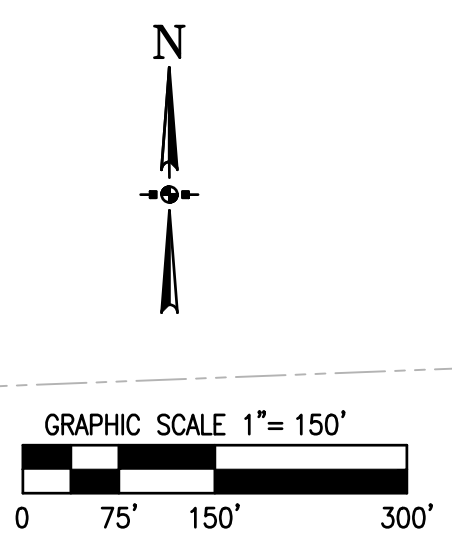
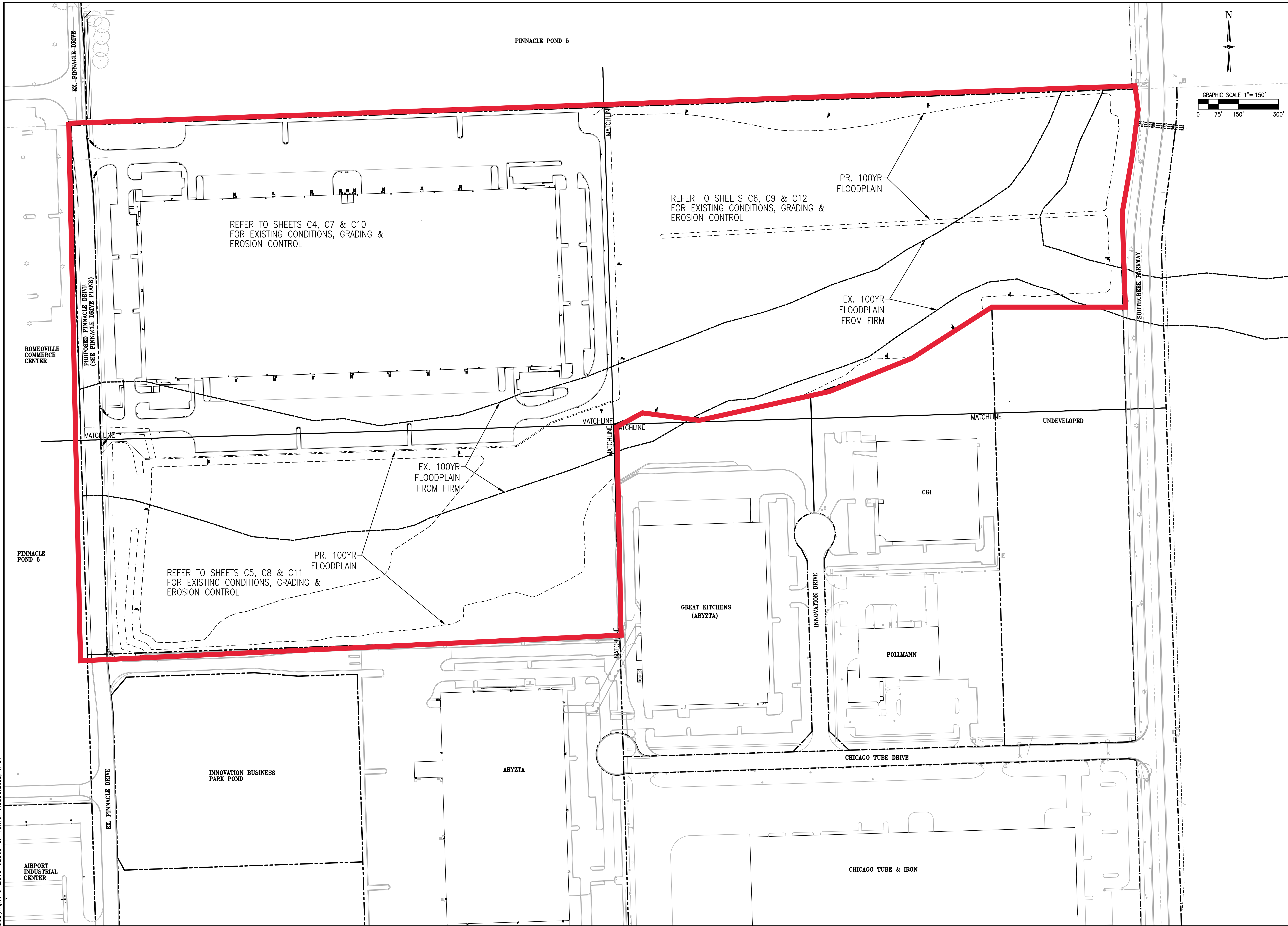


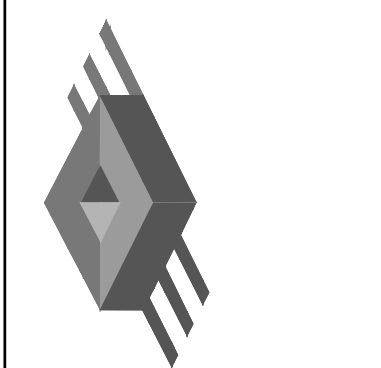
Remaining Territory PUD Exhibit



| No. | Description | Date |
|-----|------------------|---------|
| 3 | VILLAGE COMMENTS | 1/13/23 |
| 2 | VILLAGE COMMENTS | 6/28/22 |
| 1 | ISSUE FOR REVIEW | 3/31/22 |

OVERALL SITE PLAN
 STORMWATER IMPROVEMENT PLANS
 SOUTHCREEK BUSINESS CENTER
 PALENCIA PROPERTIES LLC
 ROMEOVILLE, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600; FAX: (630) 652-4601
 www.jacobandhefner.com



D190aj
 1"=150'
 C3

BUILDING IMPROVEMENT PLANS

FOR

SOUTHCREEK BUSINESS CENTER

ROMEOWILLE, ILLINOIS
PALENCIA PROPERTIES LLC

D190aj
SOUTHCREEK - BLDG
7/26/22



LOCATION MAP
NOT TO SCALE

BENCHMARK & LOCATIONS:
REFERENCE BENCHMARKS:
 WILL COUNTY STATION 403
 3-D MARKER ON THE SOUTH SIDE OF ROMEO ROAD, 0.25 MILES WEST OF THE INTERSECTION OF ILLINOIS ROUTE 53 AND ROMEO ROAD.
 ELEVATION=628.26 (WILL COUNTY DATUM/NAVD88)
 WILL COUNTY STATION 421
 3-D MARKER NEAR THE INTERSECTION OF RENWICK ROAD (ILLINOIS ROUTE 7) AND OLD RENWICK ROAD. (SEE DATA SHEET FOR MORE DETAILED DESCRIPTION).
 ELEVATION=647.34 (WILL COUNTY DATUM/NAVD88)
SITE BENCHMARKS:
 BM 1 (JHA CP92)
 CUT CROSS IN TOP OF CONCRETE CURB IN FRONT OF FIRE HYDRANT AT THE SOUTH ENTRANCE OF 148 S. PINNACLE DRIVE.
 ELEVATION=632.58 (NAVD88 DATUM)
 BM 2 (JHA CP94)
 CUT CROSS IN TOP OF CONCRETE CURB ON THE EAST SIDE OF SOUTHCREEK DRIVE, ACROSS FROM THE EASTERLY EXTENSION OF THE NORTHERLY BUILDING LINE OF CHICAGO TUBE AND IRON.
 ELEVATION=666.08 (NAVD88 DATUM)

EXISTING CONDITIONS OBTAINED FROM TOPOGRAPHIC SURVEY COMPLETED BY JACOB & HEFNER ASSOCIATES, DATED FEBRUARY 2022.

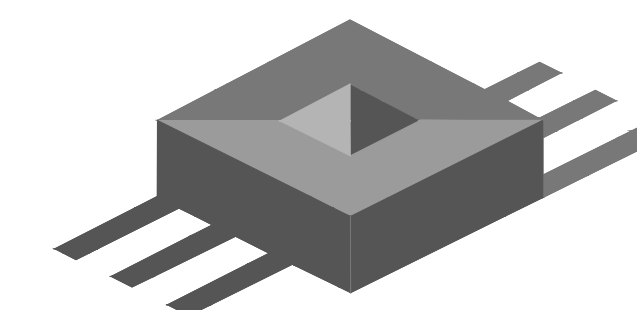
| Sheet Number | Sheet Title |
|--------------|---------------------------------------|
| C1 | COVER |
| C2 | GENERAL NOTES |
| C3 | OVERALL SITE PLAN |
| C4 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C5 | GEOMETRIC PLAN |
| C6 | GRADING PLAN |
| C7 | ADA GRADING PLAN |
| C8 | UTILITY PLAN |
| C9 | EROSION CONTROL PLAN |
| C10 | STORMWATER POLLUTION PREVENTION PLAN |
| C11 | SWPPP DETAILS |
| C12 | SPECIFICATIONS |
| C13 | DETAILS 1 |
| C14 | DETAILS 2 |
| C15 | DETAILS 3 |

DRAINAGE CERTIFICATE

I, JASON SNYDER, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THIS DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

| No. | Description | Date |
|-----|------------------|---------|
| 3 | VILLAGE COMMENTS | 7/26/22 |
| 2 | CLIENT REVISIONS | 5/11/22 |
| 1 | FOR REVIEW | 4/26/22 |

ENGINEER
 JASON J. SNYDER
 JSNYDER@JACOBANDHEFNER.COM
 ILLINOIS REGISTRATION NO. 062-055425
 EXPIRES: 11/30/23
 ENGINEER ONLY CERTIFIES SHEETS
 THIS PLANS OR ANY PART THERE OF SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND MARKED "FOR CONSTRUCTION".



JACOB & HEFNER
ASSOCIATES

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 PHONE: (630) 652-4600, FAX: (630) 652-4601
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| PROPOSED | DESCRIPTION | EXISTING |
|----------|----------------------------------|----------|
| | STORM SEWER | |
| | WATER MAIN WITH SIZE | |
| | SANITARY SEWER | |
| | RIGHT-OF-WAY | |
| | CONTOUR | |
| | SPOT GRADE | |
| | SANITARY MANHOLE | |
| | STORM MANHOLE | |
| | STORM INLET | |
| | STORM CATCH BASIN | |
| | FIRE HYDRANT | |
| | PRESSURE CONNECTION | |
| | GATE VALVE W/VAULT | |
| | STREET LIGHT | |
| | STREET LIGHT W/MAST | |
| | OVERFLOW DIRECTION | |
| | CURB & GUTTER | |
| | SILT FENCE | |
| | ROAD SIGN | |
| | UNDERGROUND ELECTRIC | |
| | UNDERGROUND GAS | |
| | UTILITY POLE | |
| | DEPRESSED CURB FOR RAMP/DRIVEWAY | |
| | TOP OF FOUNDATION | |
| | GARAGE FLOOR, AT REAR OF GARAGE | |
| | TOP OF CURB, DEPRESSED | |
| | TOP OF RETAINING WALL | |
| | RIM FOR STRUCTURES | |
| | RISER FOR SANITARY SERVICE | |
| | HIGH/NORMAL WATER LEVEL | |
| | TRANSFORMER | |
| | FENCE LINE | |
| | GUARD RAIL | |
| | FORCE MAIN | |
| | UNDERGROUND TELEPHONE | |
| | UNDERGROUND ELECTRIC | |
| | OVERHEAD ELECTRIC | |
| | GAS LINE | |
| | FLOODPLAIN | |
| | MODELED FLOODPLAIN | |
| | WETLAND LIMITS | |

WARNING

CALL BEFORE YOU DIG
 (48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

811

Know what's below.
 Call before you dig.

| PERMITS | | |
|---------|----------------|---|
| DATE | PERMIT # | AGENCY |
| 7/31/10 | ILR10B596 | IEPA - NPDES IEPA - WATER IEPA - SANITARY |
| 2/26/22 | LRC-2018-00451 | ACOE |
| 12/7/21 | #22-05-0179R | CLOMR |

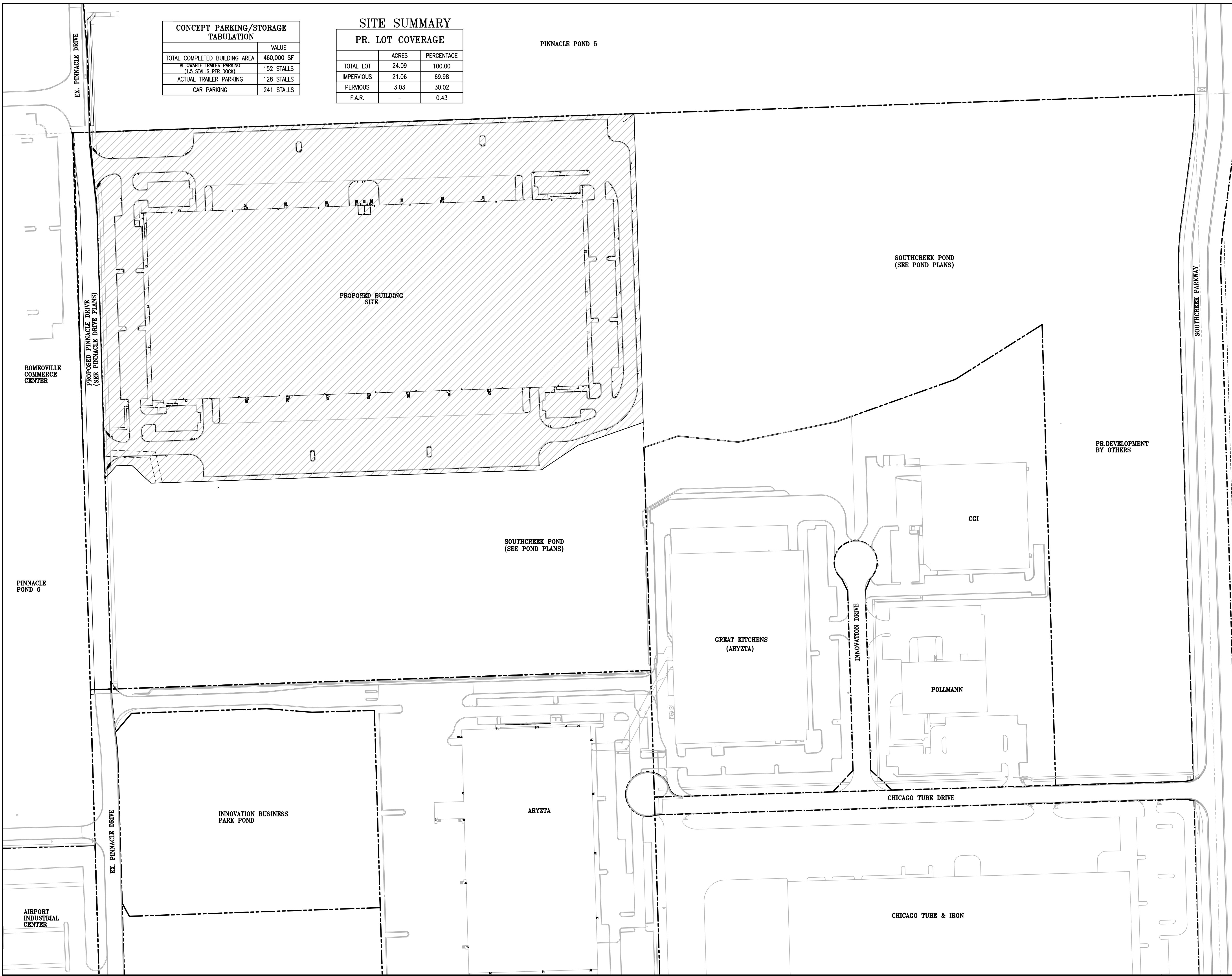
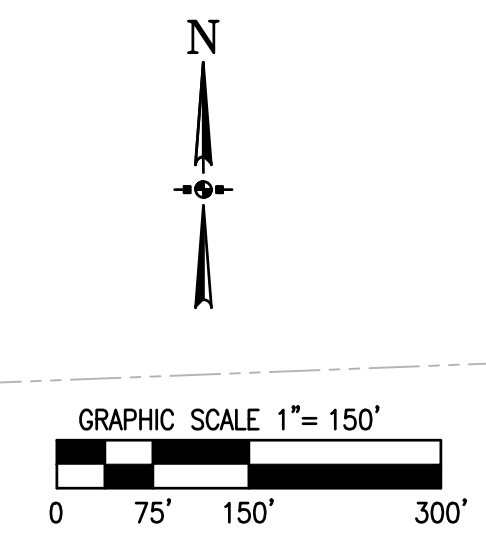
Municipality: Romeoville
 County: Will
 Township: 36N
 Range: 10E
 Section: 8

FOR REVIEW PURPOSES ONLY

| CONCEPT PARKING/STORAGE TABULATION | |
|---|------------|
| | VALUE |
| TOTAL COMPLETED BUILDING AREA | 460,000 SF |
| ALLOWABLE TRAILER PARKING (1.5 STALLS PER DOCK) | 152 STALLS |
| ACTUAL TRAILER PARKING | 128 STALLS |
| CAR PARKING | 241 STALLS |

| SITE SUMMARY | | |
|------------------|-------|------------|
| PR. LOT COVERAGE | | |
| | ACRES | PERCENTAGE |
| TOTAL LOT | 24.09 | 100.00 |
| IMPERVIOUS | 21.06 | 69.98 |
| PERVIOUS | 3.03 | 30.02 |
| F.A.R. | - | 0.43 |

