36	15	15.0	51.00	32	132.00	118.0
ALL	72		44	18	18.0	62.00	32	195.56	174.0

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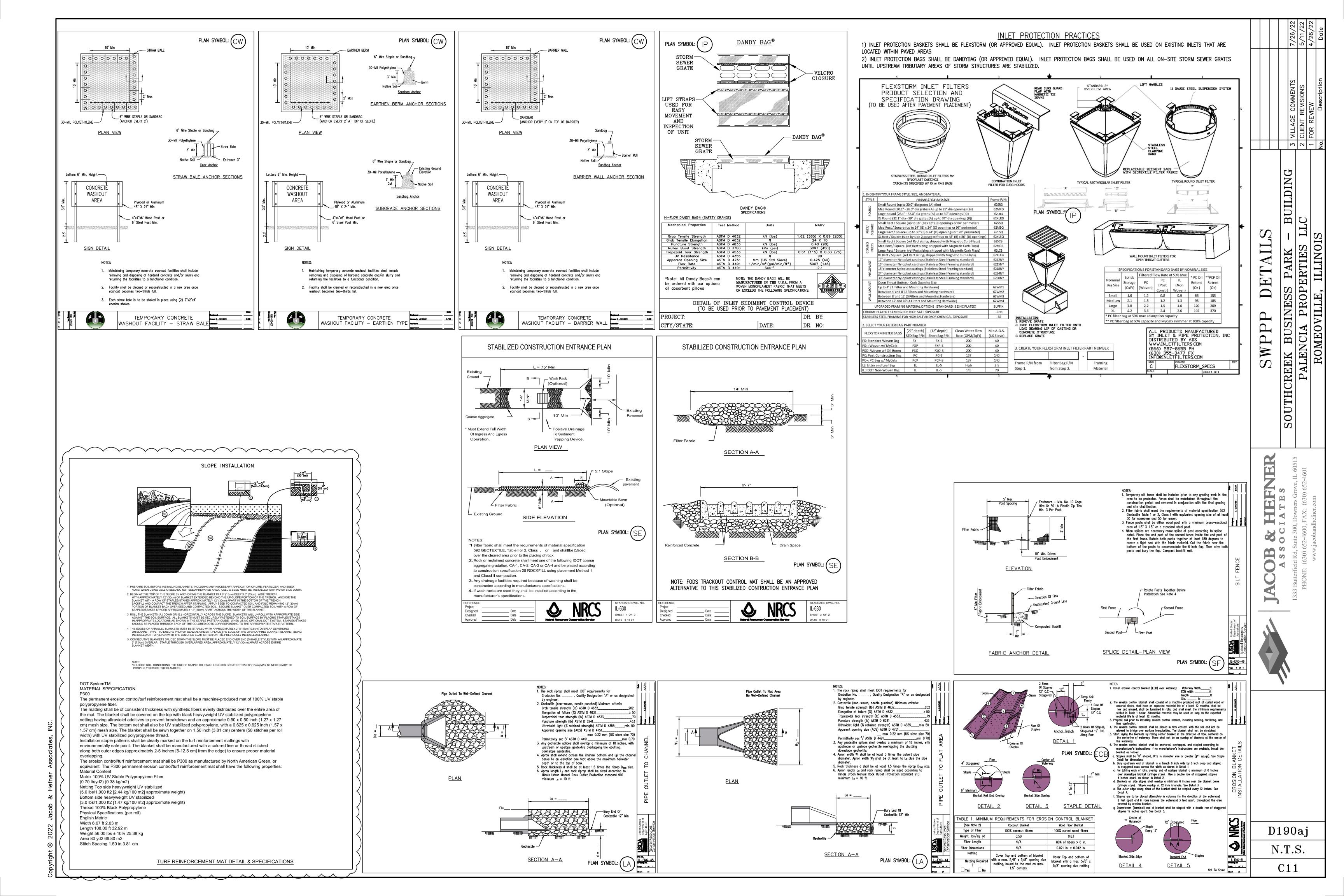
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N.T.S.