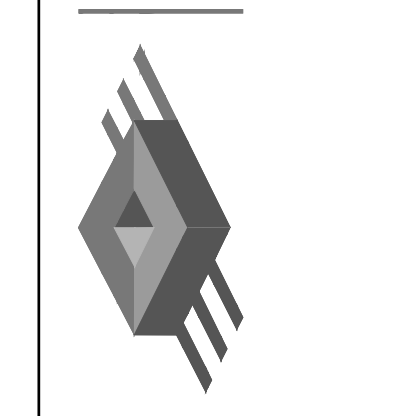
PINNACLE POND 5



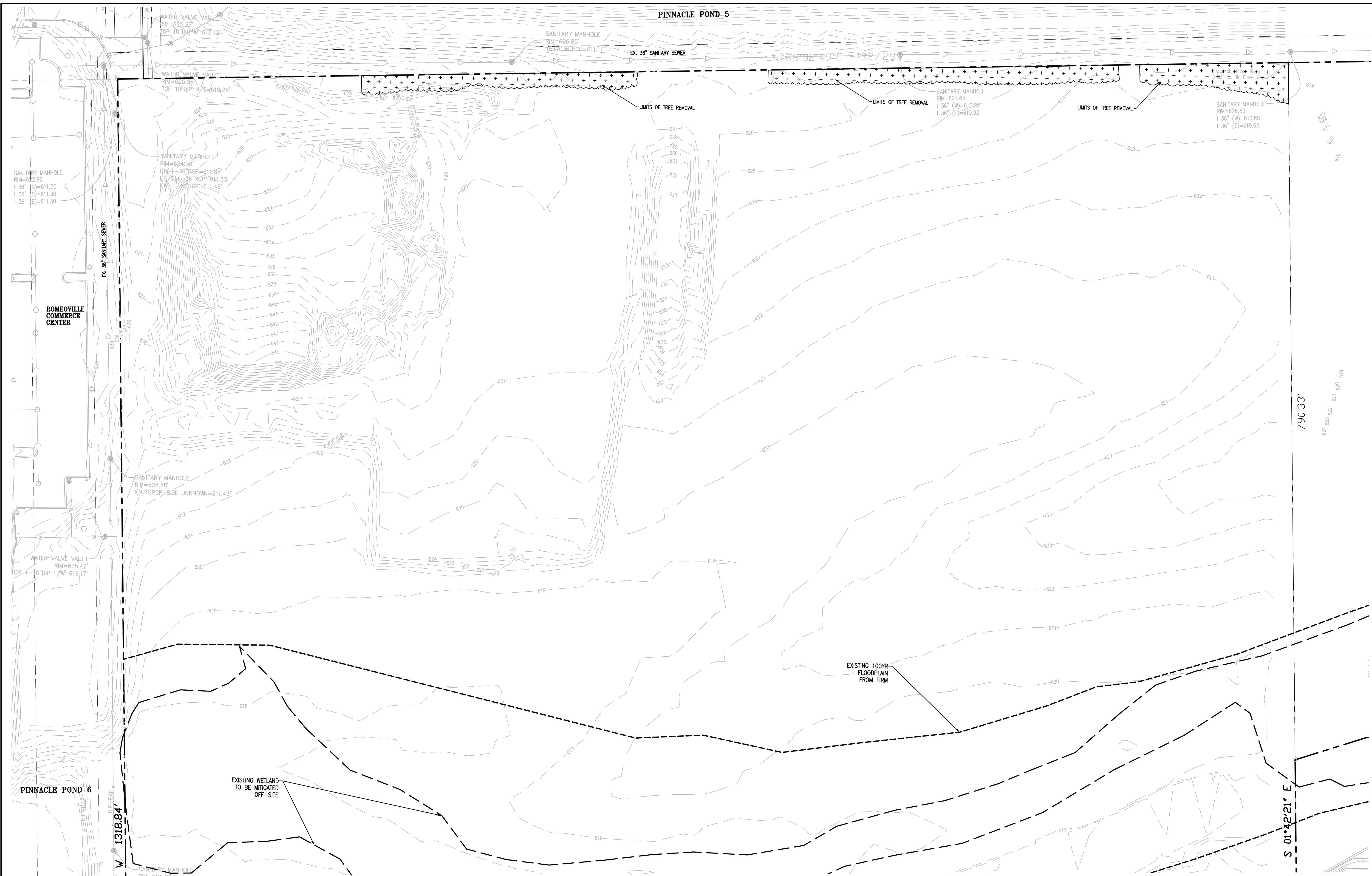
| No. | Description | Date |
|-----|------------------|---------|
| 3 | VILLAGE COMMENTS | 7/26/22 |
| 2 | CLIENT REVISIONS | 5/11/22 |
| 1 | FOR REVIEW | 4/26/22 |

OVERALL SITE PLAN
 STORMWATER IMPROVEMENT PLANS
 SOUTHCREEK BUSINESS PARK - BUILDING
 PALENCIA PROPERTIES LLC
 ROMEOVILLE, ILLINOIS

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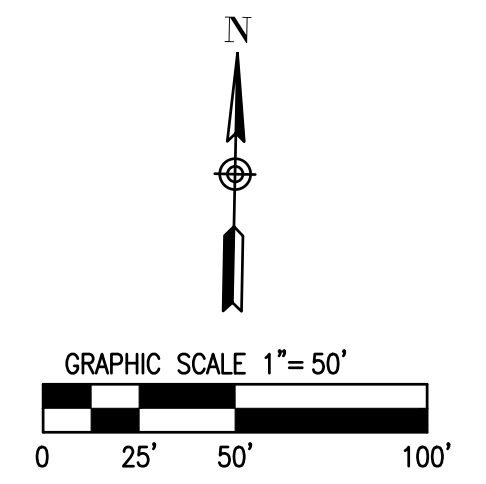
D190aj
 1" = 150'
 C3



DEMOLITION NOTES

- 1) SUBCONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
- 2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SEE SHEETS C8.0-C8.1 FOR EROSION CONTROL PLAN.
- 3) COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION, IF NEEDED.
- 4) NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
- 5) ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
- 6) ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT-OF-WAYS.
- 7) ALL WASTE MATERIALS SHALL BE DISPOSED OF OFFSITE IN AN APPROVED FACILITY.
- 8) THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.
- 9) SUBCONTRACTORS TO COORDINATE WITH THE CONSTRUCTION MANAGER WITH RESPECT TO RECYCLING EFFORTS. WHEREVER POSSIBLE MATERIALS BEING REMOVED FROM THE SITE OR BEING DEMOLISHED SHALL BE RECYCLED INCLUDING ANY SCRAP AND PACKAGING FROM NEW CONSTRUCTION WORK.
- 10) ALL UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
- 11) ALL STRUCTURE ADJUSTMENTS GREATER THAN 10" WILL REQUIRE THE CONSTRUCTION OF A NEW CONE SECTION ON THE STRUCTURE.

EXISTING INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY JACOB & HEFNER ASSOCIATES, INC. DATED FEBRUARY 24, 2022.



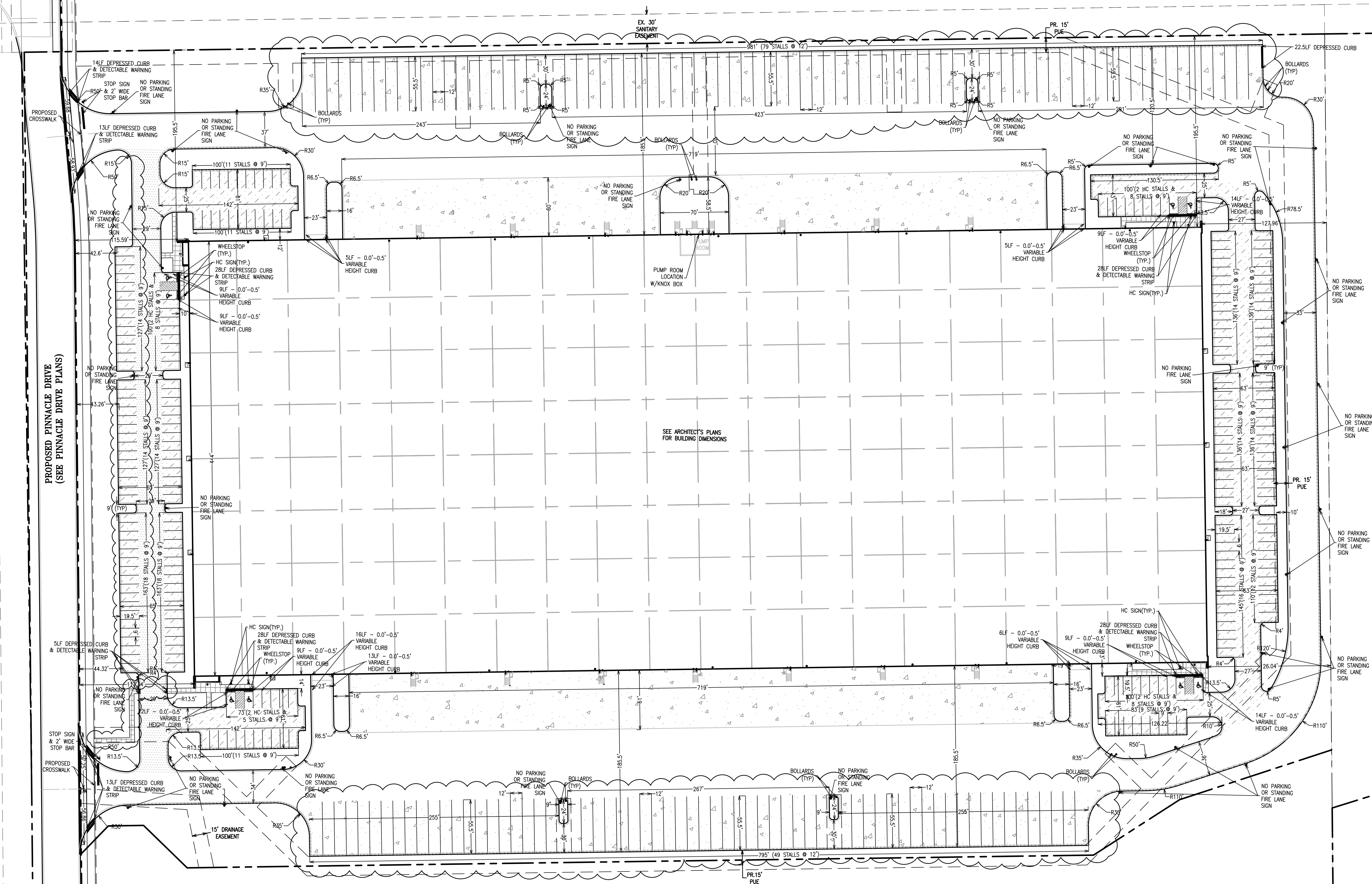
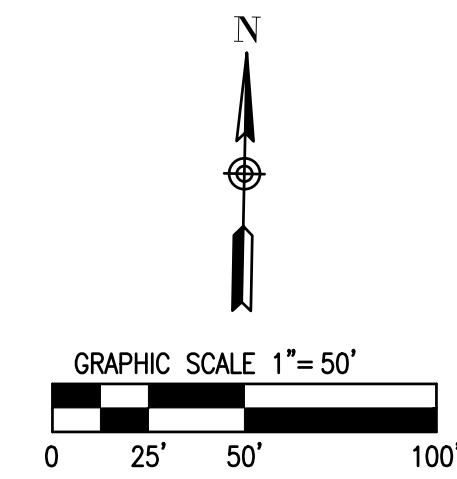
EXISTING CONDITIONS & DEMOLITION PLAN
SOUTHCREEK BUSINESS PARK - BUILDING
PALENCIA PROPERTIES LLC
ROMEDEVILLE, ILLINOIS

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 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
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| No. | Description | Date |
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| 3 | VILLAGE COMMENTS | 7/26/22 |
| 2 | CLIENT REVISIONS | 5/17/22 |
| 1 | FOR REVIEW | 4/26/22 |

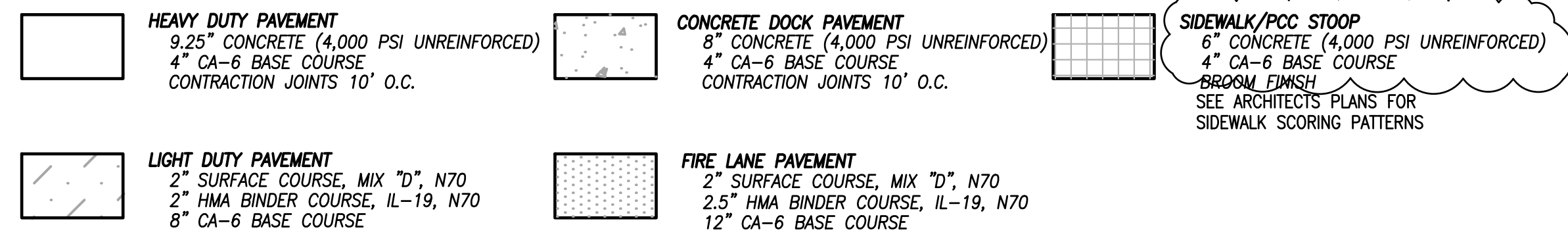
D190aj
 1" = 50'
 C4

PINNACLE POND 5



SEE ARCHITECT'S PLANS FOR BUILDING DIMENSIONS

PAVEMENT LEGEND

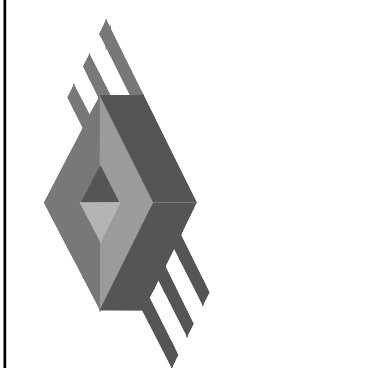


- GEOMETRIC NOTES-**
- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING.
 - 2) INSTALL REVERSE PITCH B6.12 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - 3) ALL RADI ARE 3.0-FT UNLESS NOTED OTHERWISE.
 - 4) ALL PAVEMENT MARKINGS ON-SITE SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR ON THE DETAILS. HIGH VISIBILITY YELLOW PAINT SHALL BE USED FOR HANDICAP STALLS.
 - 5) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
 - 6) STAIR AND DOORWAY LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY ARCHITECT.
 - 7) CONCRETE JOINT SPACING SHALL CONFORM TO IDOT STANDARDS.
 - 8) THREE(3) DRILLED AND GROUTED NO. 5 REINFORCING BARS OR EXPANSION ANCHORS, 1/2 IN DIAMETER, SHALL BE USED TO TIE THE NEW CURB AND GUTTER TO THE EXISTING CURB AND GUTTER AT STREET CONNECTIONS
 - 9) ANY FUTURE TRASH ENCLOSURE SHALL BE PLACED ON THE NORTH OR SOUTH SIDE OF THE BUILDING.

| No. | Description | Date |
|-----|-------------------|---------|
| 3 | VILLAGE COMMENTS | 7/26/22 |
| 2 | CCLIENT REVISIONS | 5/11/22 |
| 1 | FOR REVIEW | 4/26/22 |

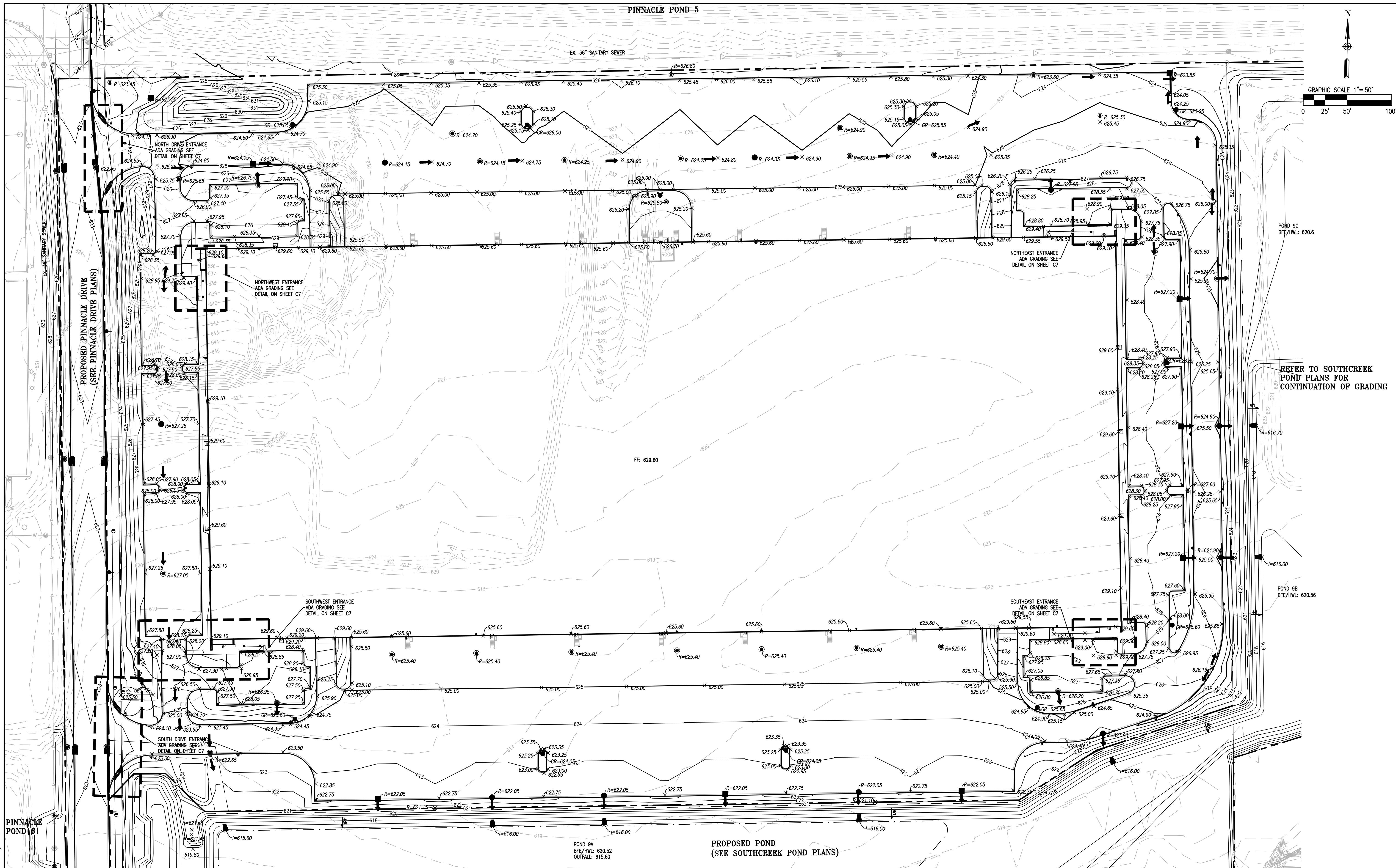
GEOMETRIC PLAN
 SOUTHCREEK BUSINESS PARK - BUILDING
 PALENCIA PROPERTIES LLC
 ROMEOVILLE, ILLINOIS

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D190aj
 1" = 50'
 C5

PINNACLE POND 5



REFER TO SOUTHCREEK POND PLANS FOR CONTINUATION OF GRADING

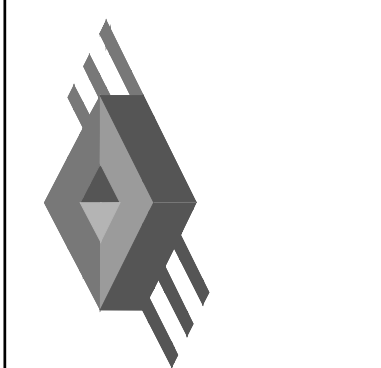
GRADING NOTES

- 1) EXISTING INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY JACOB & HEFNER ASSOCIATES, INC. DATED FEBRUARY 24, 2022
- 2) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 3) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 4) SUBCONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 5) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 6) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 7) SUBCONTRACTOR TO VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND CONTACT ENGINEER IF DIFFERENT THAN SHOWN ON THIS SHEET.
- 8) SUBCONTRACTOR TO MAINTAIN A CONSTANT SLOPE BETWEEN SPOT ELEVATIONS.
- 9) PROVIDE A MAX SLOPE OF 1.5% IN HANDICAPPED STALLS AND 4.5% ON SIDEWALKS.
- 10) PROVIDE A CROSS SLOPE OF 1.5% MAX FOR SIDEWALKS.
- 11) GRADING/LANDSCAPING SUBCONTRACTOR TO ADJUST THE GRADING TO APPROPRIATELY GRADE AROUND THE PROPOSED STRUCTURES CONSTRUCTED WITHIN THE STEEP SLOPES SURROUNDING THE SITE AND PARKING LOT AREAS, SO THAT THE ENTIRE STRUCTURE, EXCEPT FOR THE RIM, IS COVERED IN TOPSOIL AND SEEDED.
- 12) ALL PCC STOOPS ARE TO BE SLOPED AWAY FROM BUILDING AT 2%.