SANITARY SEWER PAVEMENT EARTHWORK WATER MAIN SOIL EROSION AND SEDIMENT CONTROL I. TOPSOIL EXCAVATION 1. UNLESS NOTED OTHERWISE, ALL SANITARY SEWER SHALL BE RING TITE PVC (POLYVINYL CHLORIDE) WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, CLASS 52. PIPE CONFORMING TO AWWA ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE PLASTIC PIPE. ALL PIPE SHALL CONFORM TO ASTM D-3034 WITH ELASTOMERÌC RUBBER RING GAŚKET C-151 (ANSI A-21.51) WITH CEMENT MORTAR LINING AND BITUMINOUS SEAL COATING CONFORMING TO SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY AND THE ILLINOIS URBAN MANUAL. A. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE JOINTS CONFORMING TO ASTM D3212. THE STANDARD DIMENSION RATIO (SDR) FOR PIPE SHALL BE 26. , ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE MATERIALS SHALL BE ANSI-A-21.4 (AWWA C-104). ALL WATER MAIN MUST BE WRAPPED IN V-BIO POLYETHYLENE USING WHERE SHOWN THE PVC SDR 21 SANITARY SEWER SHALL BE RING TITE PVC (POLYVINY) CHLORIDE) MATERIAL, THE PAVED AREAS SHALL BE FINE GRADED TO WITHIN 0.05 FEET OF FINAL SUBGRADE REMOVED FROM AREAS REQUIRING STRUCTURAL FILL. ALTERNATE MODIFIED METHOD A: WET TRENCH CONDITIONS. A LAYER OF ARC-SPRAYED ZINC PER ISO BEFORE STARTING SITE CLEARING AND GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB. PLASTIC PIPE CONFORMING TO ASTM D-2241 WITH ELASTOMERIC RUBBER RING GASKET JOINTS 8179 IS REQUIRED ON EXTERIOR PIPE. SHALL BE INSTALLED AS SHOWN ON THE PLANS. B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL CONFORMING TO ASTM D3139. THE PVC DR18 SANITARY SEWER SHALL CONFORM TO AWWA 2. CURB AND GUTTER C900/C905 WITH RUBBER GASKET JOINTS CONFORMING TO AWWA C900/C905 THE JOINTS SHALL BE PUSH-ON JOINTS CONFORMING TO ANSI A-21.11 (AWWA C-111) AND ALL THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGINNING ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS RETAINING GLANDS SHALL BE SET SCREW OR MEGA-LUG TYPE. WATER MAIN FITTINGS SHALL BE OF C. EXCESS MATERIALS, IF NOT UTILIZED AS FILL OR IF NOT TO BE STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF A. THE TYPE OF THE CURB AND GUTTER SHALL BE AS DETAILED ON THE ENGINEERING PLANS. 2. CONNECTING SEWER PIPE OF DISSIMILAR MATERIAL IS NOT ALLOWED. DUCTILE IRON WITH CEMENT MORTAR LINING AND SEAL COATING WITH PUSH-ON JOINTS AND SHALL TO REMOVE DIRT FROM CONSTRUCTION VEHICLES LEAVING THE SITE. CONFORM TO ANSI A21.10 (AWWA C-110). B. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER. CONNECTIONS TO EXISTING SANITARY SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY. 3. MEGALUGS (EBAA IRON) RESTRAINED JOINTS SHALL BE INSTALLED ON ALL WATER MAINS AT ALL BENDS, MUNICIPALITY'S ENGINEERING INSPECTOR, TO PREVENT SEDIMENT FROM LEAVING THE SITE. 2. EARTH EXCAVATION 4. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL CONFORMING TO ASTM D-2321, CL I. C. STONE UNDER CURB AND GUTTER SHALL BE INSTALLED AS DETAILED ON THE ENGINEERING PLANS. STAKED SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS AS 4. DISTRIBUTION SYSTEM VALVES SHALL BE RESILIENT SEAT VALVE CONFORMING TO AWWA C-509 LATEST STANDARDS, AND SHALL BE APPROVED BY THE MUNICIPALITY. EACH VALVE SHALL BE INSTALLED IN A VALVE VAULT OR BOX OF SIZE SHOWN ON THE PLANS. THE LIDS SHALL BE EXPLORED TO OR A. EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.05 FEET FOR PADS AND PAVEMENT AND D. THE CURB DEPRESSIONS FOR DRIVEWAYS AND HANDICAPPED RAMPS SHALL BE INSTALLED PER 5. COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER. PLANS AND IDOT STANDARDS. 6. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES. 0.1 FEET +/- OF THE PLAN SUBGRADE ELEVATIONS. THE +/- TOLERANCE WITHIN PAVEMENT APPROVED EQUAL AND LETTERING ON THE CAST IRON FRAME AND LID SHALL INDICATE "WATER" AND AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" AS PART OF THE FINE BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL THE MUNICIPALITY NAME. SANITARY SEWERS. SANITARY SEWERS SHALL HAVE TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER ANY STORM A. THE PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS. THICKNESSES THE TOP OF THE PIPE TO A MINIMUM OF 12" FOR SANITARY SEWER PIPE. THE BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADTION CA-7 & INSTALLED PER ASTM D-2321 CLASS B. PLACEMENT OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A EVENT IN EXCESS OF HALF AN INCH. AN INSPECTION REPORT SHALL BE COMPLETED EACH TIME AND 5. A MINIMUM DEPTH OF COVER OF 5'-6" SHALL BE MAINTAINED OVER THE WATER LINES. SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. KEPT WITHIN A BINDER ON THE JOB SITE AT ALL TIMES. THE NOI, NPDES PERMIT AND SWPP PLAN SHALL ALSO BE KEPT ON-SITE ALL WEEKLY INSPECTION REPORTS AND THOSE REPORTS AFTER 1/2" OF RANFALL SHALL ALSO BE SENT VIA EMAIL TO NPDES@ROMEOVILLE.ORG 6. ALL WATER MAINS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH TOLERANCE OF 0.1 FEET +/-. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL AWWA SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE TESTED FOR A MINIMUM OF 4 NOT EXCEED EIGHT (8) INCHES IN THICKNESS, (UNLESS OTHERWISE APPROVED BY SOILS ENGINEER) 7. WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. HOURS. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARI AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION. WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION. SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE EARTH MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING ANY VISIBLE LEAKAGE FROM THE MAIN. AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED STRUCTURAL FILL, TO WITHIN PLAN SUBGRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FIL 8. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE. HOWEVER, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS AND FREE OF DIRT AND DEBRIS. SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM 7. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE WITH CAST IRON VALVE BOX. FIRE THE STRUCTURAL SUBGRADE AREA SHALL EXTEND TO THE ZONE OF INFLUENCE IN ALL AND SHALL NOT BE WASHED OUT INTO THE EXISTING STORM SEWER SYSTEM. 9. THE TESTING OF PIPES' STRAIGHTNESS, AND FIELD TESTING SHALL BE IN ACCORDANCE WITH HYDRANTS SHALL CONFORM TO MEET ALL REQUIREMENTS DESCRIBED IN THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY. THE HYDRANT SHALL FACE THE ROADWAY. THE FIRE HYDRANTS THE TEMPORARY EROSION CONTROL MEASURES SHALL BE EFFECTIVELY IN PLACE UNTIL ALL THE DEVELOPMENT CODE OF THE MUNICIPALITY. C. PROVIDE CONSTRUCTION, EXPANSION, AND CONTRACTION JOINTS FOR CURB AND GUTTER, AND P.C.C. PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL. SHALL BE PAINTED PER THE MUNICIPALITY. THE VALVE BOX LID SHALL HAVE WORD "WATER" EMBOSSED C. COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 95% OF THE SIDEWALK PER IDOT STANDARDS AND MUNICIPAL STANDARDS. 10. SANITARY SEWER INSPECTION MANHOLES SHALL BE 5'-0" I.D, PRECAST REINFORCE CONCRETE RINGS OR MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AND BUILDING PAD AREAS, SIDEWALK, ON THE LID. HYDRANTS SHALL BE EAST JORDAN 5BR20 WITH 6" PALIN-END SHOE WITH ATTACHED 6 D. REMOVE ALL EXCESS MATERIALS AND DEBRIS AND DISPOSE OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. MONOLITHIC CONCRETE CONFORMING TO ASTM D 478 AND SHALL HAVE AN ECCENTRIC CONE INSTALLED THE GUARANTEE PERIOD SHALL BEGIN AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE ETC., 90% TO 95% OF THE MODIFIED PROCTOR DRY DENSITY IS REQUIRED IN NON-STRUCTURAL INCH RESILIENT WEDGE MECHANICAL JOINT VALVE WITH STORZ PUMPER COMMECTION ALONG WITH TWO TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE NEENAH R-1981-I AT 16" FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVE. 2 3" HOSE CONNECTIONS. SEE FIRE HYDRANT DETAIL ON DETAIL SHEETS. STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN SEVEN DAYS, THEN SEDIMENT AND EROSION CONTROL TESTING AND FINAL ACCEPTANCE 3. UNSUITABLE MATERIAL 8. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH CURRENT MANUFACTURER'S 11. ALL SANITARY SEWER MANHOLE LIDS SHALL BE EAST JORDAN 1050Z1. THE LIDS RECOMMENDATIONS AND AWWA SPECIFICATIONS. A. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE SUBGRADE LOCATIONS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL OR OTHERWISE REMEDIATED IN SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH "O" RING GASKET. THE MEASURES SHALL BE PROVIDED FOR THE STOCKPILE A. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE LIDS SHALL HAVE THE WORD "SANITARY" AND "THE VILLAGE OF ROMEOVILLE" EMBOSSED ON THE LID. OF PAVEMENT AND BUILDING CONSTRUCTION, AND IF IT IS ENCOUNTERED BELOW NORMAL BEDDING SHALL CONSIST OF A MINIMUM OF 4" OF COMPACTED CRUSHED GRAVEL OR STONE FOR ALL 12. IF THE VOLUME, VELOCITY, SEDIMENT LOAD OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE ALL MANHOLE JOINTS SHALL BE EXTERNALLY WRAPPED WITH A MINIMUM 9" WIDE MACWRAP OR EQUAL, TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION IT SHALL BE REMOVED AND REPLACED NEW WATER MAINS. SEE WATER MAIN DETAIL ON DETAIL SHEET. ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE SUBGRADE SHALL HAVE TEMPORARILY INCREASED DURING CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS AND RUBBER GASKETED BOOTS ARE REQUIRED FOR THE MAIN AT THE MANHOLE WALL. WITH SELECT GRANULAR MATERIAL APPROVED BY THE SOILS ENGINEER. THE DECISION TO REMOVE DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION AND 12 ALL MANHOLE JOINTS SHALL BE SEALED WITH "O" RING JOINTS. ALL MANHOLES SHALL HAVE MISSION COUPLING TYPE FRUNG FOR PIPE COUNESTIONS. 10. ALL WATER MAINS SHALL BE SUBJECTED TO A PRESSURE TEST AND A SEPERATE LEAKAGE TEST A SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY THE SOILS ENGINEER WITH THE SYSTEM PRESSURE FOR 24 HOURS BY THE CONTRACTOR. HYDROSTATIC PRESSURE TEST AND LEAKAGE SHALL BE BASED ON 150 PSI FOR 2 HOURS. WATER MAINS SHALL BE CHLORINIATED SO THAT THE CONCURRENCE OF THE OWNER. B. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE THE SUBCONTRACTOR, 13. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION. WHEN REQUIRED, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE THE GRADING CONTRACTOR SHALL: INITIAL CHLORINE RESIDUAL IS NOT LESS THAN 50 MG/L AND THAT A CHLORINE RESIDUAL OF NOT DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION, IN ACCORDANCE WITH THE "STANDARD 13. DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE LESS THAN 25 MG/L REMAINS AFTER 24 HOURS IN THE PIPE. DISINFECTION AND TESTING SHALL BE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". DIFFERENCE IN INVERT GRADES EXCEEDS TWO FEET (2') OR AT LOCATIONS SHOWN ON THE PLANS. THE ENTIRE DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE A. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT PERFORMED WITH A VILLAGE REPRESENTATIVE PRESENT. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. EROSION WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED, UNLESS A HALF INCH OR GREATER C. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND INTERNAL DROP CONNECTION IS ACCEPTABLE. 11. ALL VALVES SHALL BE AMERICAN FLOW OR EAST JORDAN (FLOWMASTER) CONFORMING TO AWWA C509, RAINFALL EVENT IS FORECAST PRIOR TO SEVEN DAYS. IN THIS OCCURRENCE, THE PROPER SOIL CHECKING REQUIREMENTS CITED ABOVE. CAST IRON BODY, BRONZE-FITTED, MODIFIED WEDGE DISC RELILIENT SEAT TYPE WITH NON-RISING STEM B. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER PROTECTION SHALL BE INSTALLED IMMEDIATELY. STRIPPED AREAS NOT AT FINAL GRADE THAT REMAIN 14 INSPECTION OF MANHOLES: COMPLETION OF THE UNDERGROUND IMPROVEMENTS. IT SHALL BE THE SUBCONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION AND IN ACCORDANCE WITH THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY. AND O-RING PACKING DESIGNED FOR 200 POUND WORKING PRESSURE. 1" TAPS WITH 1" SHUTOFF UNDISTURBED FOR MORE THAN SEVEN DAYS AFTER INITIAL DISTURBANCE, SHALL BE PROTECTED FROM EROSION. UNLESS GRADING ACTIVITIES ARE RESUMED WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED. VALVES SHOULD BE INSTALLED UPSTREAM AND DOWNSTREAM OF THE VALVE WITHIN THE VAULT. ALL MANHOLES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS AND ALL VISIBLE LEAKAGE temporary cover shall be maintained continuously until permanent cover is established. C. SCARIFY AND COMPACT TO THE DEGREE SPECIFIED THE UPPER TWELVE (12) INCHES OF THE 12. CONTRACTOR SHALL AVOID DAMAGING THE PAINT OF THE HYDRANTS DURING INSTALLATION AND BACKFILLING. HYDRANTS EXHIBITING PAINT DAMAGE, AT THE SOLE DETERMINATION BY THE THE VILLAGE OF ROMEOVILLE WATER SUPERINTENDENT, MUST BE SAND BLASTED AND REPAINTED BY A VILLAGE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING, CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS. TESTING FOR ACCEPTANCE OF SANITARY SEWERS AND MANHOLES ALL SANITARY SEWERS INCLUDING SERVICE LINES SHALL BE TESTED FOR LOW PRESSURE AIR TEST, AND DEFLECTION TEST PER STANDARD IRRIGATION OR FIRE HYDRANT FLUSHING, SHALL BE FILTERED PRIOR TO LEAVING THE PROJECT SITE. APPROVED CONTRACTOR PRIOR TO ACCEPTANCE D. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE SPECIFICATIONS AND SUBDIVISION REGULATIONS OF THE MUNICIPALITY AND SHALL BE APPROVED BY 16. IF NECESSARY, GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH AND VEHICLE WASHDOWN FACILITIES, SHALL BE PROVIDED TO PREVENT THE DEPOSIT AND TRACKING OF PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION. LONGITUDINAL JOINT CONSTRUCTION: HE MUNICIPALITY BEFORE ACCEPTANCE. ALL SANITARY MANHOLES SHALL BE VACCUM TESTED FOR LEAKAGE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND ASTM C 1244-02 SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL E. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE 13. IEPA WATER MAIN PROTECTION A. AS MANY LONGITUDINAL JOINTS AS PRACTICAL SHALL BE CLOSED AT THE END OF EACH DAY OF E REMOVED CONTINUOUSLY. PAVING. A TACK COAT SHALL BE APPLIED TO THE "COLD" SIDE OF THE LONGITUDINAL JOINT PRIOR TO THE PLACEMENT OF THE HOT SIDE MAT. 16. TELEVISION TESTING: ALL SANITARY SEWERS SHALL BE TELEVISED AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL. THE REPORT SHALL A. WATER MAINS: 17. ALL SUBCONTRACTORS SHALL COMPLY WITH SWPP PLAN AND NPDES REQUIREMENTS. A SIGNED SWPP PLAN SHALL BE KEPT ON FILE WITH OWNER OR GENERAL CONTRACTOR. F. BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL INCLUDE STUB LOCATIONS AND DESCRIPTION OF ALL DEFECTS, WATER LEVEL, AND LEAKS. IDENTIFY HORIZONTAL SEPARATION: MEASURES" AS DESCRIBED ON THE PLANS. ALL CONTRACTORS SHALL COMPLY WITH SWPPP AND LENGTHS FROM MANHOLE NUMBER SPECIFIED ON THE APPROVED PLANS. ALL COSTS SHALL BE INCIDENTAL TO THE WORK. TESTING SHALL BE WITNESSED AND APPROVED BY THE MUNICIPALITY BEFORE B. LONGITUDINAL JOINT CONSTRUCTION SHALL BE COMPLETED BEFORE THE "COLD" SIDE OF THE JOINT a) WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR FINAL ACCEPTANCE. THE LOCATION OF T.V. INSPECTION SHALL BE AS DESIGNATED BY THE MUNICIPAL PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICES CONNECTION. C. IN THE EVENT THE TEMPERATURE OF THE "COLD" SIDE OF A JOINT FALLS BELOW 200° F PRIOR TO TESTING AND FINAL ACCEPTANCE JOINT CONSTRUCTION COMPLETION THE CONTRACTOR SHALL PERFORM THE FOLLOWING: 1. HEAT THE COLD SIDE JOINT TO 200° F EITHER BY MEANS OF A HAND TORCH OR AN INFRARED HEATER. CONTRACTOR TO AVOID BURNING ASPHALT DURING REHEATING. b) WATER MAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN: 17. TEST RESULTS: IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE REPAIR, OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS MAY BE A. THE GRADING SUBCONTRACTOR SHALL PROVIDE AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED AND APPROVED BY MUNICIPAL ENCINEER AND OWNER. 1) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET; AND 2. APPLY TACK COAT TO REHEATED JOINT PRIOR TO ASPHALT PLACEMENT. 2) THE WATER MAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND LONGITUDINAL JOINT DENSITY SPECIFICATIONS: 18. CERTIFICATION CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT, AND PROOF ROLLING SHALL BE PERFORMED UNTIL THE SUBGRADE IS APPROVED BY THE MUNICIPAL REPRESENTATIVE, OWNER AND A. COMPLETED LONGITUDINAL JOINTS SHALL BE ASSESSED BASED ON SECTION 1030 OF THE STANDARD SPECIFICATIONS AND THE HOT MIX ASPHALT — DENSITY TESTING OF LONGITUDINAL JOINTS 3) THE WATER MAIN IS IN A SEPARATE TRENCH. CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING", ASTM STANDARD D-2412. TESTS SHALL ALSO BE CONDUCTED IN ACCORDANCE WITH ASTM D-3212 TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT, AS SPECIFIED IN ASTM D-3212 SPECIFICATIONS. c) BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN IT IS IMPOSSIBLE TO MEET (a) OR (b) ONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED AT EACH RANDOM DENSITY TEST ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED THE WORK AREAS SHALL BE POSITIVELY DRAINED DURING CONSTRUCTION. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC. LOCATION. LONGITUDINAL JOINT TESTING SHALL BE LOCATED AT A DISTANCE EQUAL TO THE LIFT SURCHARGE HEAD BEFORE BACKFILLING. 19. MINIMUM OF TWO ADJUSTING RINGS (MIN 6" ADJUSTIN HEIGHT) AND A MAXIMUM OF THREE RINGS (MA) THICKNESS OR A MINIMUM OF 2 IN., FROM EACH PAVEMENT EDGE. (I.E. FOR A 4 IN. LIFT THE NEAR EDGE OF THE DENSITY GAUGE OR CORE BARREL SHALL BE WITHIN 4 IN. FROM THE EDGE OF 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE VERY VERTICAL SEPARATION: TOP RING SHOULD BE ONE(1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISER (1" TO 3" MAX PAVEMENT). LONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED USING EITHER A a) A WATER MAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF CORRELATED NUCLEAR GAUGE OR CORES. THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS. SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT 1. CONFINED EDGE. EACH CONFINED EDGE DENSITY SHALL BE REPRESENTED BY A ONE-MINUTE PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR NUCLEAR DENSITY READING OR A CORE DENSITY AND SHALL BE INCLUDED IN THE AVERAGE OF DENSITY READINGS OR CORE DENSITIES TAKEN ACROSS THE MAT WHICH REPRESENTS THE 20. FINAL ACCEPTANCE AND TESTING OF SANITARY SEWER: BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN. BEFORE FINAL ACCEPTANCE, THE SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 31-1.11 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN b) IF IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (a) OR 2. UNCONFINED EDGE. EACH UNCONFINED EDGE JOINT DENSITY SHALL BE REPRESENTED BY AN ILLINOIS". SPECIFICALLY, ALL PIPELINES CONSTRUCTED OF FLEXIBLE MATERIALS SHALL BE SUBJECT TO AIR EXFILTRATION TESTS, TELEVISING TEST, AND DEFLECTION TEST. THE DEFLECTION TEST SHALL BE AVERAGE OF THREE ONE-MINUTE DENSITY READINGS OR A SINGLE CORE DENSITY AT THE GIVEN HE WATER MAIN PASSES UNDER A SEWER OR DRAIN, THEN ONE OF THE FOLLOWING ` DENSITY TEST LOCATION AND SHALL MEET THE DENSITY REQUIREMENTS SPECIFIED HEREIN. THE STORM SEWER PERFORMED NO SOONER THAN THIRTY (30) DAYS OF BACKFILLING OPERATION AND SHALL CONSIST OF IHREE ONE-MINUTE READINGS SHALL BE SPACED TEN FEET APART LONGITUDINALLY ALONG THE MEASURING THE PIPE FOR VERTICCAL RING DEFLECTION. MAXIMUM RING DEFLECTION OF THE PIPELINE 1) THE STORM DRAIN SHALL BE CONSTRUCTED OF "O" RING JOINTS AND SANITARY SEWER UNCONFINED PAVEMENT EDGE AND CENTERED AT THE RANDOM DENSITY TEST LOCATION. UNDER LOAD SHALL BE LIMITED TO FIVE (5) PERCENT OF THE INTERNAL PIPE DIAMTER. ALL PIPE EXCEEDING THIS DEFLECTION SHALL BE CONSIDERED TO HAVE REACHED THE LIMIT OF ITS SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATER MAIN STANDARDS. DENSITY CONTROL LIMITS TABLE ERVICEABILITY AND SHALL BE RE-LAID OR REPLACED BY THE DEVELOPER. DEFLECTION TESTING 2) THE WATER MAIN MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE AS INDICATED ON THE SHALL BE ACCOMPLISHED BY PULLING A MANDREL, SPHERE, OR PIN-TYPE "GO/NO-GO" DEVICE. WITH ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PLANS AND AS PER THE SPECIAL CROSSING DETAIL SHOWN ON THE DETAIL SHEET A DIAMETER EQUAL TO NINTY—FIVE (95) PERCENT OF THE UNDEFLECTED INSIDE DIAMETER OF THE FLEXIBLE PIPE, THROUGH THE PIPELINE. IN ADDITION, ALL SANITARY SEWER HAVING A DIAMETER OF WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND THE SUBDIVISION CONTROL ORDINANCE OF c) A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND EIGHT (8) INCHES OR GREATER SHALL BE TELEVISED. COPIES OF ALL VIDEO TAPES MUST BE THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES SUBMITTED TO THE VILLAGE OF ROMEOVILLE, UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE REINFORCED CONCRETE UNDER SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING CULVERT PIPE, ASTM C 76, WITH "O" RING RUBBER GASKET JOINTS CONFORMING TO ASTM C443, C361 21. FINAL TESTING OF SANITARY MANHOLES: d) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL VACUUM TESTING SHALL BE CARRIED OUT IMMEDIATELY AFTER ASSEMBLY AND PRIOR TO BACKFILLING ALL DOWNSPOUT AND FOOTING DRAINS SHALL BE DISCHARGED TO THE STORM SEWER SYSTEM OR ONTO DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET. OF MANHOLES THAT ARE UP TO SEVENTY—TWO (72) INCHES IN DIAMETER. ALL LIFT HOLES SHALL BE PLUGGED WITH A NON—SHRINK GROUT, OR RUBBER PLUG. THE MONHOLE FRAME AND ADJUSTING THE GROUND AS INDICATED. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR RINGS AND CHIMNEY SEALS SHALL BE IN PLACE BEFORE TESTING. NO GROUT SHALL BE PLACED IN HE HORIZONTAL JOINTS. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO MONOLITHIC CONCRETE, MANHOLES AND CATCH BASINS SHALL BE 4' IN DIAMETER UNLESS OTHERWISE SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE WITH THE VACUUM TESTING. SPECIFIED ON THE PLANS. MANHOLE JOINTS SHALL BE "O" RING GASKET JOINTS. A MAXIMUM OF SIX VACUUM TESTING SHALL TEST ALL MANHOLES FOR LEAKAGE. A VACUUM OF TEN (10) INCHES OF Village of Romeoville - Minimum chlorination standards: (6) INCHES ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. THE ADJUSTING RINGS MERCURY SHALL BE PLACED ON THE MANHOLE AND THE TIME MEASURESD FOR THE VACUUM TO DROP SHALL BE SET IN FULL MORTAR BED. a. Gas chlorine must be used for disinfection. TO NINE (9) INCHES OF MERCURY. THE VACUUM DROP SHALL NOT EXCEED THE REQUIREMENTS b. The chlorination contractor must call 815-886-1870 a minimum of 24-hours in SHOWN IN TABEL 1 OF ASTM C1244-02. IF TESTING FAILS, DEVELOPER SHALL SEALL ALL LEAKS AND ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A BEDDING, 1/4" TO 3/4" IN SIZE, WITH A advance to schedule chlorination. RETEST UNTILL ACCEPTABLE. THE TESTING SHALL BE COMPLETED PRIOR TO BACKFILLING (WHENEVER MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN c. Only Village of Romeoville employees shall operate water system valves and turn 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE GRANULAR MATERIAL FOR BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA—6. THE GRANULAR MATERIAL FOR BEDDING AND INITIAL BACKFILL FOR FLEXIBLE PIPE SHALL BE NON—ANGULAR GRAVEL MATERIAL CONFORMING TO ASTM D—2321, CLASS I. THE COST OF BEDDING MATERIAL SHALL BE MERGED WITH POSSIBLE) SO THAT ANY LEAKS CAN BE FOUND AND FIXED EXTERNALLY, AND TO GIVE THE HORIZONTAL on/off sampling whips while samples are being collected. MANHOLE JOINTS AN OPPORTUNITY TO TIGHTEN. INDIVIDUAL TEST UNCONFINED EDGE JOINT d. All chlorination and safety equipment must meet or exceed the standards and MIXTURE COMPOSITION PARAMETER (INCLUDES CONFINED EDGES) DENSITY MINIMUM 22. FLOW MONITORING PRIOR TO ACCEPTANCE: recommendations set by The Chlorine Institute, Inc. THE UNIT PRICE BID FOR THE SEWER. THE BEDDING MATERIALS SHALL BE COMPACTED TO 95% OF THE e. The chlorinator must be a licensed plumber or certified Illinois water operator with THE DEVELOPER WILL BE REQUIRED TO MONITOR THE FLOWRATE FROM THE SITE FOR A PERIOD OF Ndesign < 90 IL-9.5, IL9.5L, IL-12.5 MODIFIED PROCTOR DENSITY. a minimum of 5 years experience working with chlorine disinfection of water 92.5-97.4% TWO MONTHS (ENCOMPASSING AT LEAST TWO MAJOR STORM EVENTS) TO IDENTIFY ANY EXCESSIVE IL-19.0, IL-25.0 Ndesign >= 90 93.0-96.0% supply lines. THE FRAME AND GRATE OR CLOSED LID SHALL BE AS SPECIFIED ON UTILITY PLANS. THE MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. ALL CASTINGS SHALL BE EMBOSSED WITH INFLOW/INFILTRATION OCCURING IN THE SYSTEM. THE DATA MUST BE SUBMITTED TO THE VILLAGE OF L-19.0, IL-19.0L, IL-25.0 Ndesign < 90 f. The chlorination contractor must have two people present to chlorinate. One to 93.0-97.4% ROMEOVILLE PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS. monitor the cylinder and one to monitor in the field. Ndesign = 50 & 80 93.5-97.4% A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE. THE CLOSED LIDS SHALL VILLAGE SANITARY MANHOLE NOTES: g. The chlorination contractor must be bonded and insured, and have proof of both on ALL OTHER VILLAGE WATER VALVE MANHOLE NOTES: HAVE THE WORD "STORM" AND THE MUNICIPALITY NAME EMBOSSED ON THE LID. THE JOINT BETWEEN a. MANHOLES MUST CONFORM TO THE LATEST REQUIREMENTS OF ASTM C478. file with the Village. CONCRETE SECTION AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND. ALL SANITARY MANHOLE CASTINGS, ADJUSTING RINGS AND MANHOLE SECTIONS SHALL BE SET IN BUTYL ROPE OR APPROVED EQUAL. EACH MANHOLE CONE AND BARREL SECTION JOINT SHALL ALSO BE EXTERNALLY SEALED WITH A 6" WIDE SEALING BAND OF RUBBER AND MASTIC. THE BAND SHALL HAVE AN OUTER LAYER OF RUBBER OR POLYETHYLENE WITH AN UNDER LAYER OF RUBBERIZED MASTIC h. The chlorination contractor must have updated 24-hour emergency phone numbers b. NEVER TRANSPORT SECTIONS TO THE SITE UNTIL THEY HAVE CURED FOR AT ALL STORM SEWERS SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING. on file with the Village. LEAST TEN (10) DAYS. i. The chlorination contractor must comply with state and federal regulations AFTER THE STORM SEWER STRUCTURE HAS BEEN CONSTRUCTED THE SUBCONTRACTOR SHALL PLACE regarding transportation and handling of chlorine cylinders: c. MARK EACH PIECE PLAINLY WITH MANHOLE NUMBERS AND DATE OF MANUFACTURE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY T Shipping and emergency papers for every job location EETING THE REQUIREMENTS OF ASTM C-877-02 (STANDARD SPECIFICATION FOR SO IT CAN BE INSTALLED IN THE PROPER LOCATION, AS SHOWN ON THE PLANS. ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, EXTERNAL SEALING BANDS FOR CONCRETE PIPE, MANHOLES, AND PRECAST BOX Proof of insurance for hauling and handling chlorine gas d. MAKE SURE FACTORY-INSTALLED CUTOUTS IN THE BOTTOM SECTION ARE WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM SECTIONS). PIPE CONNECTION TO NEW AND EXISTING MANHOLES THROUGH Commercial driver's license with Hazmat endorsement and medical card APPROPRIATE FOR THE PIPE BEING LAID. OPENINGS (CAST OR CORE-DRILLED) SHALL BE PROVIDED WITH A FLEXIBLE Copy of Emergency Response Guidebook in vehicle RUBBER WATERTIGHT CONNECTOR CÓNFORMING TO ASTM C-923 (STANDARD 9. VILLAGE REQUIRES ALL SUBMISSION OF RECORDED VIDEO INSPECTIONS OF ALL PUBLIC STORM SEWERS. e. PIPE CONNECTIONS AT MANHOLE - CUTOUTS SHOULD BE EQUIPPED WITH Hazmat certificate of registration SPECIFICATIONS FOR RESILIENT CONNECTIONS BETWEEN REINFORCED CONCRETE RUBBER BOOTS TO ENSURE A WATERTIGHT CONNECTION. MATERIAL SHALL BE Hazardous materials placard displayed on vehicle MANHOLE STRUCTURES AND PIPES) EQUAL TO KOR-N-SEAL CONNECTOR, AS MANUFACTURED BY NPC, INC. Cylinder strapped upright in truck 2. INTERNAL CHIMNEY SEALS SHALL BE RAVEN 581 BRUSH GRADE, A 100% SOLIDS, FLUID APPLIED POLYURIA ELASTOMER REPAIR MATERIAL AS APPLIED PER THE f. JOINT SEALANT - FLEXIBLE RUBBER SEALANT FOR JOINTS IN PRE-CAST j. Under no circumstances will chlorine contractors be allowed to apply heat to the MANHOLE SECTIONS SHALL PROVIDE PERMANENTLY FLEXIBLE WATERTIGHT JOINTS, chlorine cylinder (i.e. hot baths, propane torches, etc.). While the cylinder is being FOLLOWING: FOR SURFACE PREPARATION — SURFACES SHOULD BE THOROUGHLY CLEAN AND DRY. CONCRETE AND MORTAR MUST BE CURED AT LEAST 7 DAYS SHALL REMAIN WORKABLE OVER A WIDE TEMPERATURE RANGE AND SHALL NOT used it must be in a vertical position, as well as being affixed to a solid object. AND NO FROST OR WET CONDITIONS PRESENT DURING INSTALLATION. REMOVE ALL SHRINK, HARDEN OR OXIDIZE UPON AGING. MATERIAL SHALL BE EQUAL TO TYLOX k. Prior to chlorination, the chlorination contractor must provide a detailed written LOOSE MORTAR AND FOREIGN MATERIAL. SURFACE MUST BE FREE OF LAITANCE, CONCRETE DUST, DIRT, FORM RELEASE AGENTS, MOISTURE CURING MEMBRANES, chlorination and flushing plan to the Village for review and written approval. SUPERSEAL AND SHALL MEET ASTM C 443 AND ASTM C 361 REQUIREMENTS. LOOSE CEMENT AND HARDENERS. FILL BUG HOLES, AIR POCKETS, AND OTHER VOIDS WITH STEEL-SEAM FT190. AFTER ENSURING ALL SURFACES ARE CLEAN THE q. THE FRAME FOR THE LID SHALL BE INSTALLED WHEN CONE SECTION IS CAST.