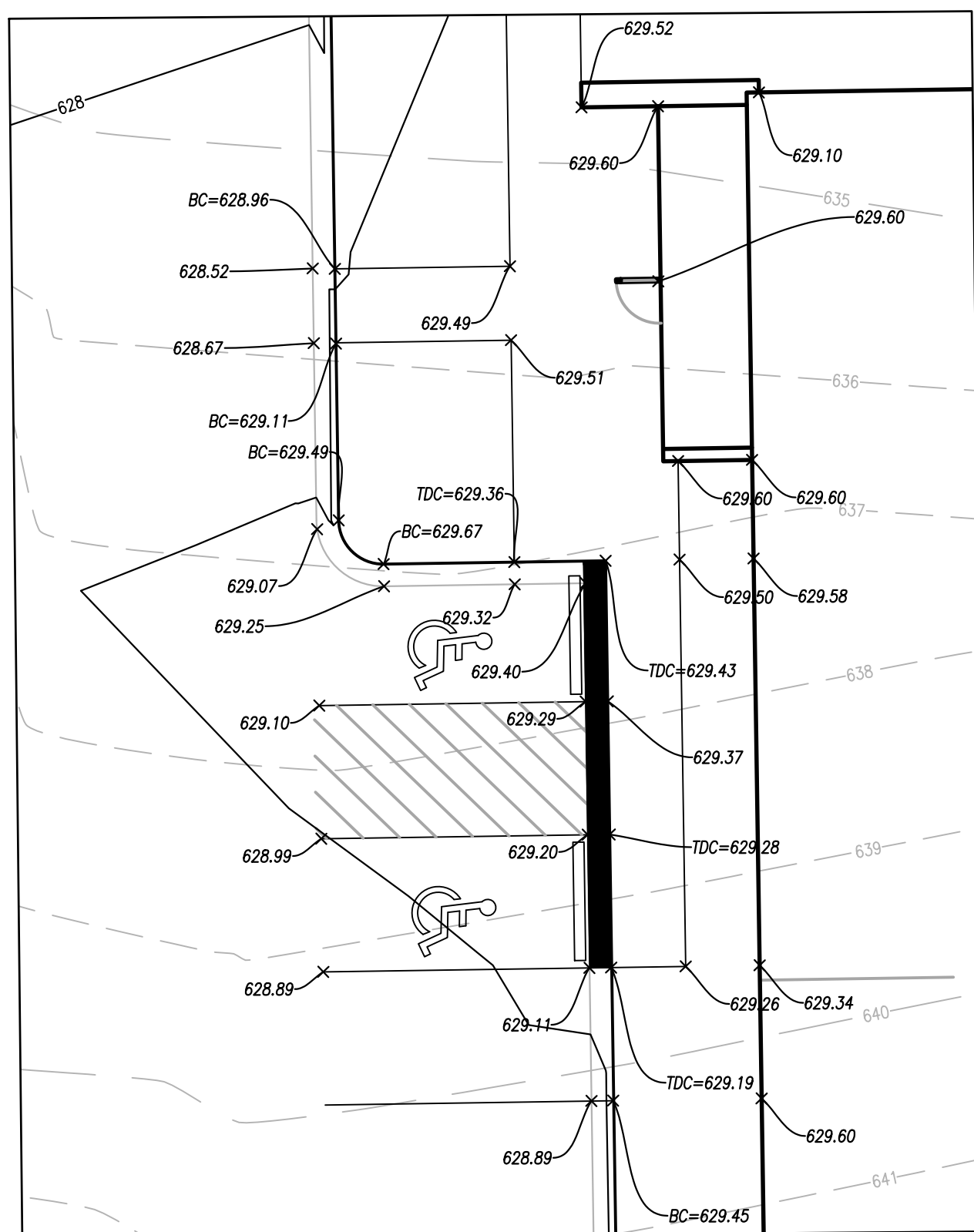
| No. | Description | Date |
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| 3 | VILLAGE COMMENTS | 7/26/22 |
| 2 | CLIENT REVISIONS | 5/17/22 |
| 1 | FOR REVIEW | 4/26/22 |

GRADING PLAN
SOUTHCREEK BUSINESS PARK – BUILDING
PALENCIA PROPERTIES LLC
ROMEIOVILLE, ILLINOIS

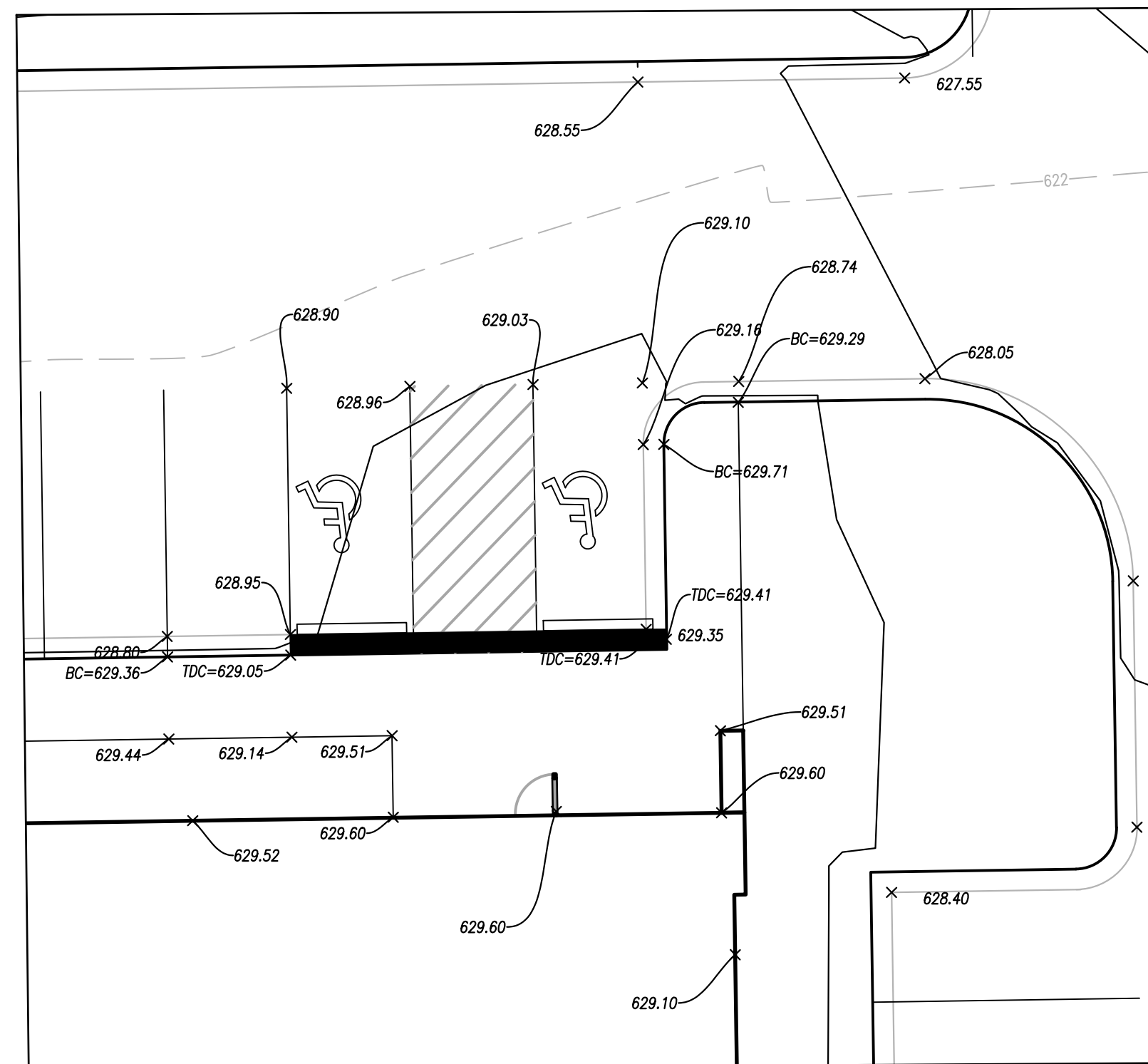
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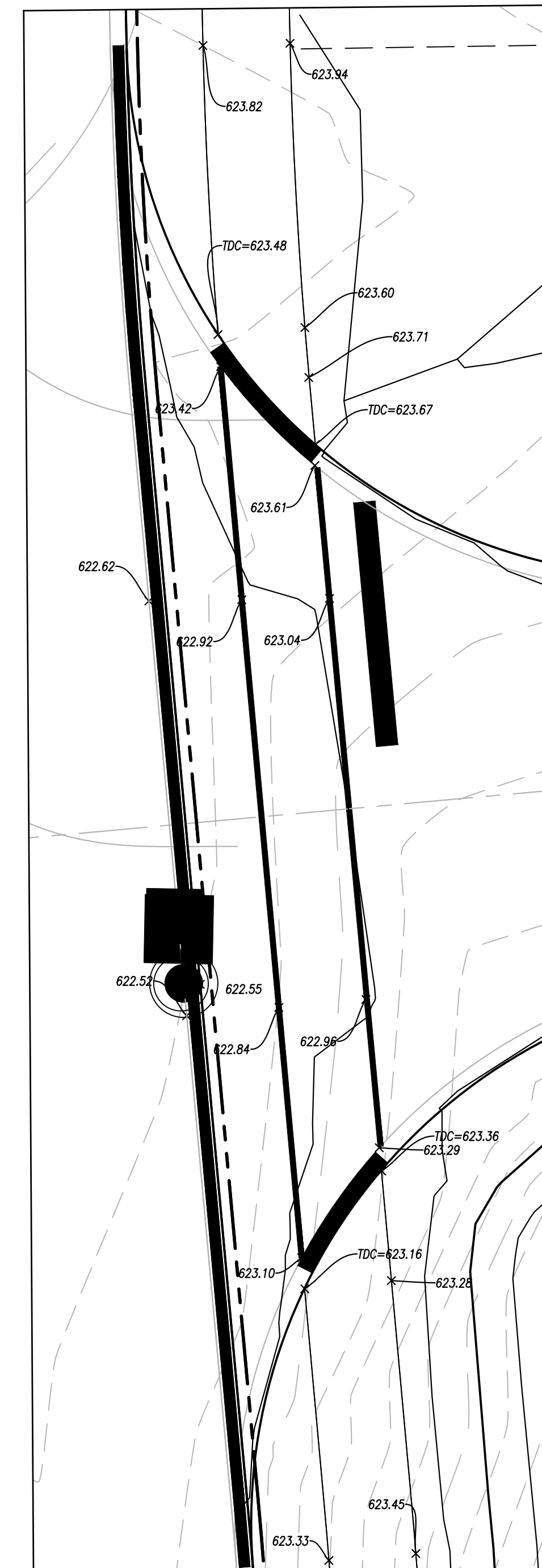
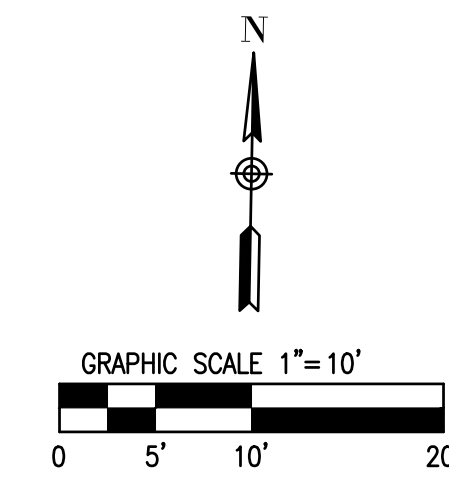
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 1" = 50'
 C6