CHIMNEY SEAL COATING MATERIAL SHALL BE APPLIED EVENLY BY SPRAYING OVER THE ENTIRE CHIMNEY SEAL AREA INCLUDING THE FRAME JOINT AREA AND THE

MANUFACTURE'S RECOMMENDATIONS AND FILM SHALL BE APPLIED AT A WET MILS SPREADING RATE OF BETWEEN 100 TO 125 MILS. THE FINAL INTERNAL CHIMNEY SEAL SHALL PASS VISUAL INSPECTION AND BE COMPLETELY FREE OF PINHOLES OR

VERTICAL RISER OF THE MANHOLE CONE INCLUDING ALL EXTENSIONS TO THE CHIMNEY AREA. APPLICATION SHALL BE MADE IN ACCORDANCE WITH

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1. At any time, the Village or its authorized representative may ask for proof of any or all of the above information. Please contact the Village of Romeoville Public Works Department (815-886-1870) with any questions.

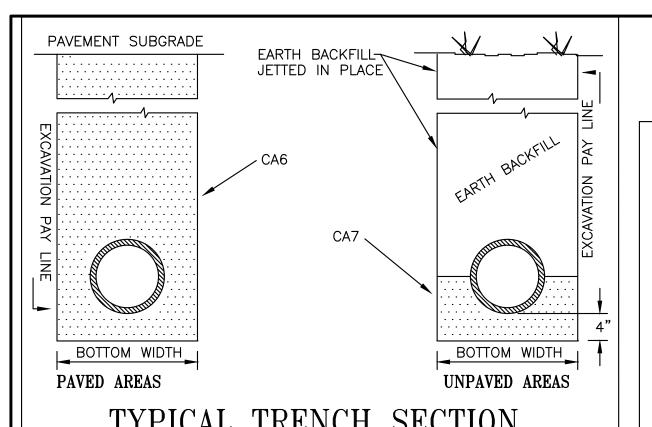
h. HEAT-SHRINKABLE ENCAPSULATION FOR EXTERNAL WRAPPING OF ALL JOINTS:

AS MANUFACTURED BY NPC, OR APPROVED EQUAL.

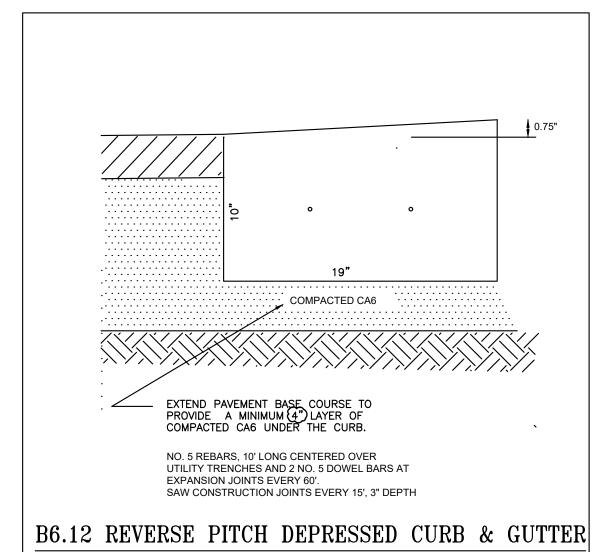
WRAPID SEAL AS MANUFACTURED BY CANUSA CPS, BIDCO EXTERNAL JOINT WRAP

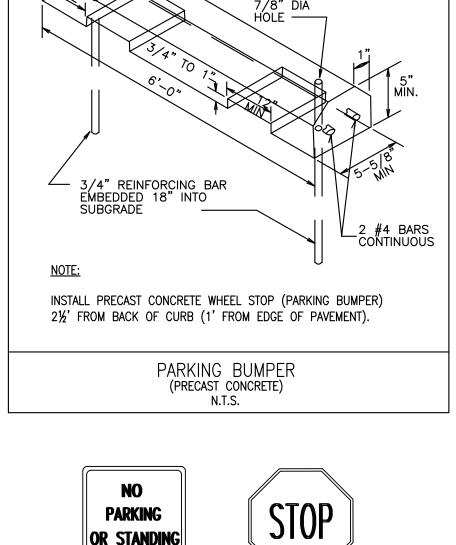
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TYPICAL TRENCH SECTION STORM SEWER

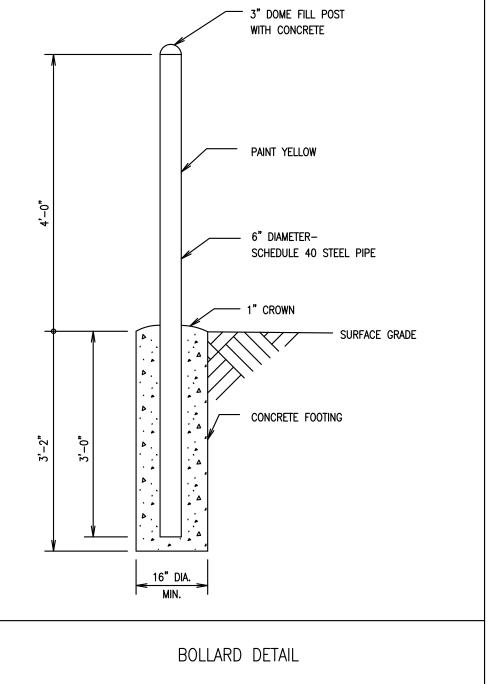


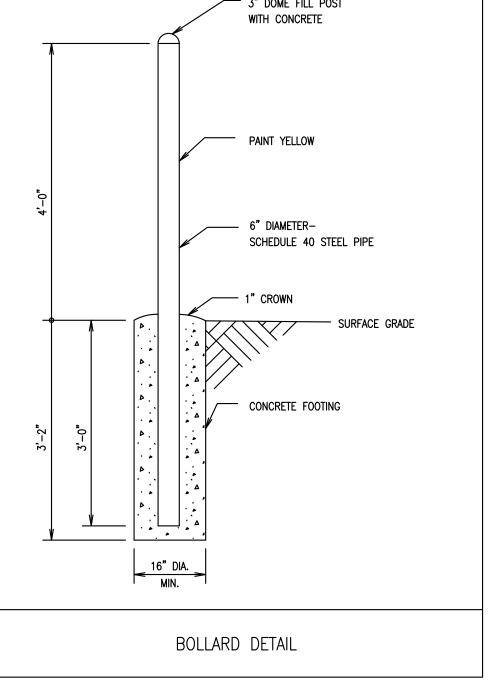


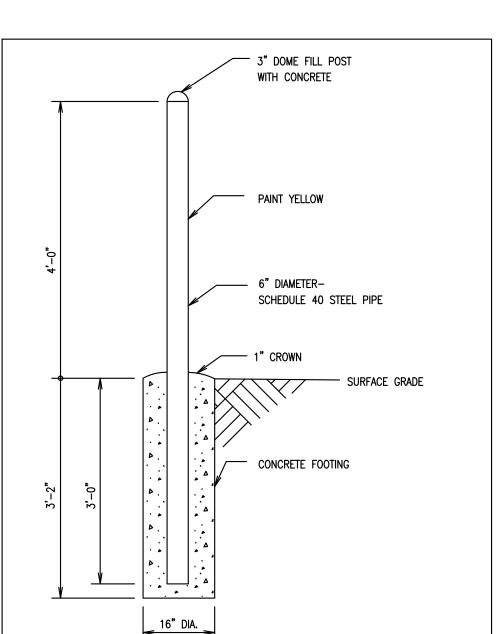
FIRE LANE

12"X18"

TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE

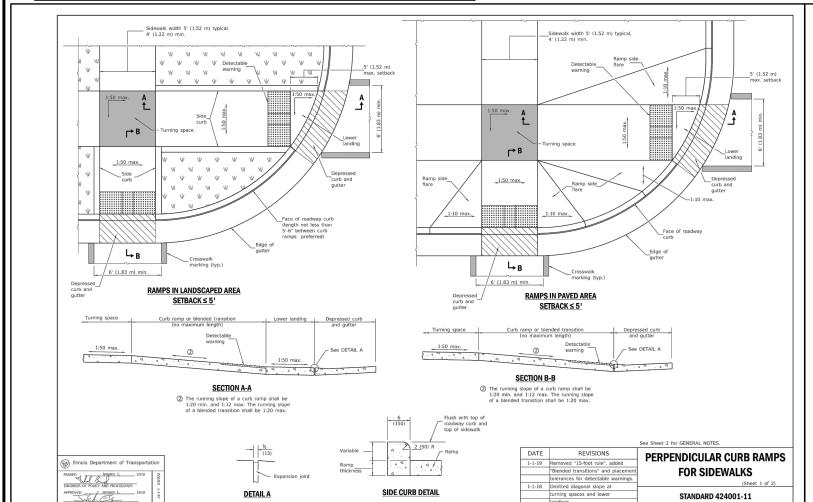


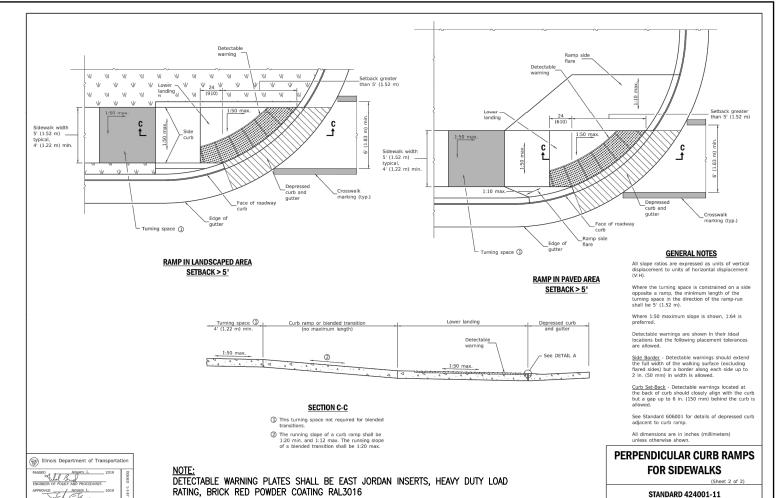


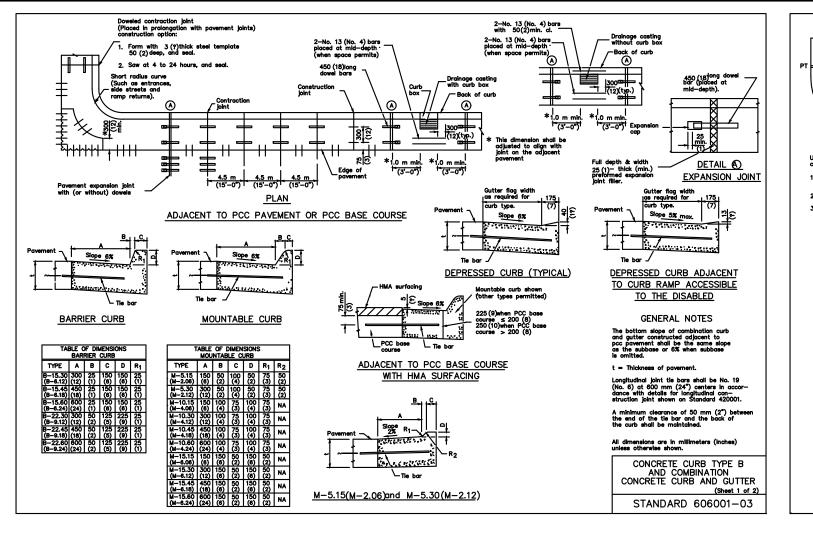


R1 - 1

30"X30"







3/4" PER FT.

COMPACTED CA6

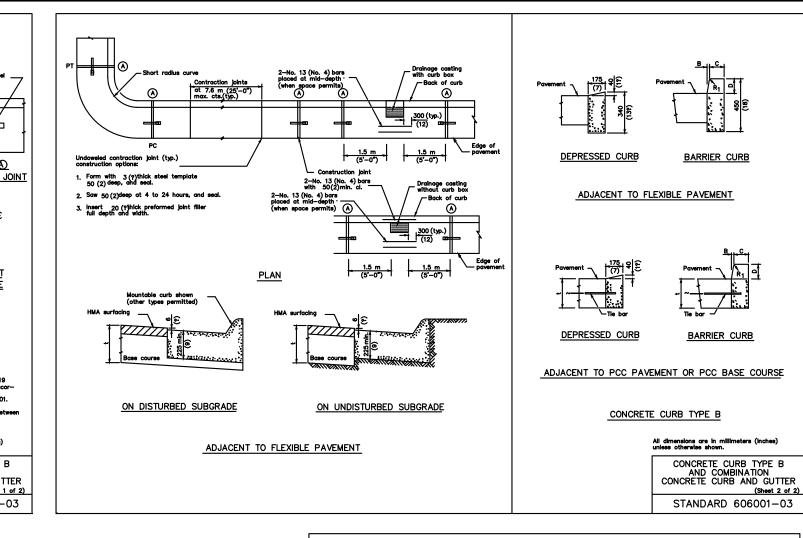
EXTEND PAVEMENT BASE COURSE TO PROVIDE A MINIMUM 4" LAYER OF COMPACTED CA6 UNDER THE CURB.

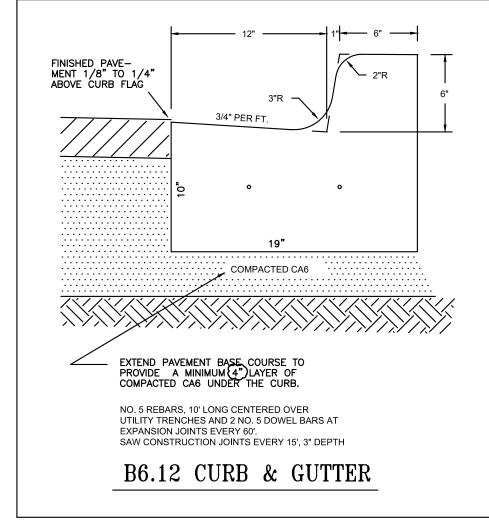
EXPANSION JOINTS EVERY 60'.