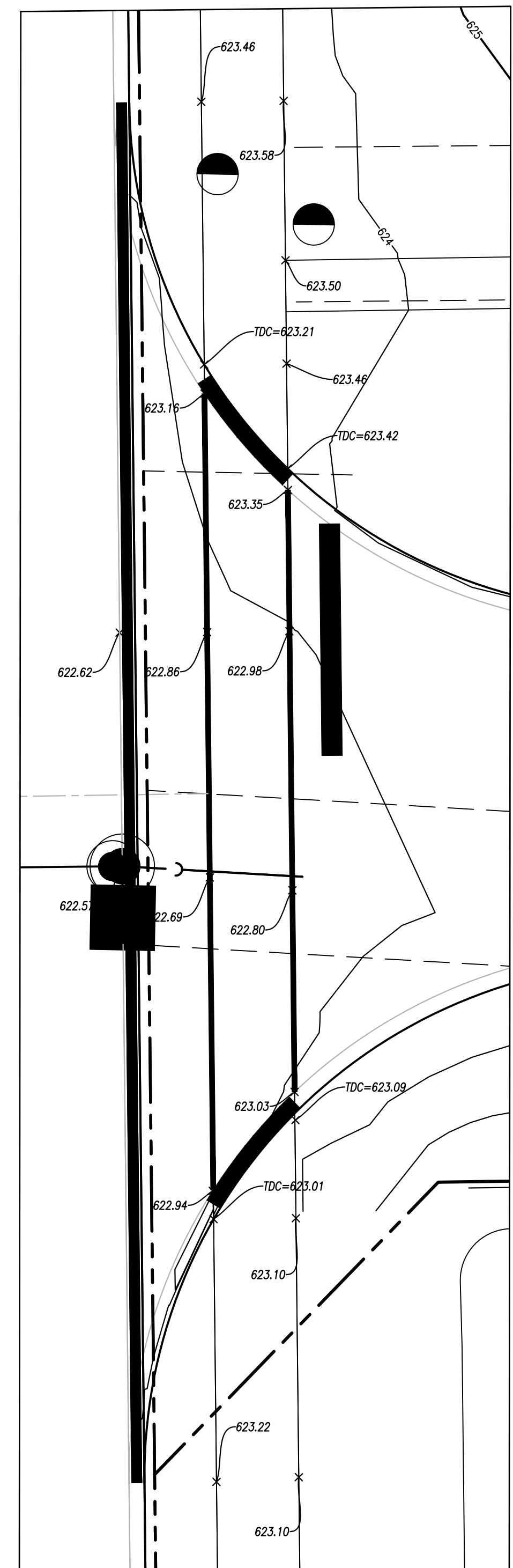
NORTHWEST BUILDING ENTRANCE



NORTHEAST BUILDING ENTRANCE



NORTH DRIVE ENTRANCE



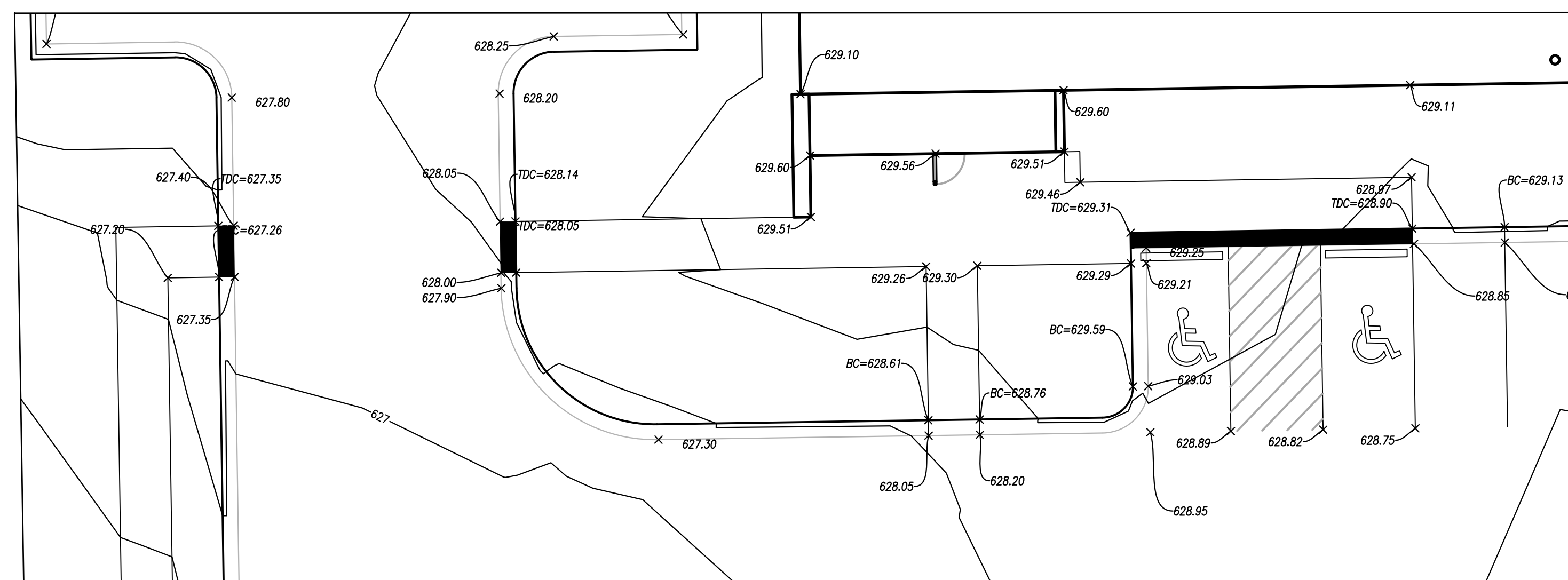
SOUTH DRIVE ENTRANCE

GRADING NOTES

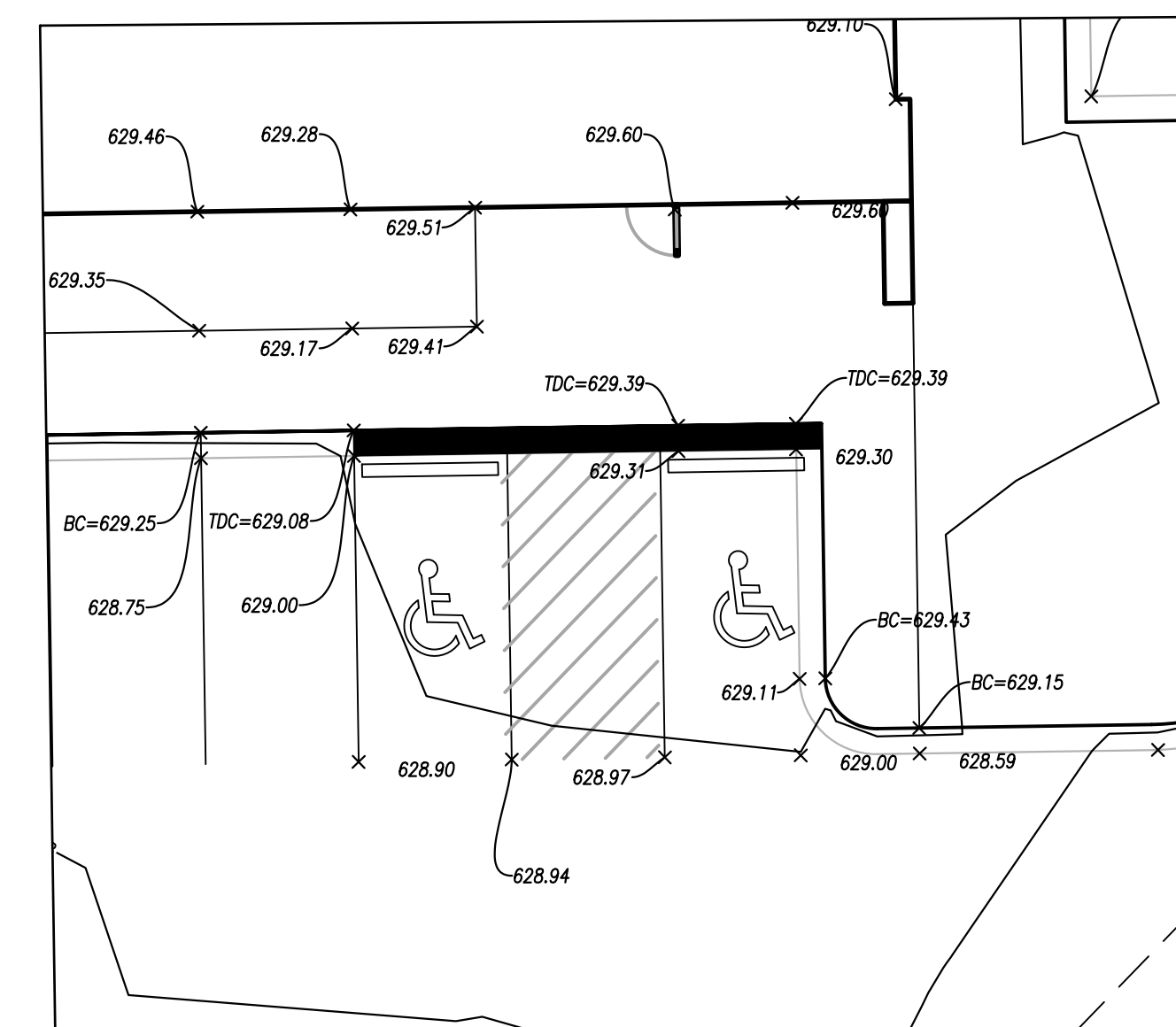
- 1) EXISTING INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY JACOB & HEFNER ASSOCIATES, INC. DATED FEBRUARY 24, 2022.
- 2) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
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- 5) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 6) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 7) SUBCONTRACTOR TO VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION AND CONTACT ENGINEER IF DIFFERENT THAN SHOWN ON THIS SHEET.
- 8) SUBCONTRACTOR TO MAINTAIN A CONSTANT SLOPE BETWEEN SPOT ELEVATIONS.
- 9) PROVIDE A MAX SLOPE OF 1.5% IN HANDICAPPED STALLS AND 4.5% ON SIDEWALKS.
- 10) PROVIDE A CROSS SLOPE OF 1.5% MAX FOR SIDEWALKS.
- 11) GRADING/LANDSCAPING SUBCONTRACTOR TO ADJUST THE GRADING TO APPROPRIATELY GRADE AROUND THE PROPOSED STRUCTURES CONSTRUCTED WITHIN THE STEEP SLOPES SURROUNDING THE SITE AND PARKING LOT AREAS, SO THAT THE ENTIRE STRUCTURE, EXCEPT FOR THE RIM, IS COVERED IN TOPSOIL AND SEEDED.
- 12) ALL PCC STOOPS ARE TO BE SLOPED AWAY FROM BUILDING AT 2%.

ADA GRADING NOTES

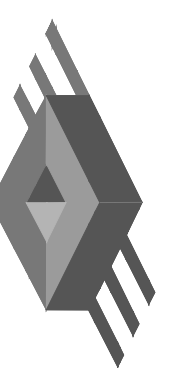
- 1) ALL SIDEWALKS INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMPS UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
- 2) ALL HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%. HANDICAP ACCESSIBLE ROUTE DENOTED BY:
- 4) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 5) THE PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- 6) REFER TO SHEET C6 FOR OVERALL GRADING PLAN AND NOTES.



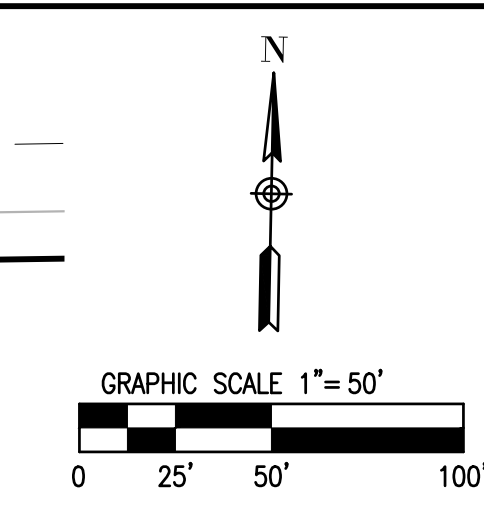
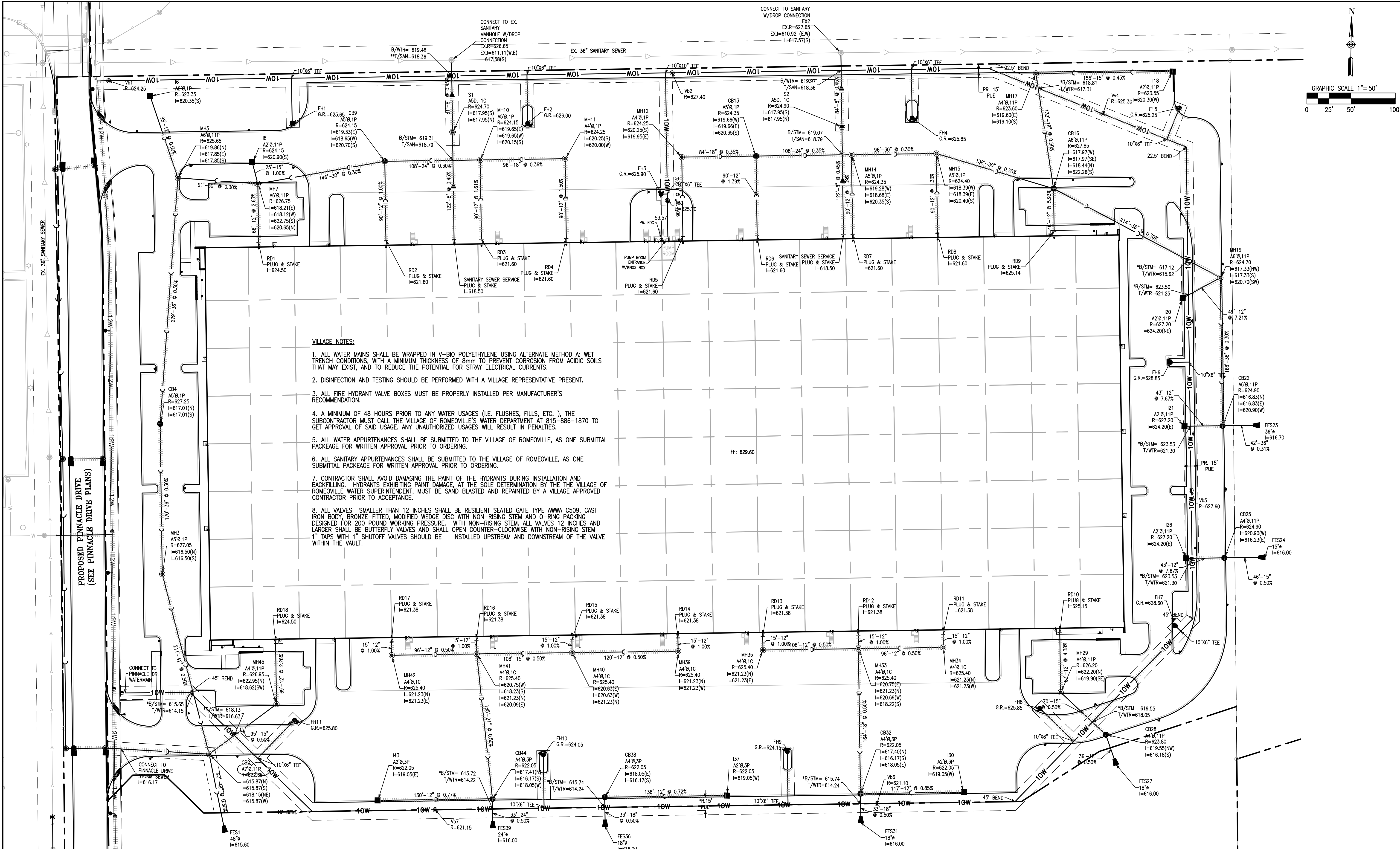
SOUTHWEST BUILDING ENTRANCE



SOUTHEAST BUILDING ENTRANCE



| No. | Description | Date |
|-----|------------------|---------|
| 3 | VILLAGE COMMENTS | 7/26/22 |
| 2 | CLIENT REVISIONS | 5/17/22 |
| 1 | FOR REVIEW | 4/26/22 |



- VILLAGE NOTES:**
1. ALL WATER MAINS SHALL BE WRAPPED IN V-BIO POLYETHYLENE USING ALTERNATE METHOD A: WET TRENCH CONDITIONS, WITH A MINIMUM THICKNESS OF 8mm TO PREVENT CORROSION FROM ACIDIC SOILS THAT MAY EXIST, AND TO REDUCE THE POTENTIAL FOR STRAY ELECTRICAL CURRENTS.
 2. DISINFECTION AND TESTING SHOULD BE PERFORMED WITH A VILLAGE REPRESENTATIVE PRESENT.
 3. ALL FIRE HYDRANT VALVE BOXES MUST BE PROPERLY INSTALLED PER MANUFACTURER'S RECOMMENDATION.
 4. A MINIMUM OF 48 HOURS PRIOR TO ANY WATER USAGES (I.E. FLUSHES, FILLS, ETC.), THE SUBCONTRACTOR MUST CALL THE VILLAGE OF ROMEOVILLE'S WATER DEPARTMENT AT 815-886-1870 TO GET APPROVAL OF SAID USAGE. ANY UNAUTHORIZED USAGES WILL RESULT IN PENALTIES.
 5. ALL WATER APPURTENANCES SHALL BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE, AS ONE SUBMITTAL PACKAGE FOR WRITTEN APPROVAL PRIOR TO ORDERING.
 6. ALL SANITARY APPURTENANCES SHALL BE SUBMITTED TO THE VILLAGE OF ROMEOVILLE, AS ONE SUBMITTAL PACKAGE FOR WRITTEN APPROVAL PRIOR TO ORDERING.
 7. CONTRACTOR SHALL AVOID DAMAGING THE PAINT OF THE HYDRANTS DURING INSTALLATION AND BACKFILLING. HYDRANTS EXHIBITING PAINT DAMAGE, AT THE SOLE DETERMINATION BY THE VILLAGE OF ROMEOVILLE WATER SUPERINTENDENT, MUST BE SAND BLASTED AND REPAINTED BY A VILLAGE APPROVED CONTRACTOR PRIOR TO ACCEPTANCE.
 8. ALL VALVES SMALLER THAN 12 INCHES SHALL BE RESILIENT SEATED GATE TYPE ANWA C509, CAST IRON BODY, BRONZE-FITTED, MODIFIED WEDGE DISC WITH NON-RISING STEM AND O-RING PACKING DESIGNED FOR 200 POUND WORKING PRESSURE. WITH NON-RISING STEM. ALL VALVES 12 INCHES AND LARGER SHALL BE BUTTERFLY VALVES AND SHALL OPEN COUNTER-CLOCKWISE WITH NON-RISING STEM 1" TAPS WITH 1" SHUTOFF VALVES SHOULD BE INSTALLED UPSTREAM AND DOWNSTREAM OF THE VALVE WITHIN THE VAULT.

GENERAL UTILITY NOTES

- 1) EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE SUBCONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
- 2) SUBCONTRACTOR TO TERMINATE PROPOSED UTILITIES 5'-FT OUTSIDE BUILDING UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.
- 3) ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
- 4) ALL EXISTING UTILITY RIMS, GRADES RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
- 5) SELECTED GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS.

- TRENCH BACKFILL DENOTED BY: [Symbol]
- 6) ALL STRUCTURE ADJUSTMENTS GREATER THAN 10" WILL REQUIRE THE CONSTRUCTION OF A NEW CONE SECTION ON THE STRUCTURE.
- WATER MAIN NOTES**
- WATERMAIN STRUCTURE SYMBOL LEGEND:
 W=VALVEVAULT
 VB=VALVE BOX
 FH=FIRE HYDRANT ASSEMBLY
 PC=PRESSURE CONNECTION
- 1) ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON PLANS.
 - 2) ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON PLANS.
 - 3) BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD

- SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
- 4) MAINTAIN A MINIMUM OF 5.5-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.
 - 5) ALL PROPOSED WATER MAIN INSTALLED SHALL BE RESTRAINED USING MEGALUGS (EBA4 IRON).
 - 6) ANY HYDRANTS THAT HAVE BEEN FIELD PAINTED MUST BE SAND BLASTED AND REPAINTED.
- SANITARY SEWER NOTES**
- SANITARY STRUCTURE SYMBOL LEGEND:
 S=SANITARY MANHOLE
- ALL SANITARY MANHOLES SHALL HAVE THE FOLLOWING FRAME & LID:
 1C: TYPE 1 (CLOSED), EAST JORDAN 105021

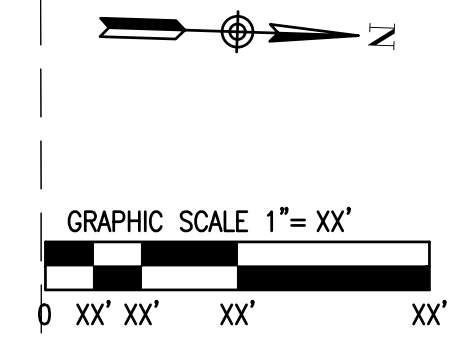
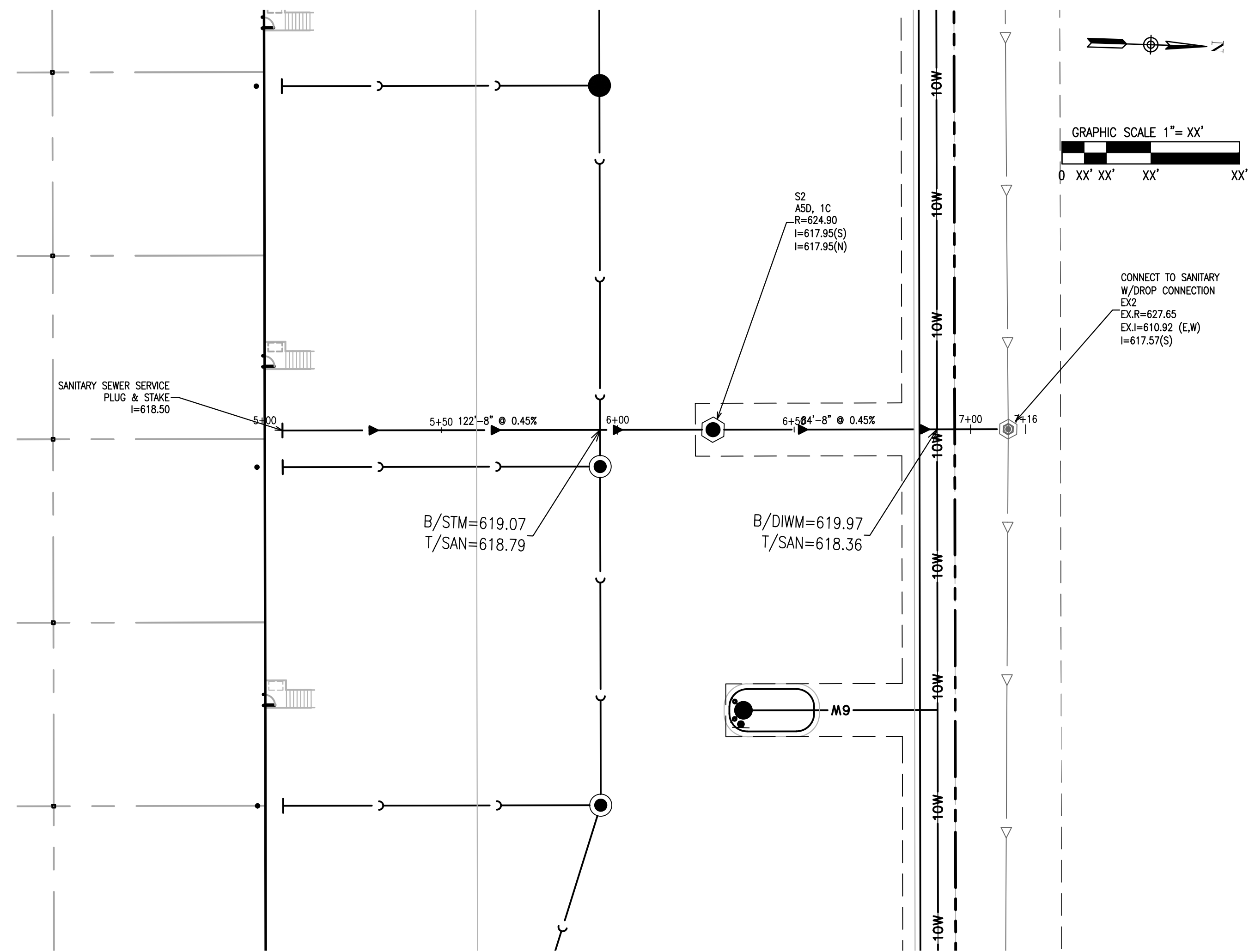
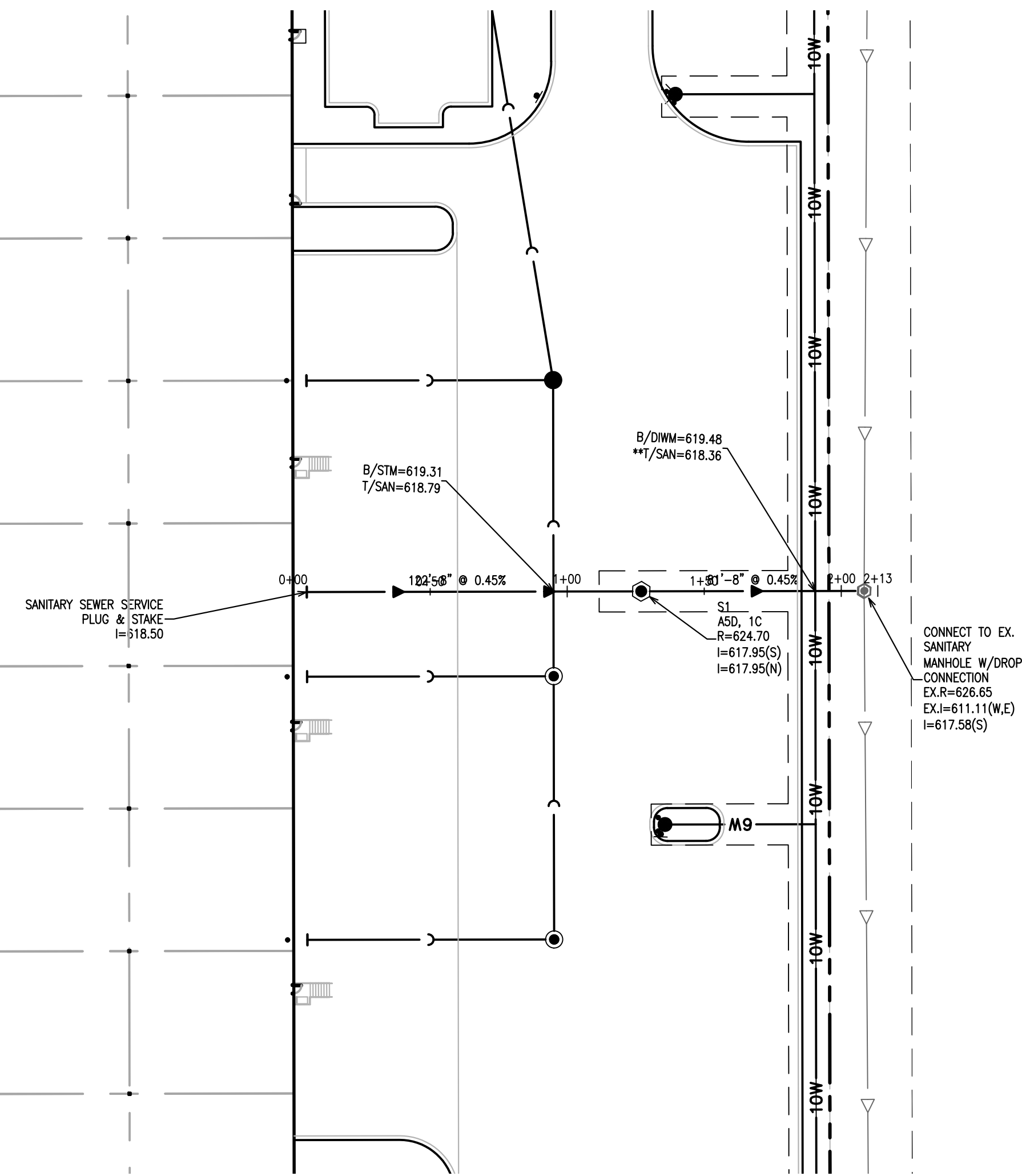
- 1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. SDR21 FOR 15' TO 20' DEEP SEWER AND SDR 18 FOR OVER 20' DEEP SEWER
 - 2) ALL MANHOLES SUBJECT TO INUNDATION SHALL HAVE WATERPROOF, BOLT-DOWN FRAMES AND LIDS.
- STORM SEWER NOTES**
- STORM STRUCTURE SYMBOL LEGEND:
 I=INLET
 CB=CATCH BASIN
 M=MANHOLE
 E=FLARED END SECTION WITH GRATE
- FRAME AND GRATE/LID SYMBOL LEGEND:
 1C: IDOT TYPE 1 (CLOSED), EIJIW 105021, EMBOSSED WITH "STORM" & "VILLAGE OF ROMEOVILLE"
 1P: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE D GRATE), EIJIW 105021 (TYPE M3 GRATE)