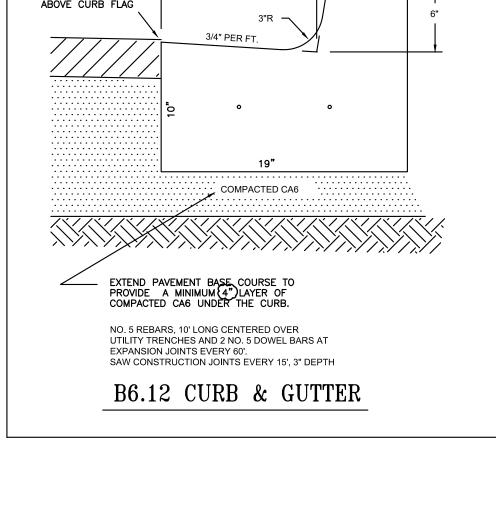
UTILITY TRENCHES AND 2 NO. 5 DOWEL BARS AT

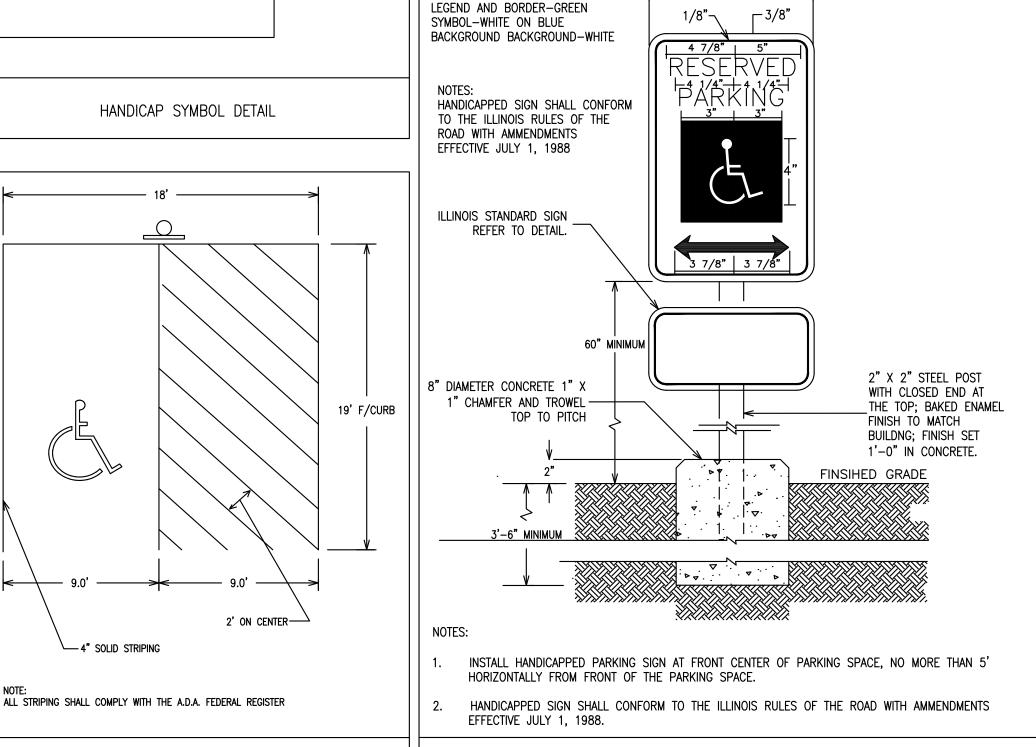
SAW CONSTRUCTION JOINTS EVERY 15', 3" DEPTH

B6.12 REVERSE PITCH CURB & GUTTER



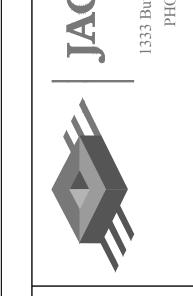






HANDICAP SIGN DETAIL

90° HANDICAPPED PARKING STALL



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BUILDING

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SOUTHCREEK BUSI PALENCIA

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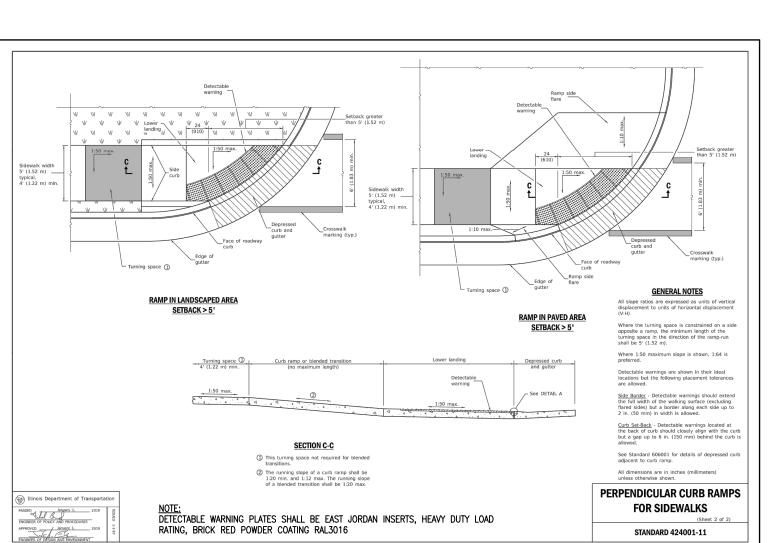
PARK

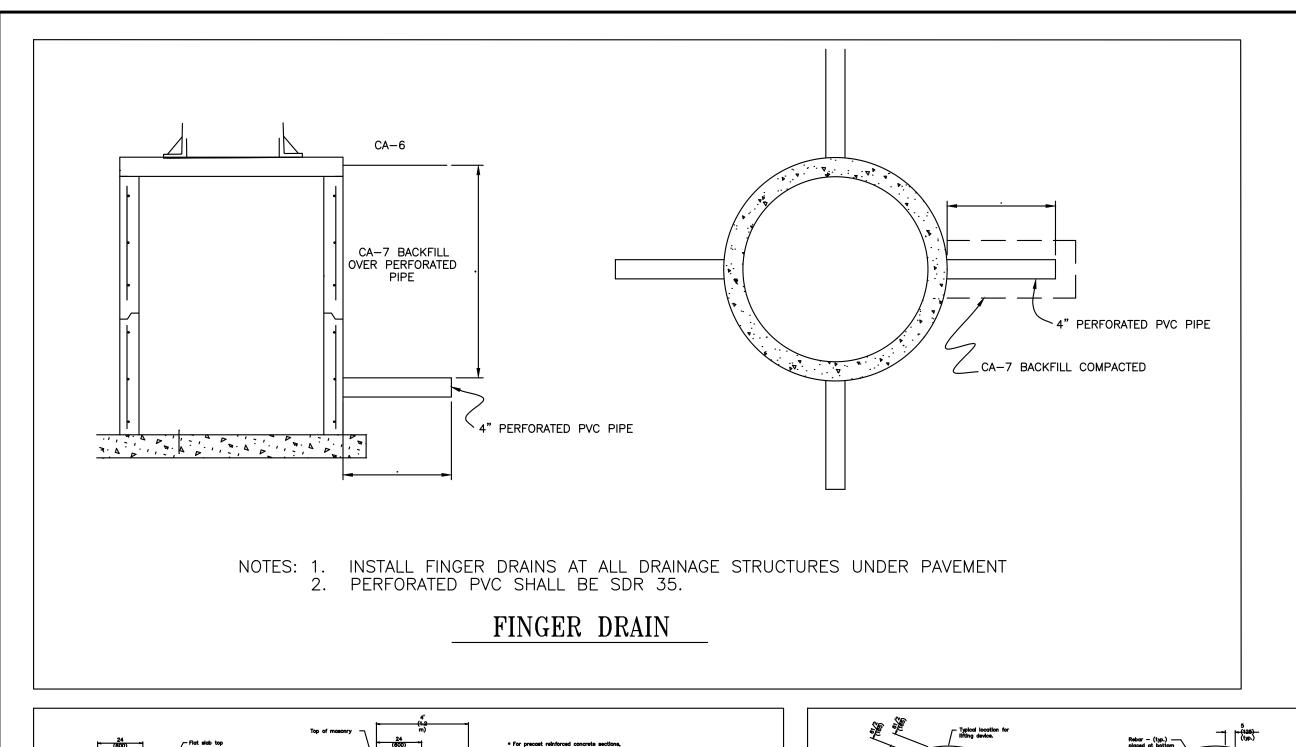
D190aj N.T.S. C13

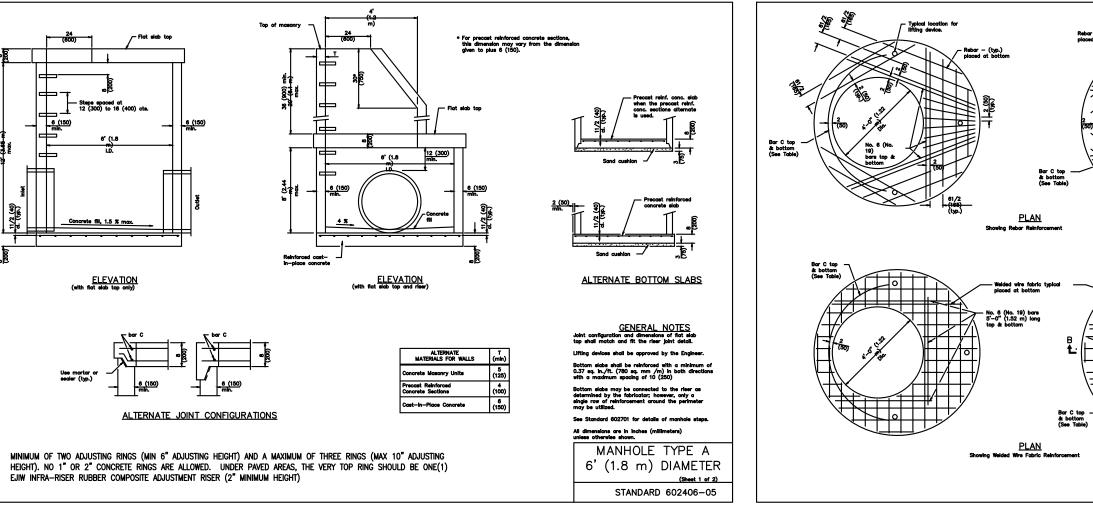
SERIES MARGIN BORDER BLK STD 2C3B 0.37 0.37 B5-126 ALL DIMENSIONS ARE IN INCHES. TO BE USED WITH R7-8 ("S-2C "1",2" 8 X 5) HANDICAP SIGN DETAIL

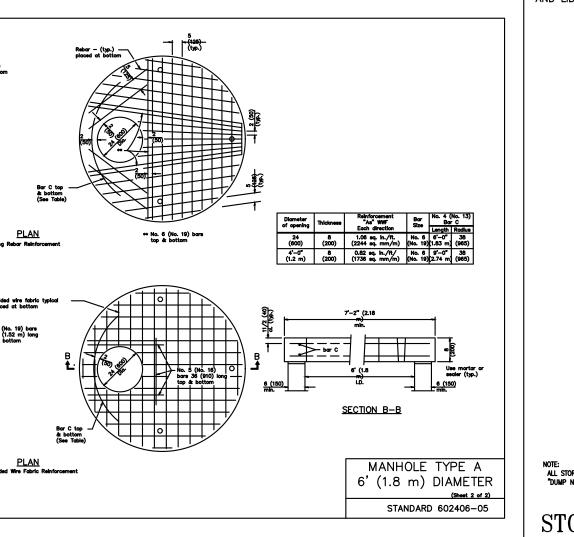
LEGENDS AND BORDER GREEN NON REFLECTORIZED WHITE REFLECTORIZED

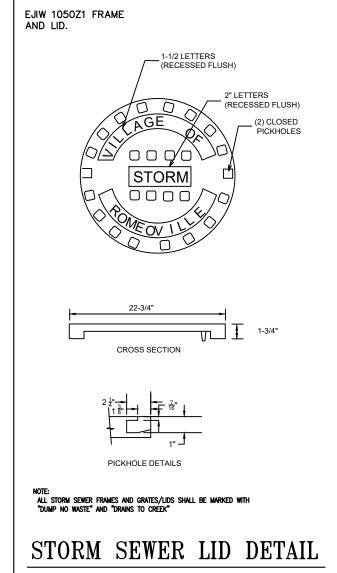
NOTE: SIGN REQUIRING "\$250 FINE" ILLINOIS STANDARD R7-I101