- 1PP: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE G GRATE), EIJIW 105021 (TYPE M1 GRATE)
 11P: IDOT TYPE 11, NEENAH R3281-A, EIJIW 7210
 3P: IDOT TYPE 3, NEENAH R3508-A2
 NEENAH 4349-B
- EXAMPLE:
 M36
 A40,1P
 MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)
- 1) ALL PRIVATE STORM SEWER SHALL BE HDPE AND SHALL MEET THE REQUIREMENTS IN THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. PINNACLE DRIVE STORM SEWER IS TO BE REINFORCED CONCRETE PIPE.
 - 2) ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE.
 - 3) RCP CAN BE USED AS AN ALTERNATIVE STORM SEWER FOR HDPE.

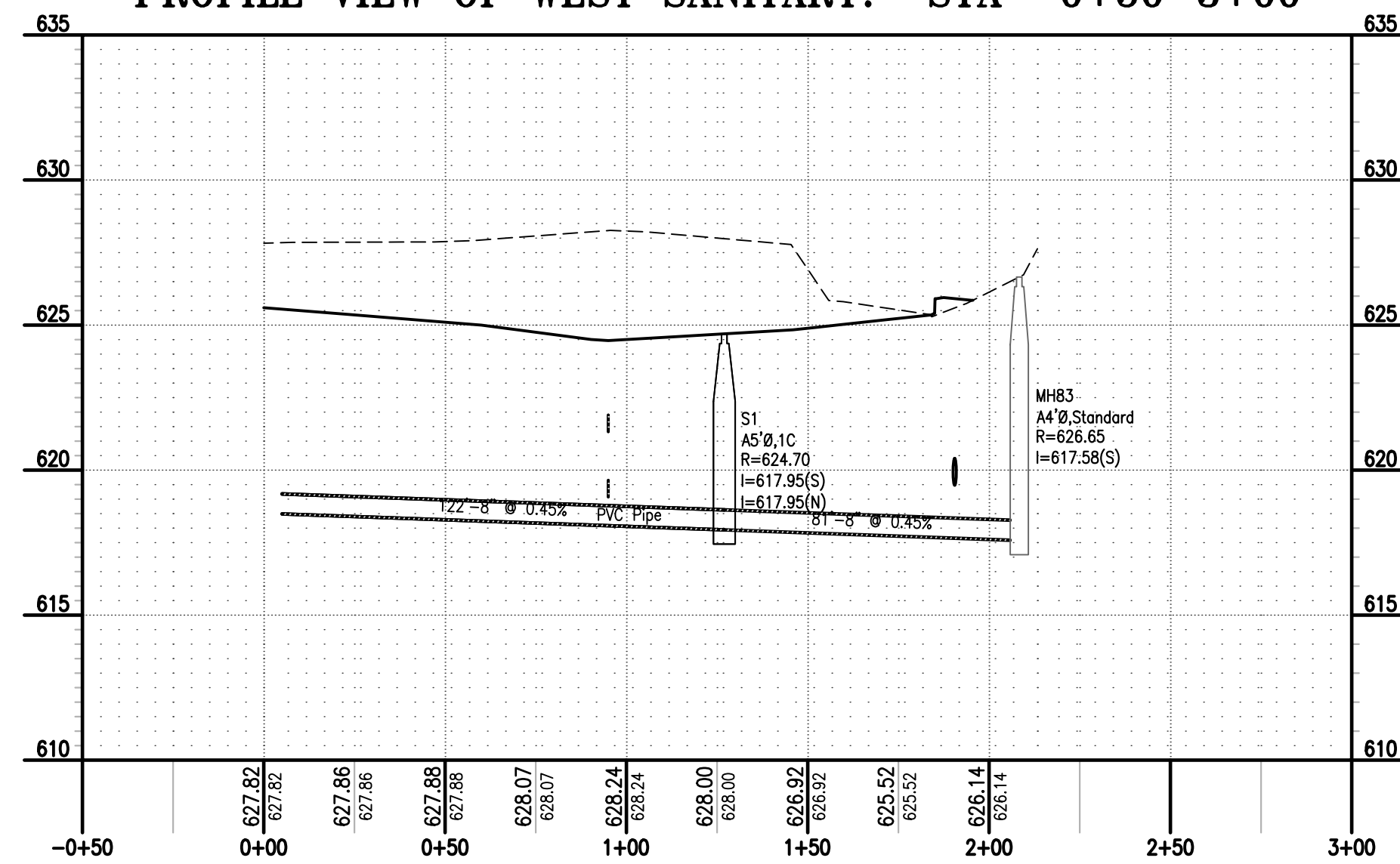
- * DENOTES WATERMAIN CROSSING UNDER SEWER - WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C15.
- ** SANITARY OR STORM SEWER CROSSING UNDER WATERMAIN - WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C15.

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| <p>JACOB & HEFNER ASSOCIATES</p> <p>1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com</p> | | <p>UTILITY PLAN</p> | |
| | | <p>SOUTHCREEK BUSINESS PARK - BUILDING</p> | |
| <p>PALENCIA PROPERTIES LLC</p> | | <p>7/26/22</p> | |
| <p>ROMEORVILLE, ILLINOIS</p> | | <p>5/17/22</p> | |
| <p>Date</p> | | <p>4/26/22</p> | |
| <p>Description</p> | | <p>No.</p> | |
| <p>3 VILLAGE COMMENTS</p> | | <p>2 CLIENT REVISIONS</p> | |
| <p>1 FOR REVIEW</p> | | <p>1 FOR REVIEW</p> | |

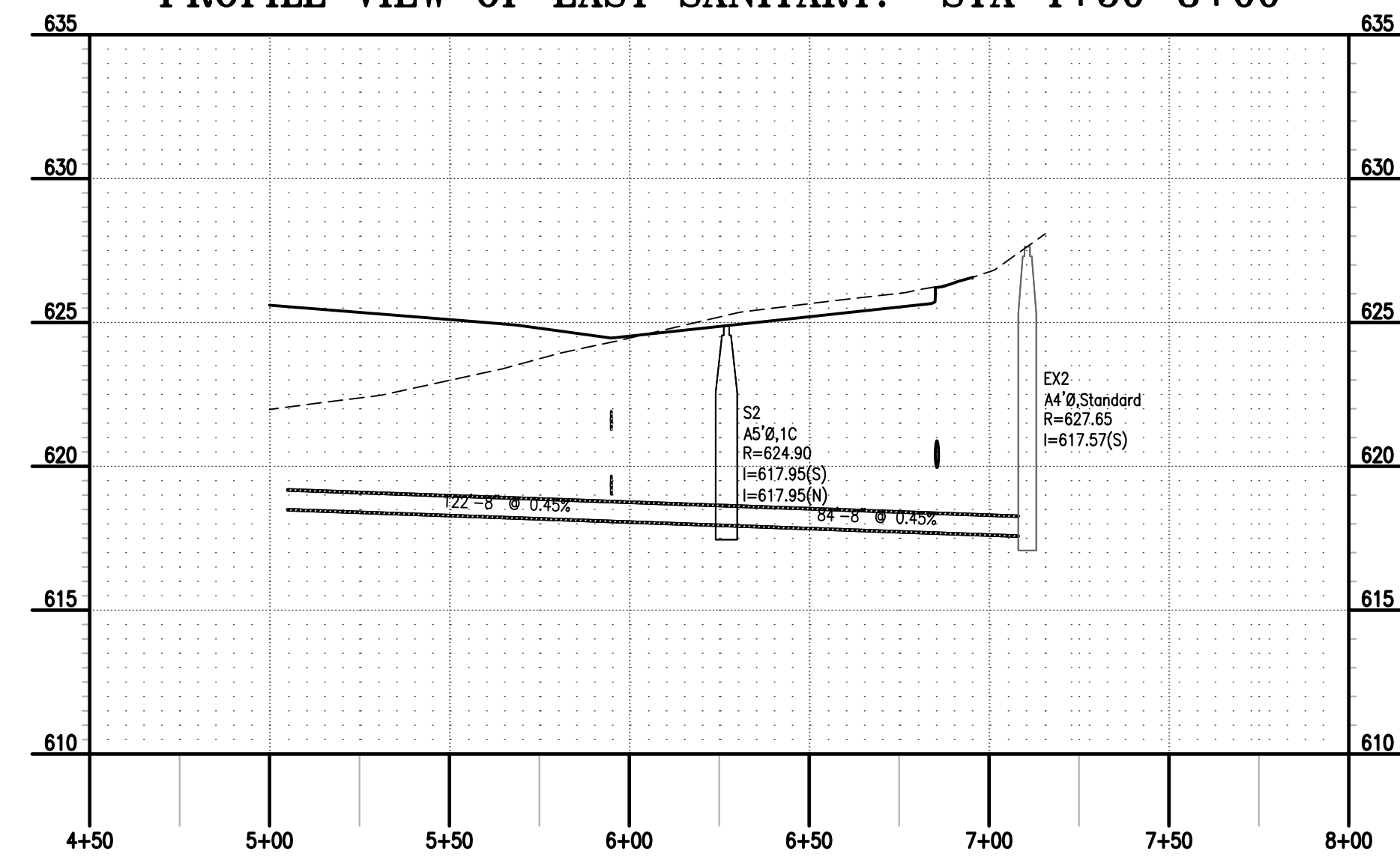
D190aj
 1" = 50'
 C8



PROFILE VIEW OF WEST SANITARY: STA -0+50-3+00



PROFILE VIEW OF EAST SANITARY: STA 4+50-8+00



GENERAL UTILITY NOTES

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SANITARY SEWER NOTES

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 1C: TYPE 1 (CLOSED), EAST JORDAN 1050Z1

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 MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)

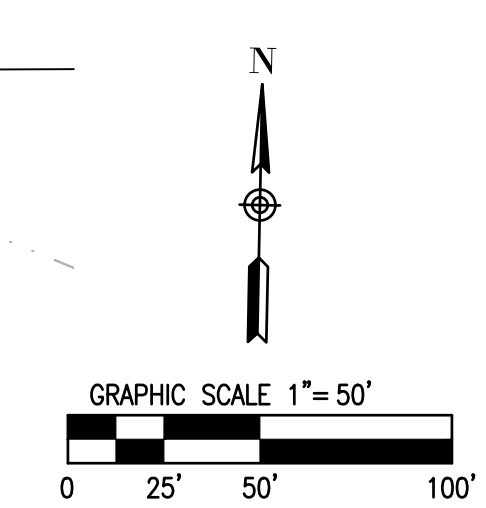
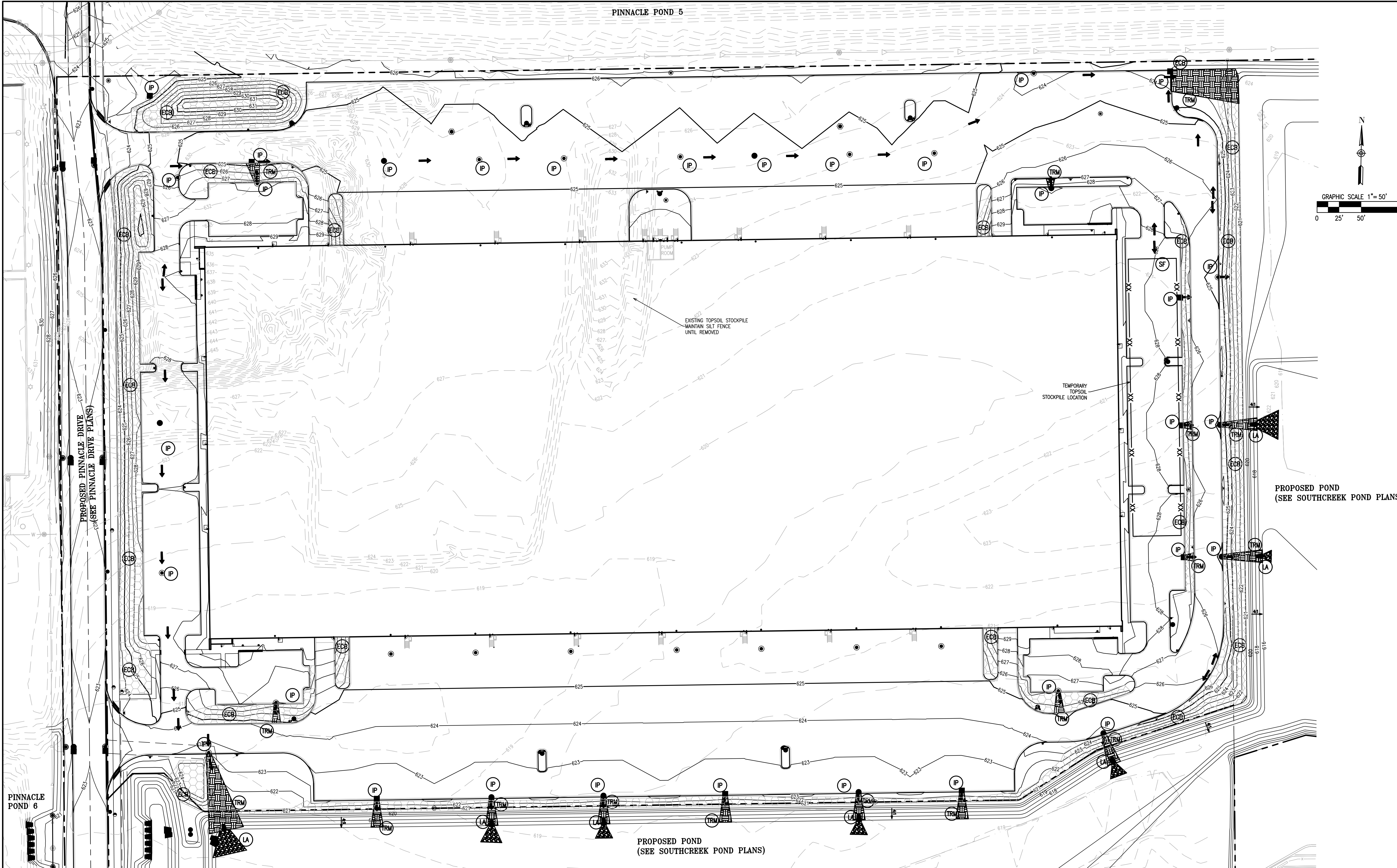
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- * DENOTES WATERMAIN CROSSING UNDER SEWER - WATERMAIN PROTECTION IS REQUIRED FOR 10 FEET ON EITHER SIDE OF THE CROSSING. SEE DETAIL ON SHEET C15.

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| No. | Description | Date |
|-----|------------------|---------|
| 3 | VILLAGE COMMENTS | 7/26/22 |
| 2 | CLIENT REVISIONS | 5/11/22 |
| 1 | FOR REVIEW | 4/26/22 |



PROPOSED POND
(SEE SOUTHCREEK POND PLANS)

PROPOSED POND
(SEE SOUTHCREEK POND PLANS)

EXISTING TOPSOIL STOCKPILE
- MAINTAIN SILT FENCE
UNTIL REMOVED

TEMPORARY
TOPSOIL
STOCKPILE LOCATION

EROSION CONTROL LEGEND

- (SF) SILT FENCE
- (ECB) EROSION CONTROL BLANKET W/SEEDING
- (IP) INLET PROTECTION
- (CW) CONCRETE WASHOUT
- (SE) STABILIZED CONSTRUCTION ENTRANCE - SEE PINNACLE DRIVE PLANS
- (LA) LINED APRON (SEE DETAIL SHEET C11)
- (TRM) TURF REINFORCEMENT MAT

EROSION CONTROL NOTES

- 1) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 2) SUBCONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
- 3) SUBCONTRACTOR RESPONSIBLE FOR DUST CONTROL.
- 4) SUBCONTRACTOR RESPONSIBLE FOR MAINTAINING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
- 5) OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
- 6) ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
- 7) ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
- 8) MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
- 9) ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
- 10) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
- 11) IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
- 12) IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.
- 13) DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
- 14) ALL GREEN AREAS SHALL BE DRESSED WITH A MINIMUM OF 12" OF TOPSOIL AND PERMANENT SEEDING.

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| <p>EROSION CONTROL PLAN</p> <p>SOUTHCREEK BUSINESS PARK - BUILDING</p> <p>PALENCIA PROPERTIES LLC</p> <p>ROMEDEVILLE, ILLINOIS</p> | | 3 VILLAGE COMMENTS | 7/26/22 |
| | | 2 CLIENT REVISIONS | 5/17/22 |
| <p>JACOB & HEFNER ASSOCIATES</p> <p>1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515</p> <p>PHONE: (630) 652-4600; FAX: (630) 652-4601</p> <p>www.jacobandhefner.com</p> | | 1 FOR REVIEW | 4/26/22 |
| <p>D190aj</p> <p>1" = 50'</p> <p>C9</p> | | No. | Description |

Table with 6 columns: CONTROL MEASURE GROUP, CONTROL MEASURE, APPL, KEY, CONTROL MEASURE CHARACTERISTICS, TEMP, PERMIT, MAINTENANCE FREQUENCY. Rows include VEGETATIVE SOIL COVER, NON VEGETATIVE SOIL COVER, DIVERSIONS, WATERWAYS, ENCLOSED DRAINAGE, SPILLWAYS, OUTLETS, SEDIMENT BASINS, SEDIMENT FILTERS, MUD AND DUST CONTROL, EROSION CONTROL, and SEDIMENT CONTROL.

NOTES: This plan has been prepared to comply with the provisions of the NPDES Permit Number ILR10B569, issued by the Illinois Environmental Protection Agency for Stormwater Discharges from Construction Site Activities and Soil Erosion and Sediment Control Ordinance for the County. 1. Site Description. a. The following is a description of the construction activity following mass grading which is the subject of this plan...

4. Inspections The Owner, or Owner's representative shall provide qualified personnel to inspect disturbed areas of the construction site which have not been finally stabilized, structural control measures, and location where vehicles enter or exit the site. 5. Non-Stormwater Discharge Except for flows from fire fighting activities, sources of non-stormwater that may be combined with stormwater discharges associated with the residential activity addressed in this plan, are described below:

CONSTRUCTION SCHEDULE Gantt chart showing project phases from JUL-22 to JUL-23. Phases include EROSION CONTROL, MASS GRADING, UTILITIES, PAVING, and SITE STABILIZATION.

NPDES CERTIFICATE This certification statement is a part of the Storm Water Pollution Prevention Plan for the project described below, in accordance with NPDES Permit No. ILR10B569, issued by the Environmental Protection Agency on 7/31/10. PROJECT TITLE: SOUTHCREEK - BUILDING PLANS

CONTRACTOR/SUBCONTRACTOR CERTIFICATION STATEMENT Name: Signature: Signature: Date: Date:

VILLAGE NOTES: 1) THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. 2) ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH 'DUMP NO WASTE' AND 'DRAINS TO CREEK'.

Table with 2 columns: DESCRIPTION, and dates from JUL-22 to JUL-23. Rows include EROSION CONTROL, MASS GRADING, UTILITIES, PAVING, and SITE STABILIZATION.

NPDES CERTIFICATE (continued) DEVELOPER: PALENCIA PROPERTIES PROJECT LOCATION: ROMEVILLE, ILLINOIS CITY/VILLAGE: ROMEVILLE COUNTY: WILL COUNTY STATE: ILLINOIS

RIP-RAP DIMENSION TABLE Table with 10 columns: STRUCTURE NUMBER/POND, INLET PIPE SIZE, DISCHARGE Q (GFS), LENGTH OF RIP-RAP C (IN), MEDIAN RIP-RAP SIZE C (IN), WIDTH OF APRON U/S FACE Sd (FT), WIDTH OF APRON D/S FACE Sd+Ld (FT), DEPTH OF RIP-RAP Y (IN), AREA OF RIP-RAP (SQ.YDS.), VOLUME OF RIP-RAP (CU.YDS.)

SEEDING CHART Table with 12 columns (JAN-DEC) and 6 rows (PERMANENT SEEDING, DORMANT SEEDING, TEMPORARY SEEDING, SODDING, MULCHING). Shows seeding schedules for different types.

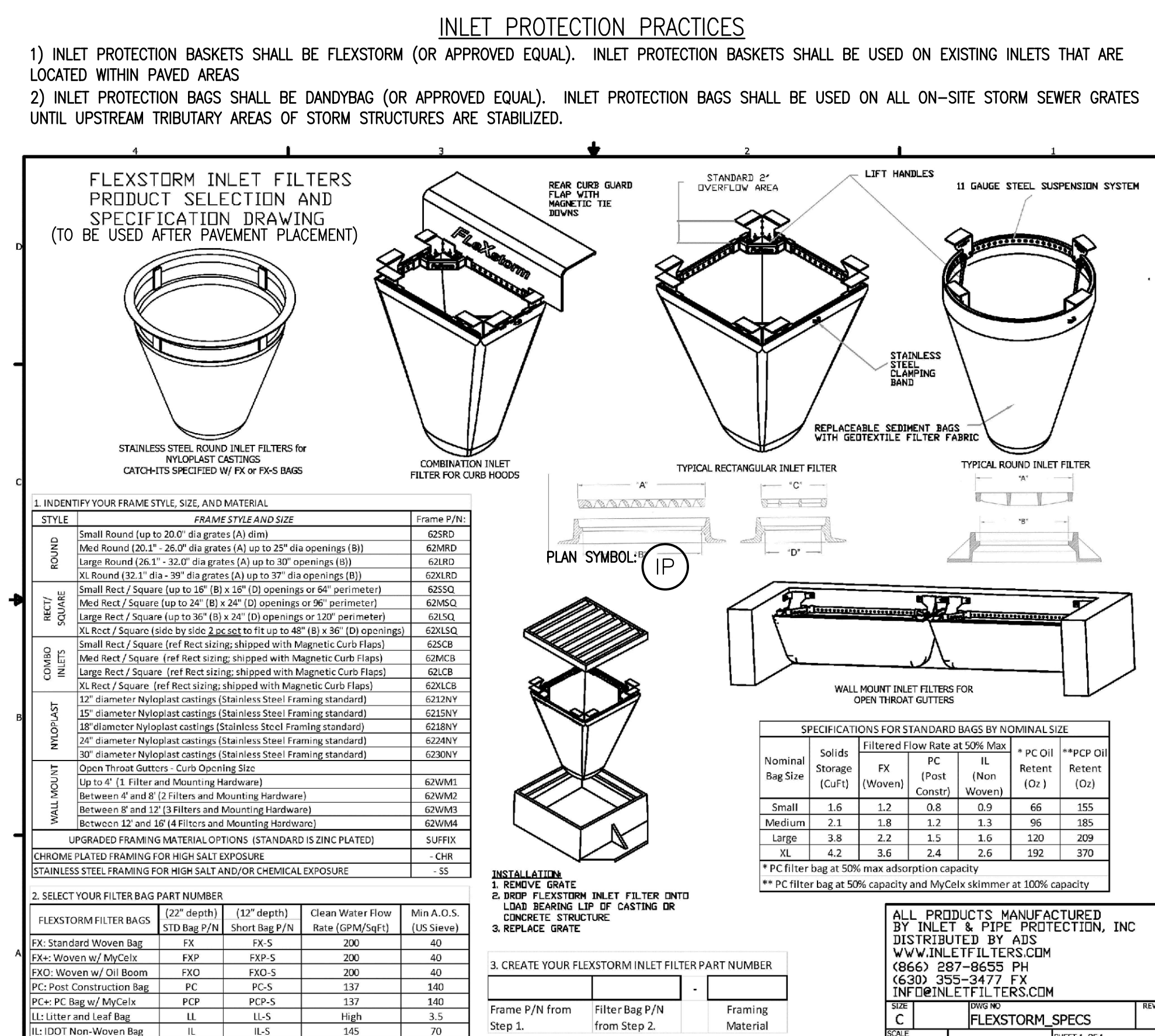
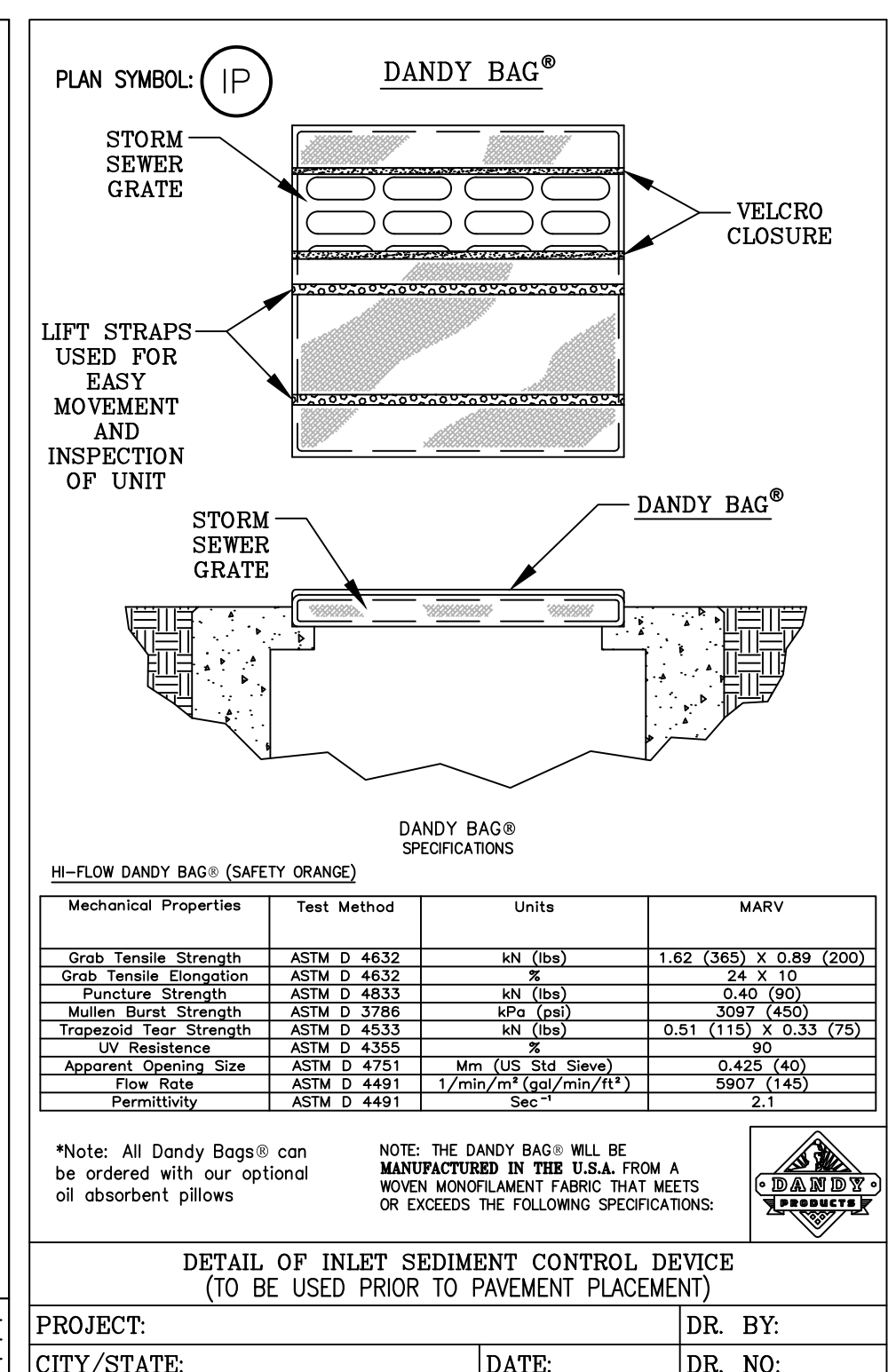
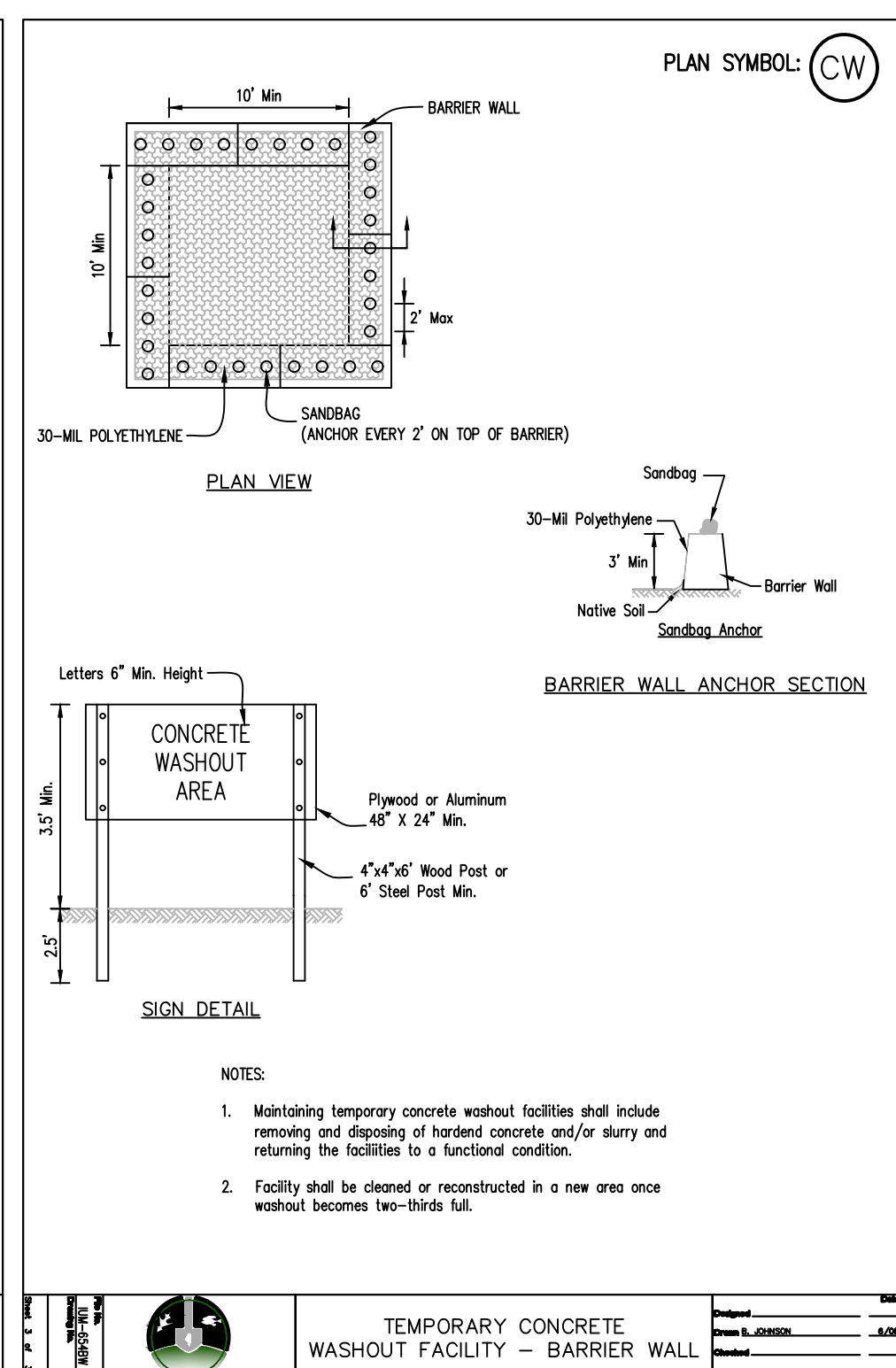
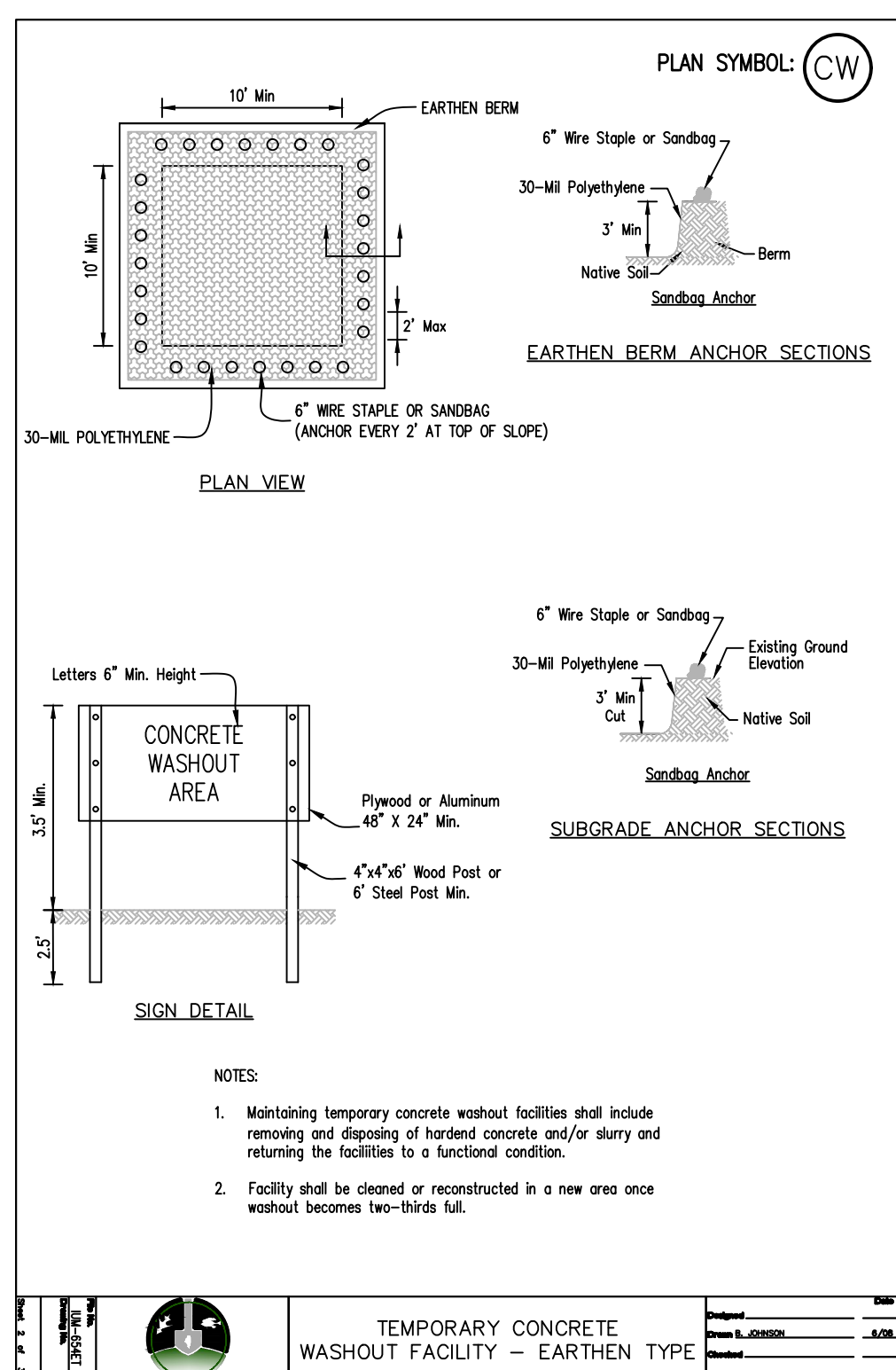
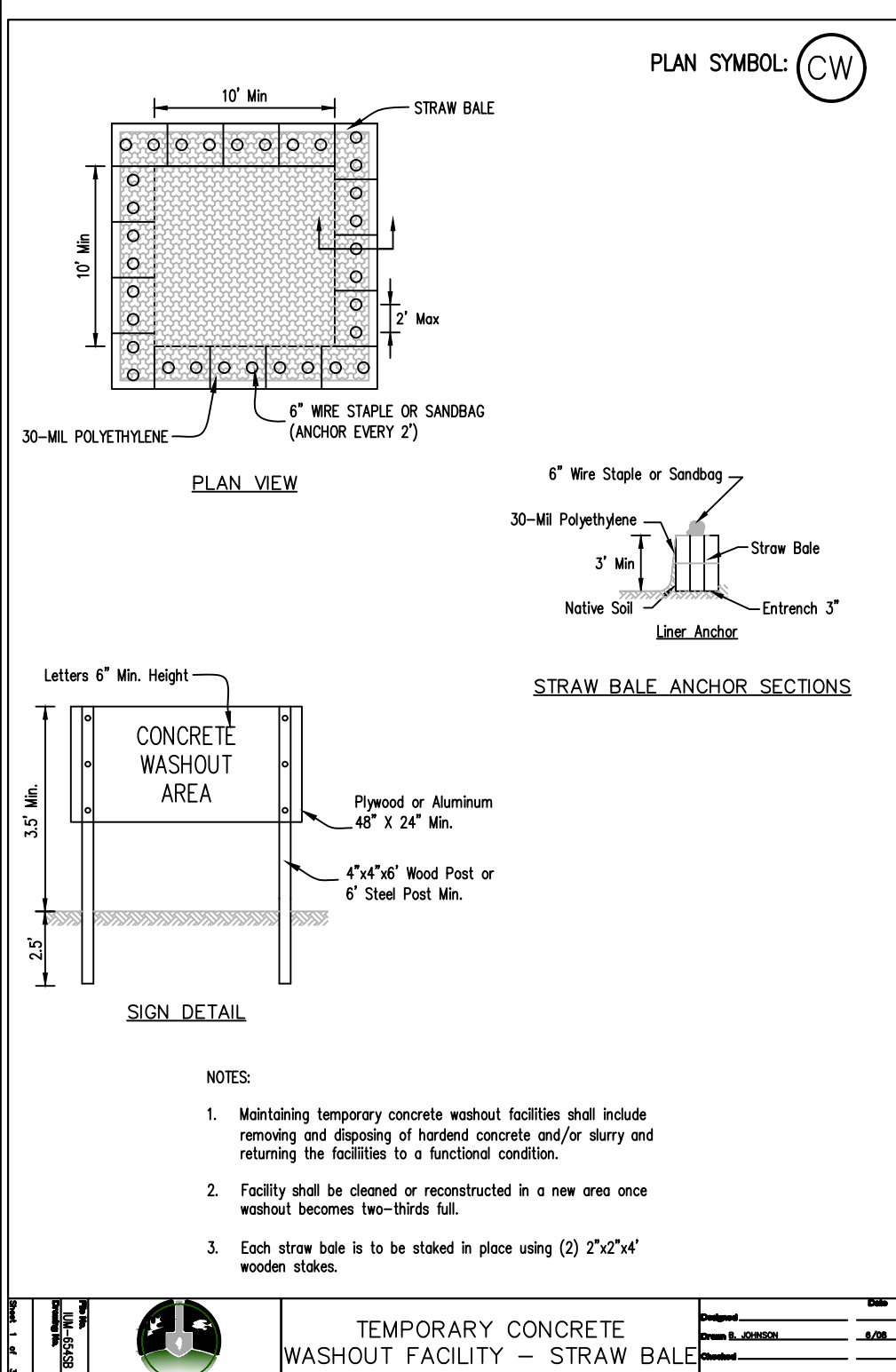
- A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE. C SPRING OATS 100 LBS/ACRE. D WHEAT OR CEREAL RYE 150 LBS/ACRE. E SOD. F STRAW MULCH 2 TONS/ACRE.