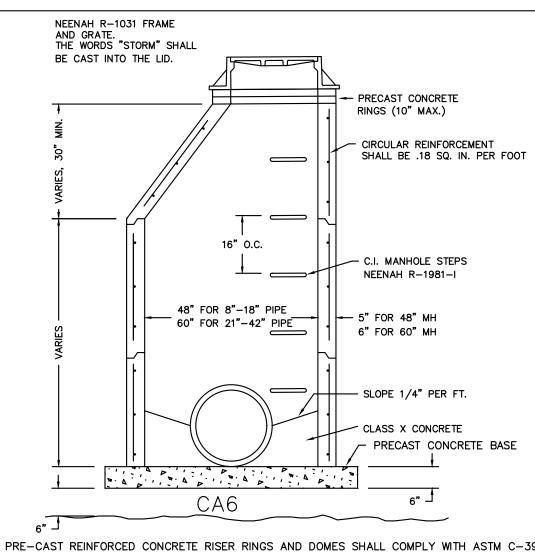






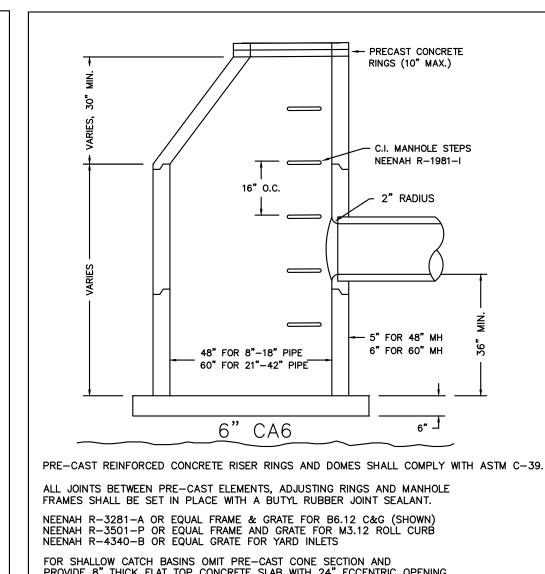






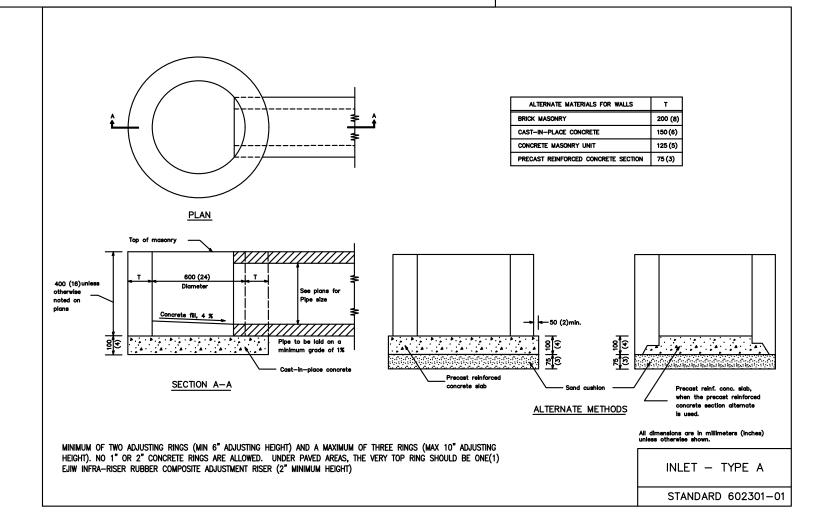
PRE-CAST REINFORCED CONCRETE RISER RINGS AND DOMES SHALL COMPLY WITH ASTM C-39. ALL JOINTS BETWEEN PRE-CAST ELEMENTS. ADJUSTING RINGS AND MANHOLE FRAMES SHALL BE SET IN PLACE WITH A BUTYL RUBBER JOINT SEALANT. FOR RESTRICTED DEPTH MANHOLES OMIT PRE-CAST CONE SECTION AND PROVIDE 8" THICK REINFORCED CONCRETE FLAT TOP SLAB WITH 24" ECCENTRIC OPENING MINIMUM OF TWO ADJUSTING RINGS (MIN 6" ADJUSTIN HEIGHT) AND A MAXIMUM OF THREE RINGS (MAX 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE VERY TOP RING SHOULD BE ONE(1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISER (1" TO 3" MAX HEIGHT) ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND

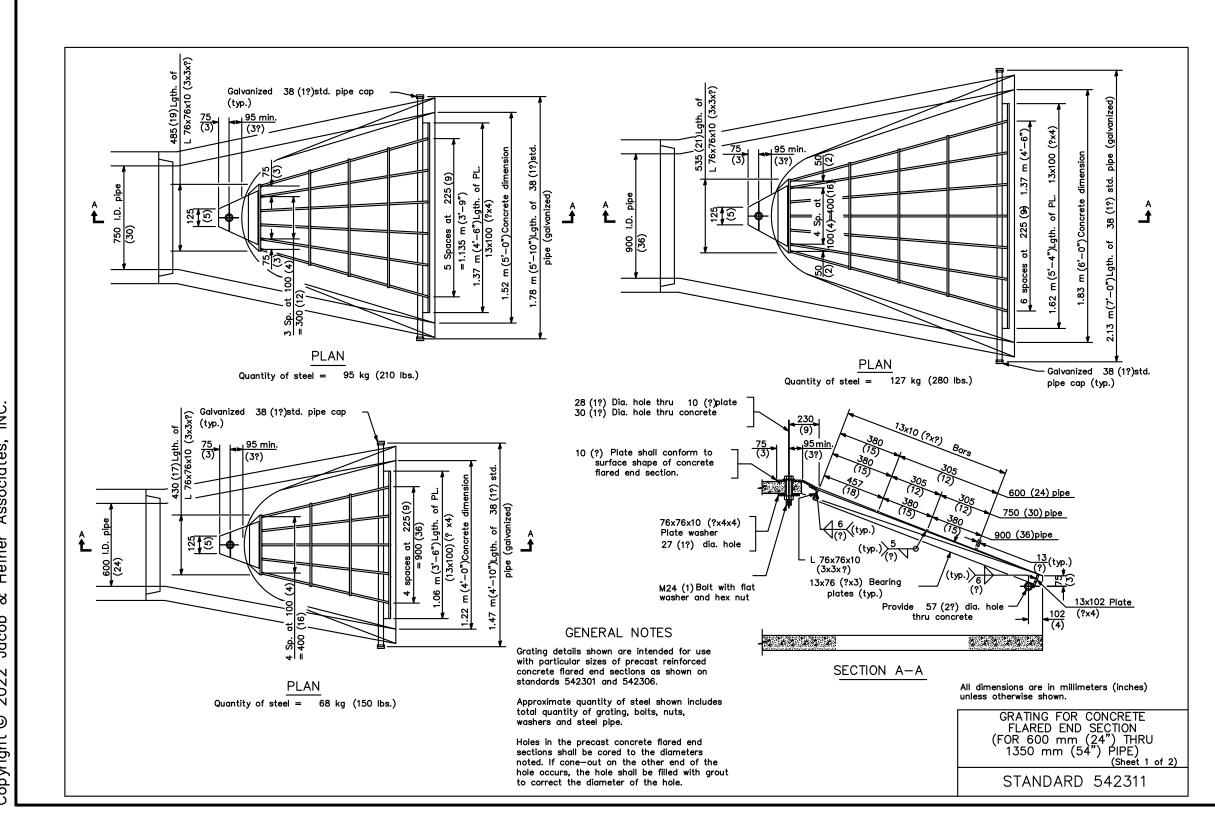
STORM SEWER MANHOLE

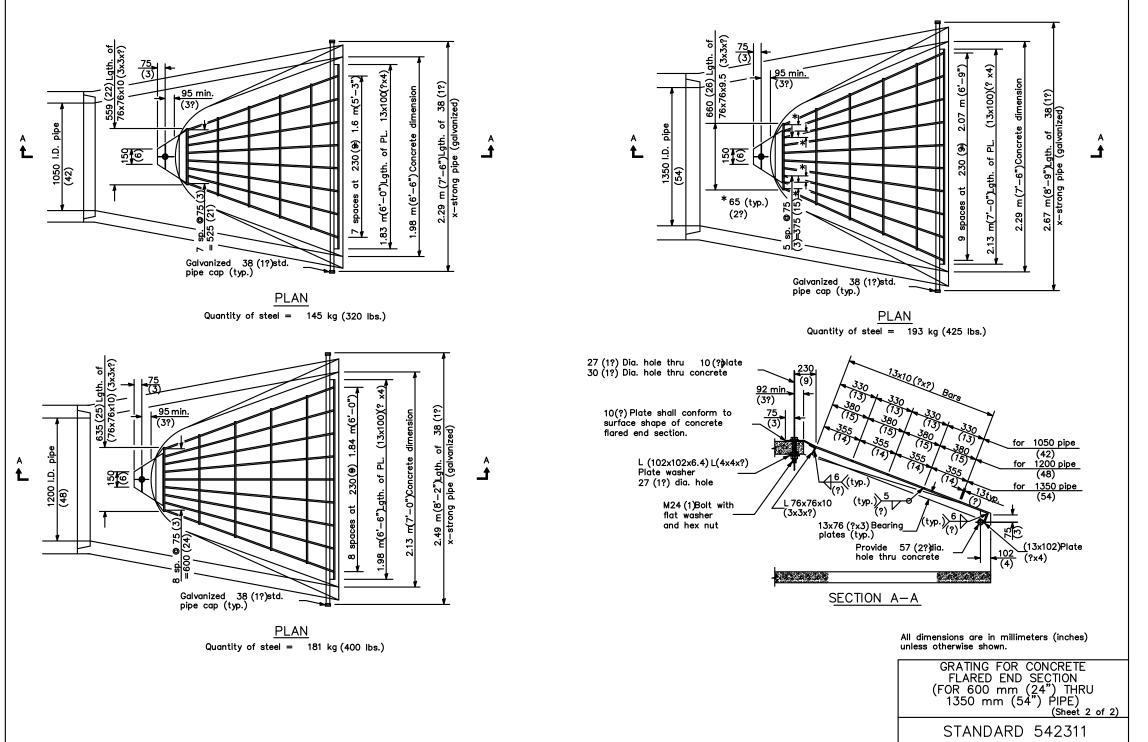


FOR SHALLOW CATCH BASINS OMIT PRE-CAST CONE SECTION AND PROVIDE 8" THICK FLAT TOP CONCRETE SLAB WITH 24" ECCENTRIC OPENING ALL STORM SEWER FRAME & GRATE/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK". MINIMUM OF TWO ADJUSTING RINGS (MIN 6" ADJUSTING HEIGHT) AND A MAXIMUM OF THREE RINGS (MAX 10" ADJUSTING HEIGHT). NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE VERY TOP RING SHOULD BE ONE(1) EJIW INFRA-RISER RUBBER COMPOSITE ADJUSTMENT RISER (2" MINIMUM HEIGHT)

CATCH BASIN TYPE A







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BUILDIN

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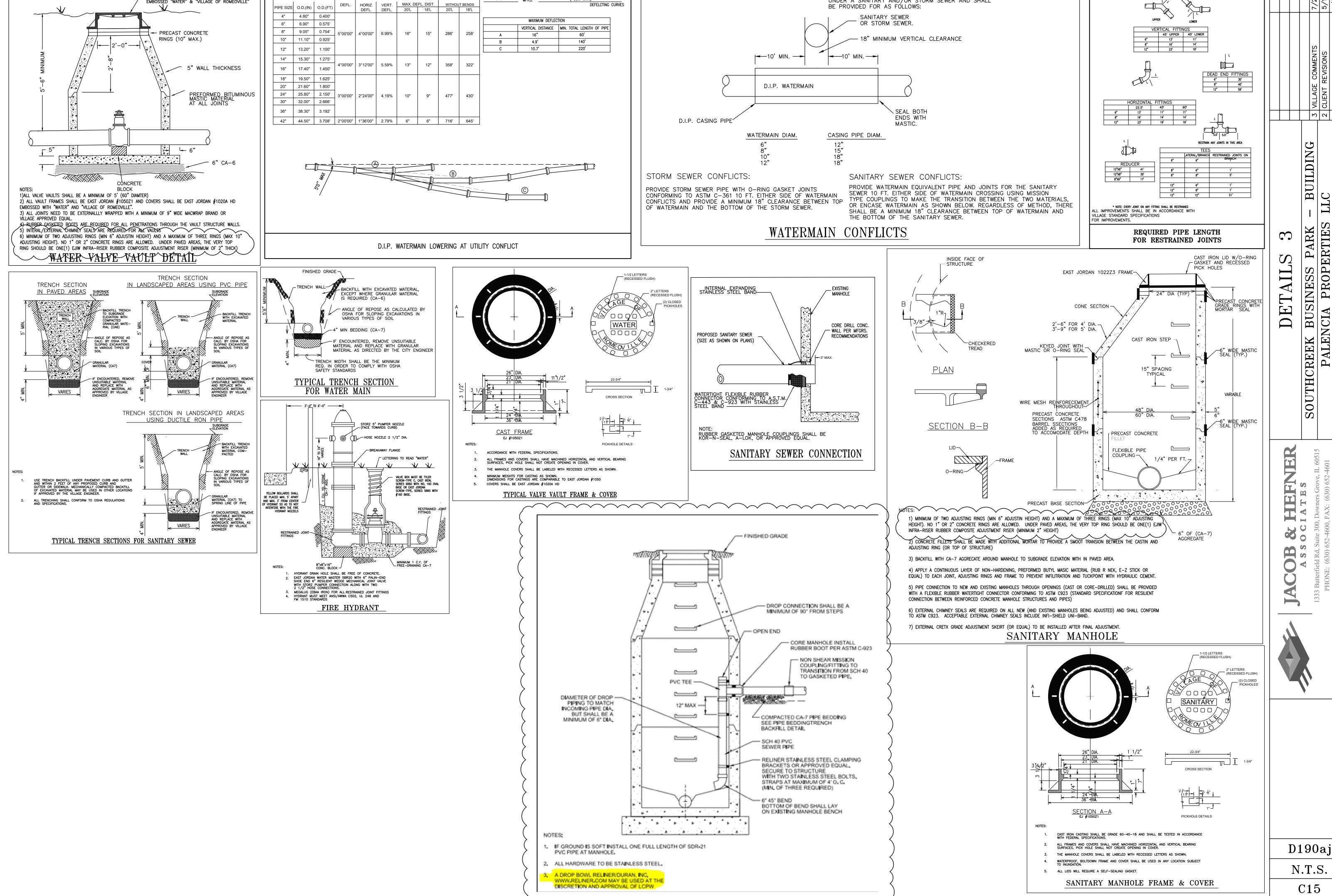
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PIPE DATA

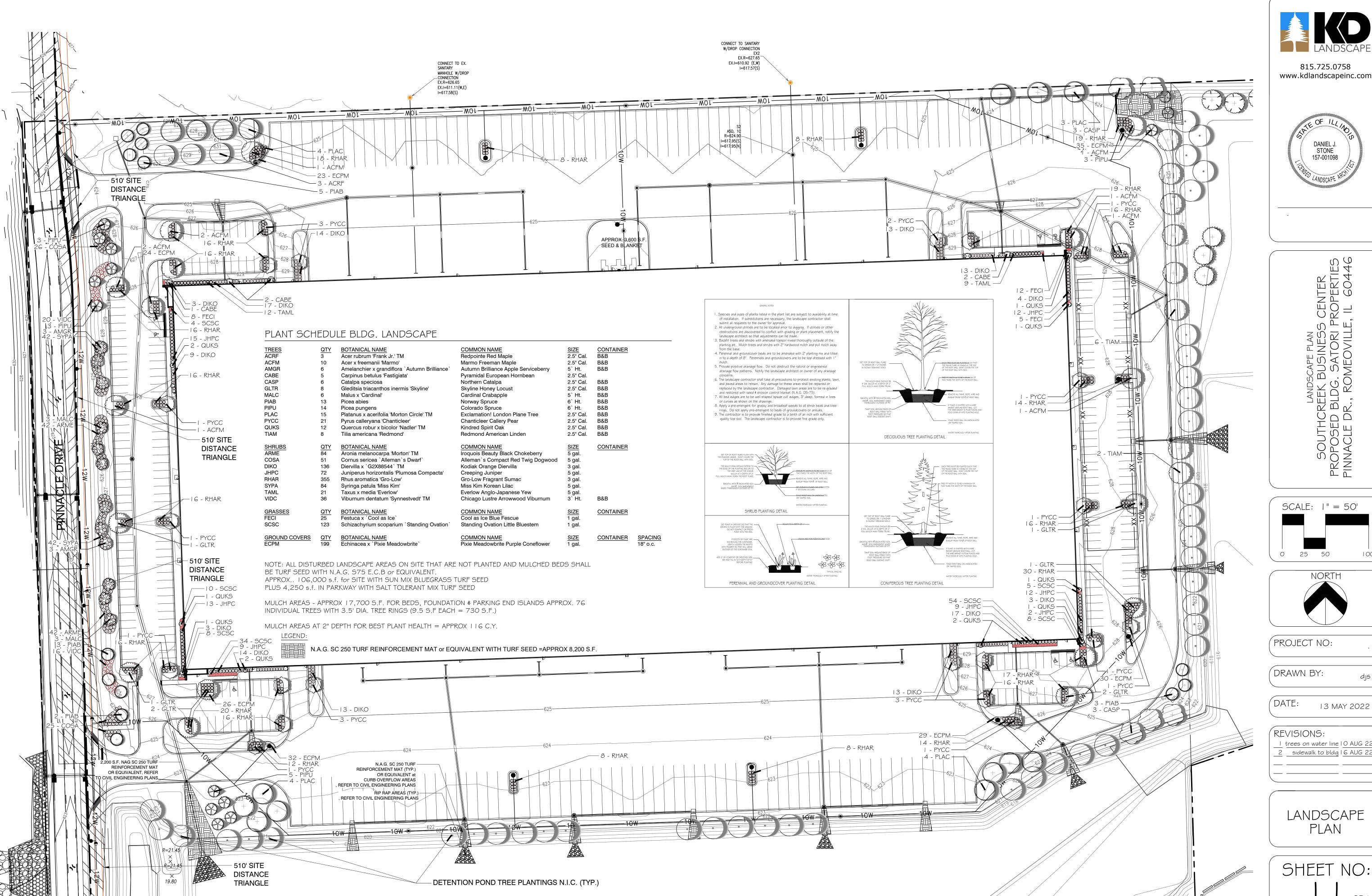
CONFLICTS OCCUR WHERE WATERMAINS PASS WITHIN 18" OVER OR PASS

UNDER A SANITARY AND/OR STORM SEWER AND SHALL

FRAME-EAST JORDAN 1050Z1
_COVER-EAST JORDAN #1020A HD
W/ RECESSED PICKHOLE,
EMBOSSED "WATER" & "VILLAGE OF ROMEOVILLE"

BUILDIN ARK NESS PROP

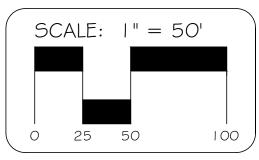
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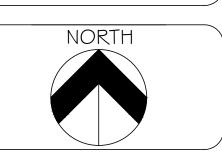


815.725.0758 www.kdlandscapeinc.com



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trees on water line 10 AUG 22 _sidewalk to bldg I 6 AUG 22

> LANDSCAPE PLAN

SHEET NO: OF I



1333 Butterfield Road, Suite 300 Downers Grove, IL 60515 P 630-652-4600 F 630-652-4601

Variance List Southcreek Business Center

Section 158.027(B)(1): An exception to allow for a ROW width that is less than specified in Appendix A: Table A-1. The ROW width will vary along Pinnacle Drive within the business park. The east ROW line for Pinnacle Drive will be located 1-ft east of the design east back-of-curb. A 15-ft wide easement will be dedicated east of the ROW to accommodate proposed utilities and a multi-use path. The west ROW line will be located on the existing parcel line.

<u>Section 159.080(I)(2)</u>: An exception to allow for the width of the drives to be greater than 40-feet. This is due to the location of the ROW line being close to the Pinnacle Drive curb line and needed width to allow for turning movements of large trucks.

<u>Section 159.108(C)(1)</u>: An exception to allow for parking stall width of 9.0-feet. This is consistent with similar developments in the same area of the Village.