OBSERVATION & MAINTENANCE SCHEDULE Table with 3 columns: ACTIVITY, RESPONSIBLE PARTY, DURATION. Rows include STABILIZATION DURING CONSTRUCTION-MAINTENANCE, STABILIZATION DURING CONSTRUCTION-OBSERVATION, VEGETATION MAINTENANCE, and VEGETATION STABILIZATION MAINTENANCE.

Maintenance The following is a description of procedures that will be used to maintain, in good and effective operating conditions, vegetation, erosion and sediment control measures and other protective measures identified in this plan and Standard Specifications. Stabilized construction entrance: The entrance shall be maintained to prevent tracking of sediment onto public streets.

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STORMWATER POLLUTION PREVENTION PLAN SOUTHCREEK BUSINESS PARK - BUILDING PALENCIA PROPERTIES LLC ROMEVILLE, ILLINOIS JACOB & HEFNER ASSOCIATES 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com D190aj N.T.S. C10



TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE

NOTES:

- Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
- Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.
- Each straw bale to be stacked in place using (2) 2"x4"x6" wooden stakes.

TEMPORARY CONCRETE WASHOUT FACILITY - EARTHEN TYPE

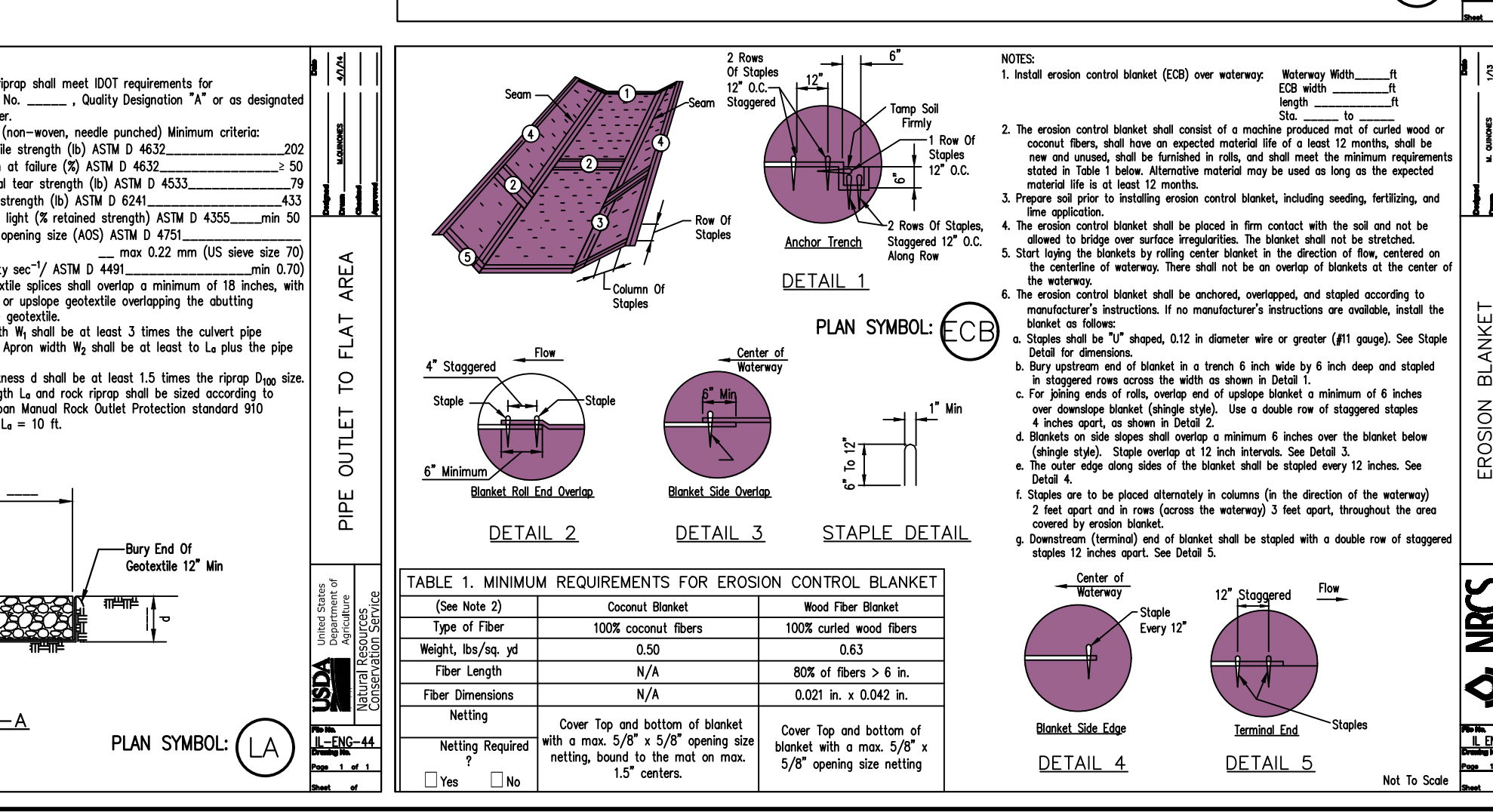
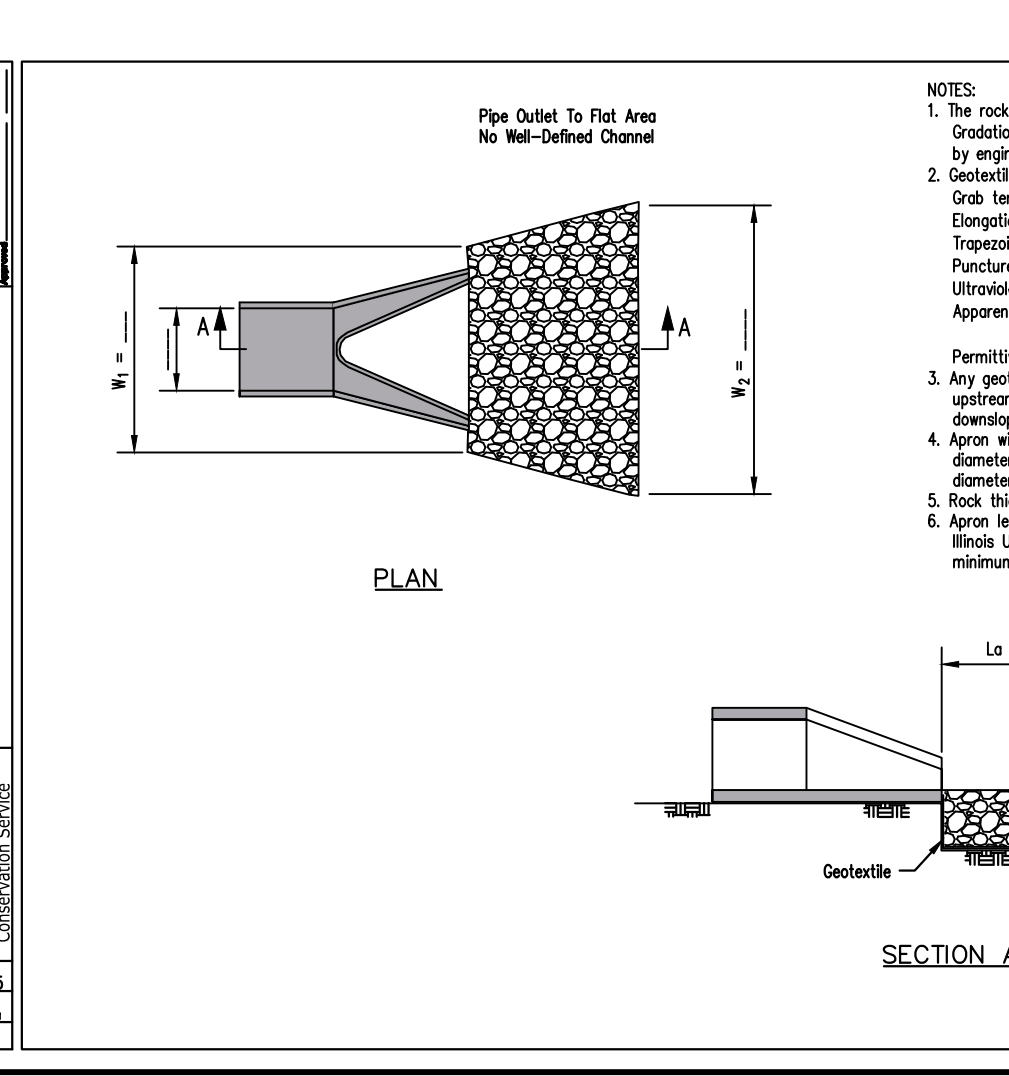
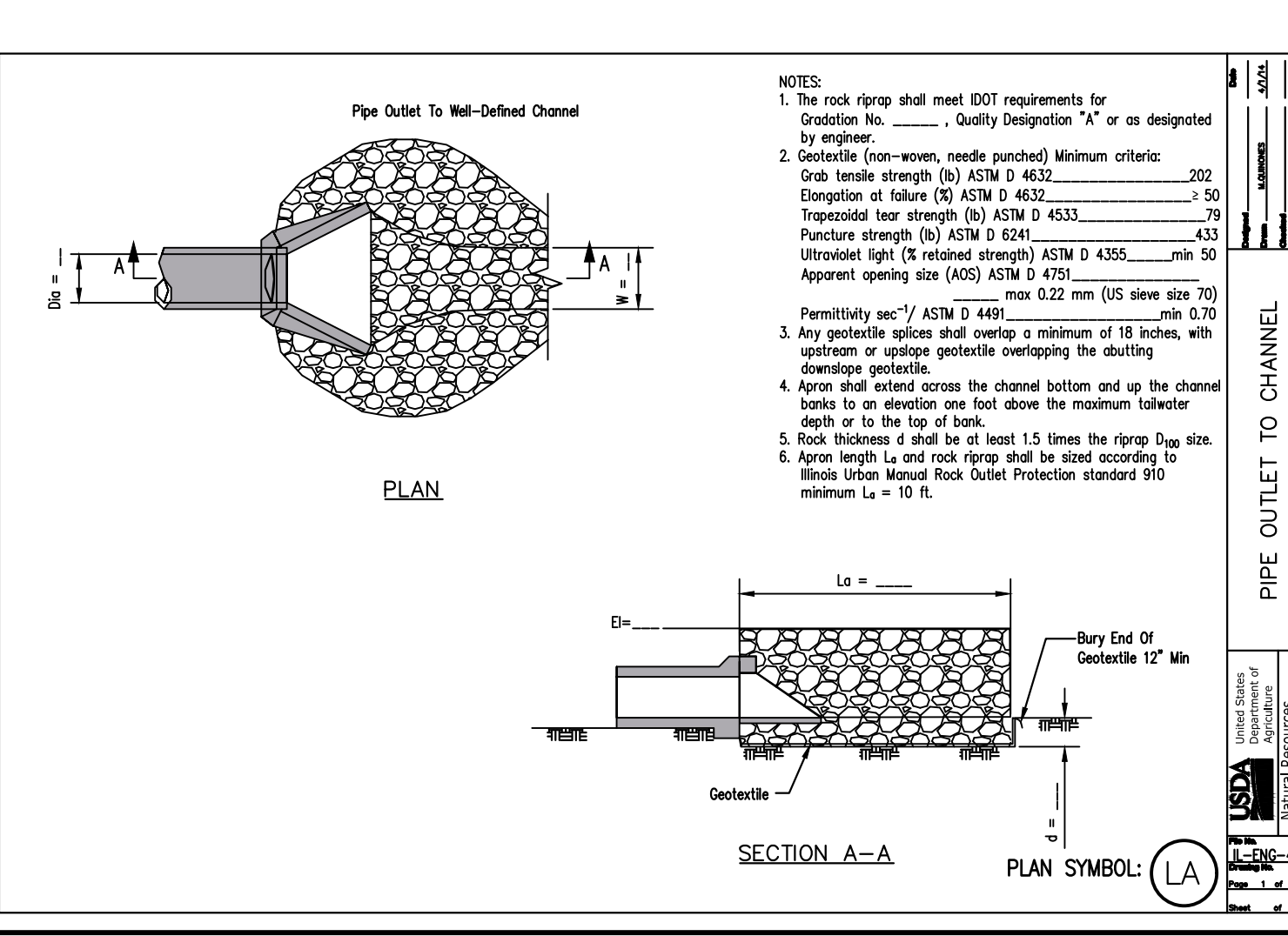
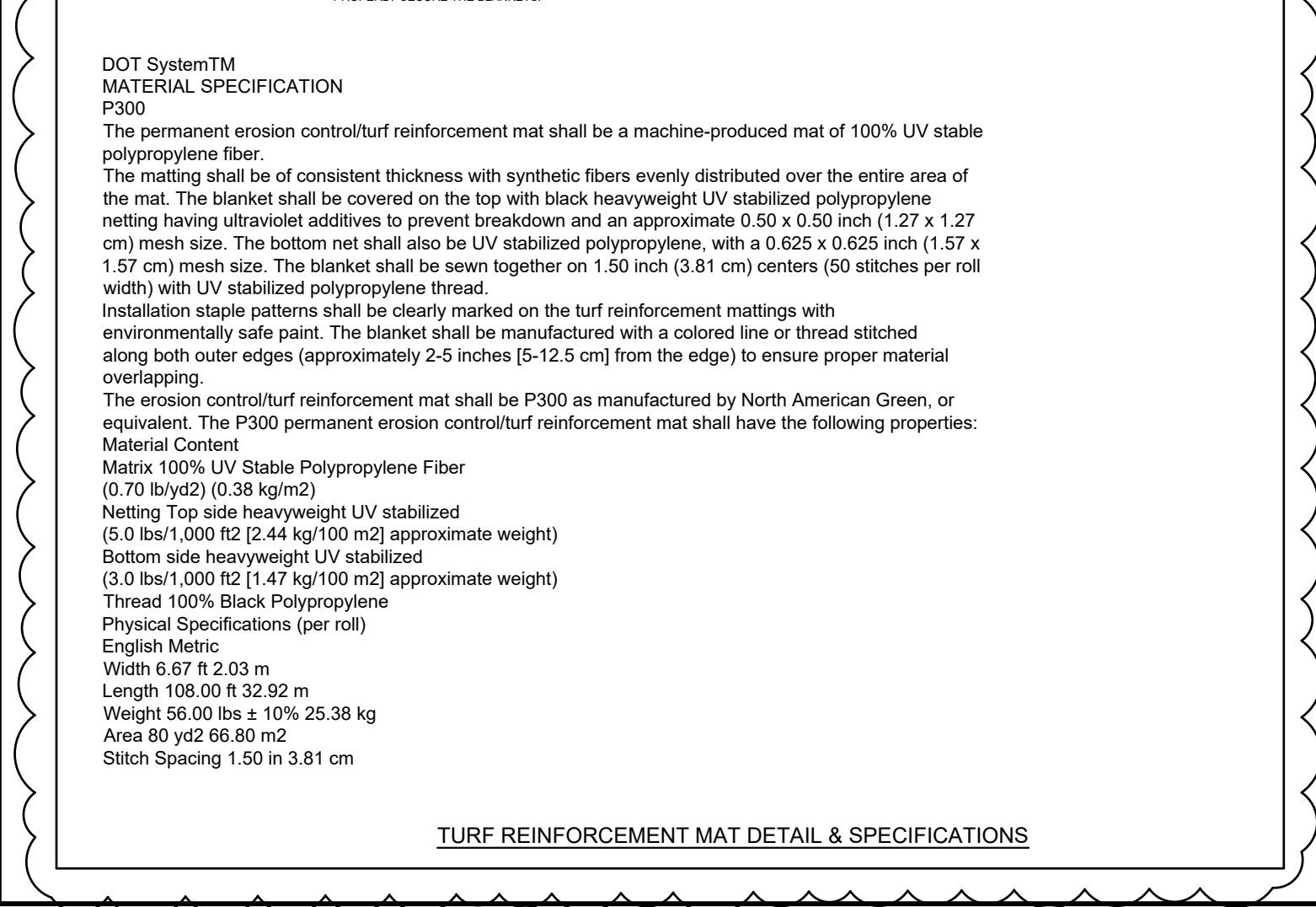
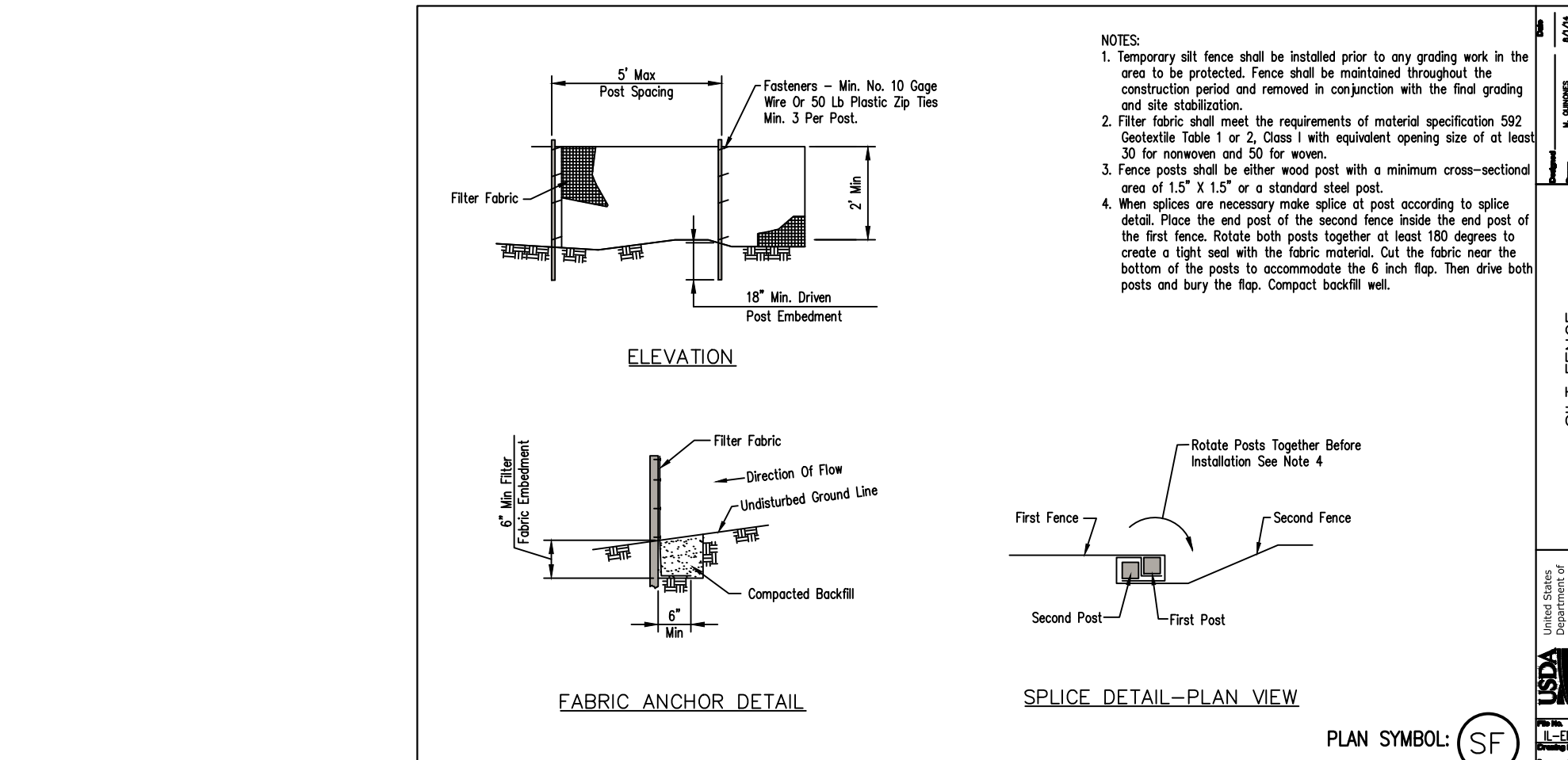
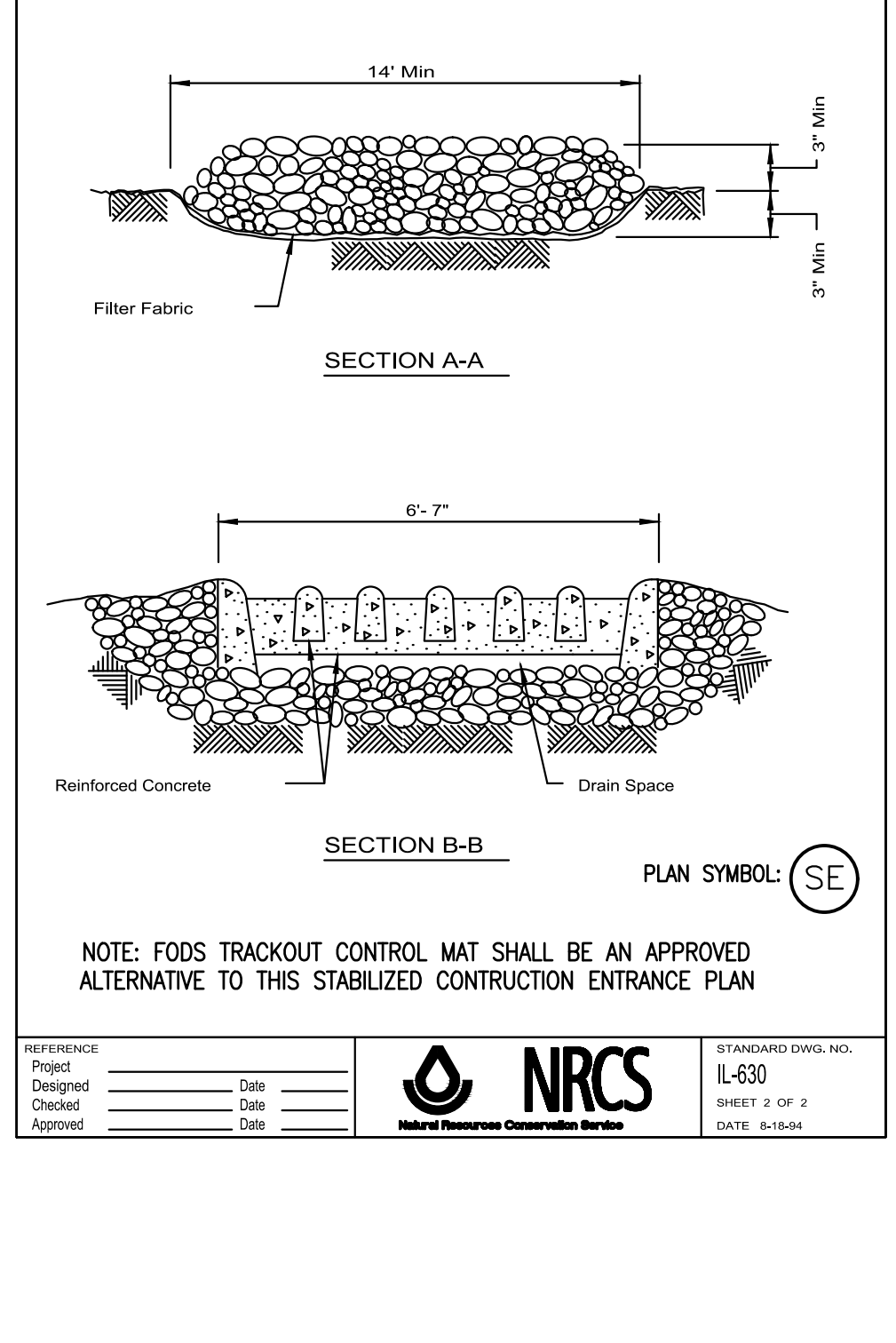
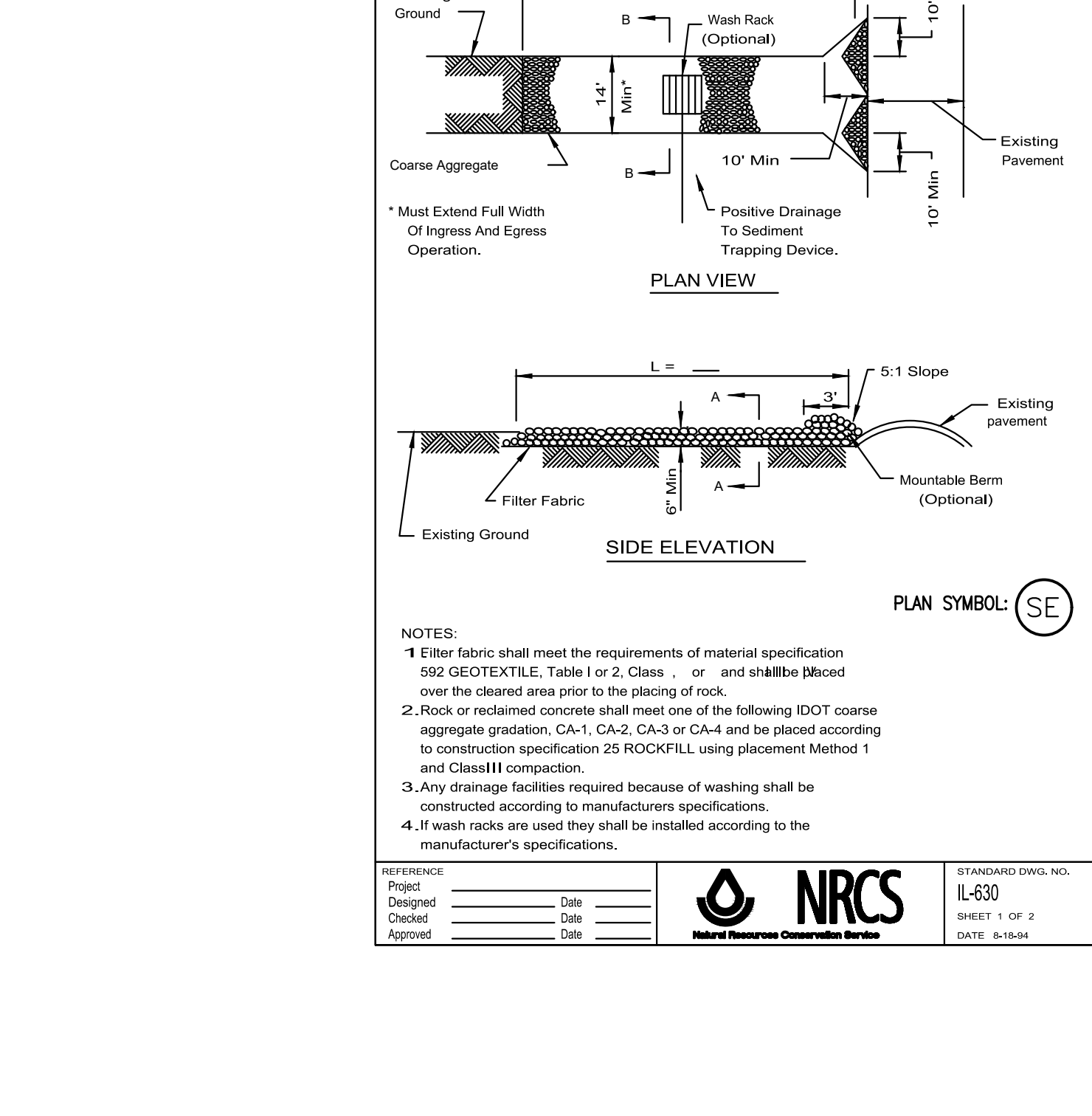
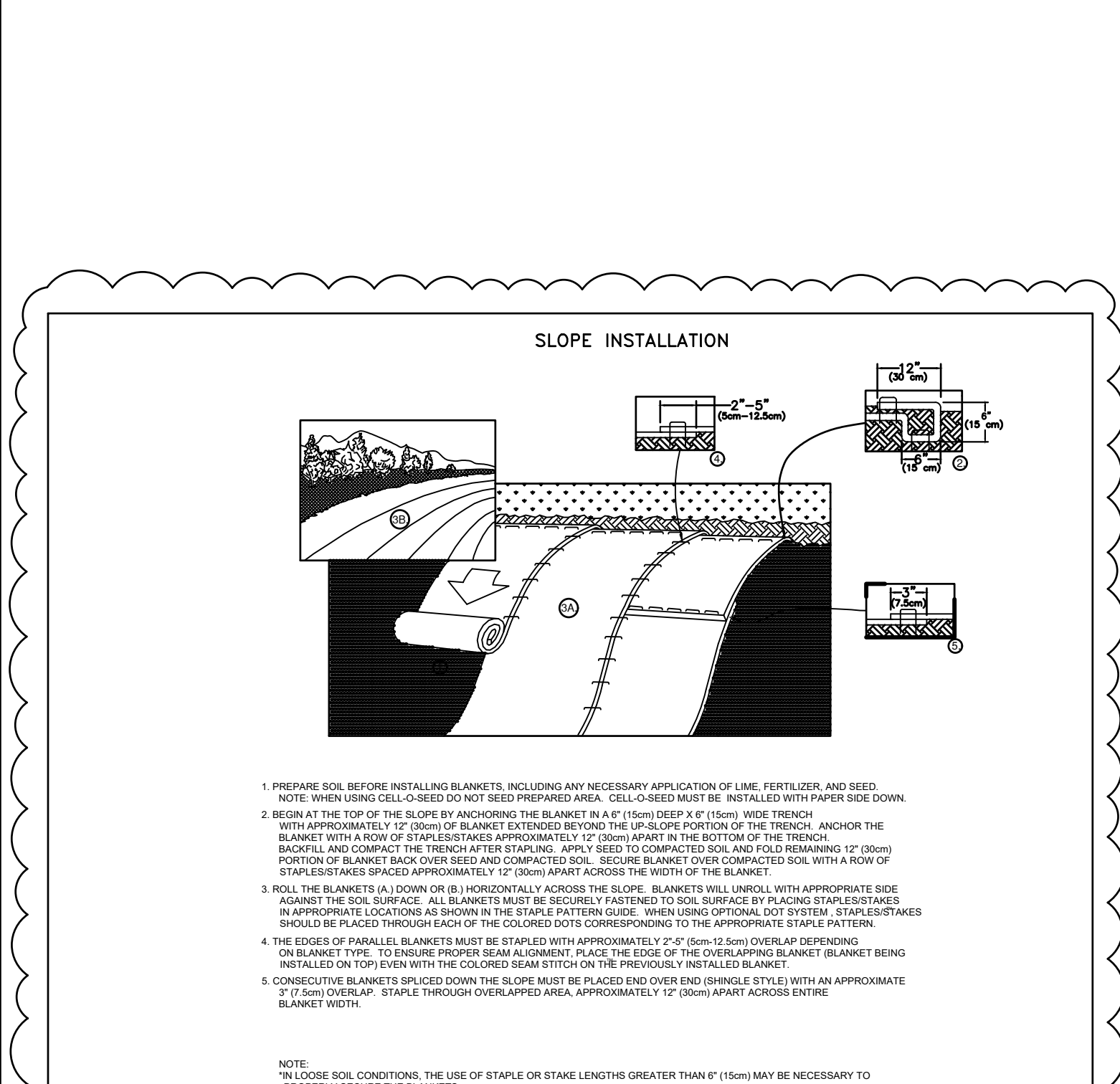
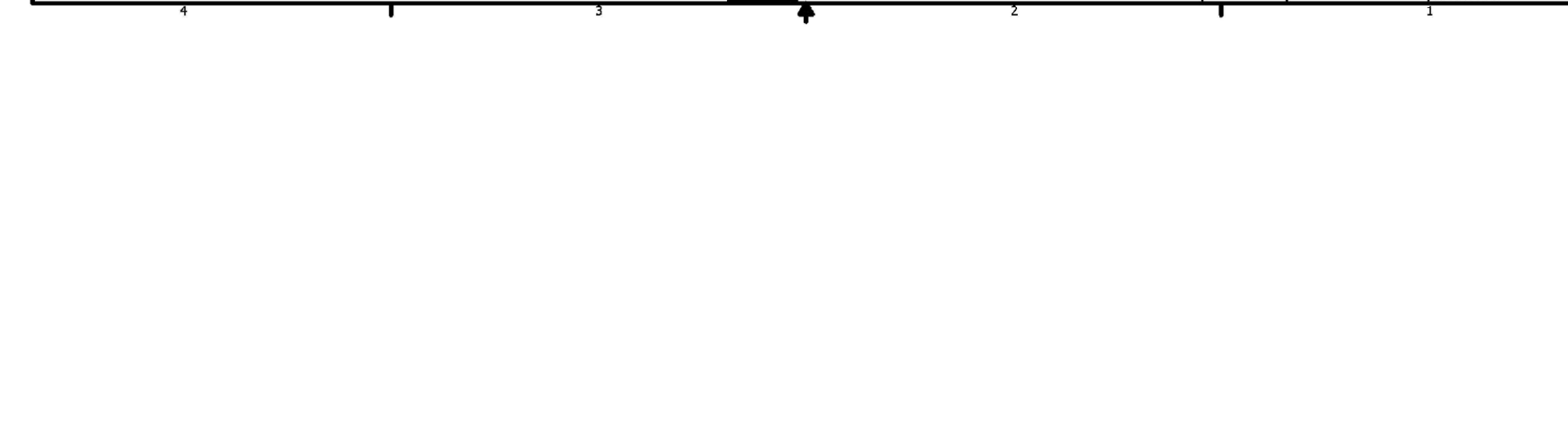
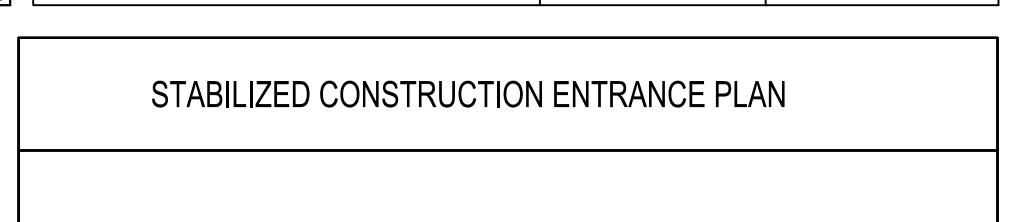
NOTES:

- Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
- Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.

TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL

NOTES:

- Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
- Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.

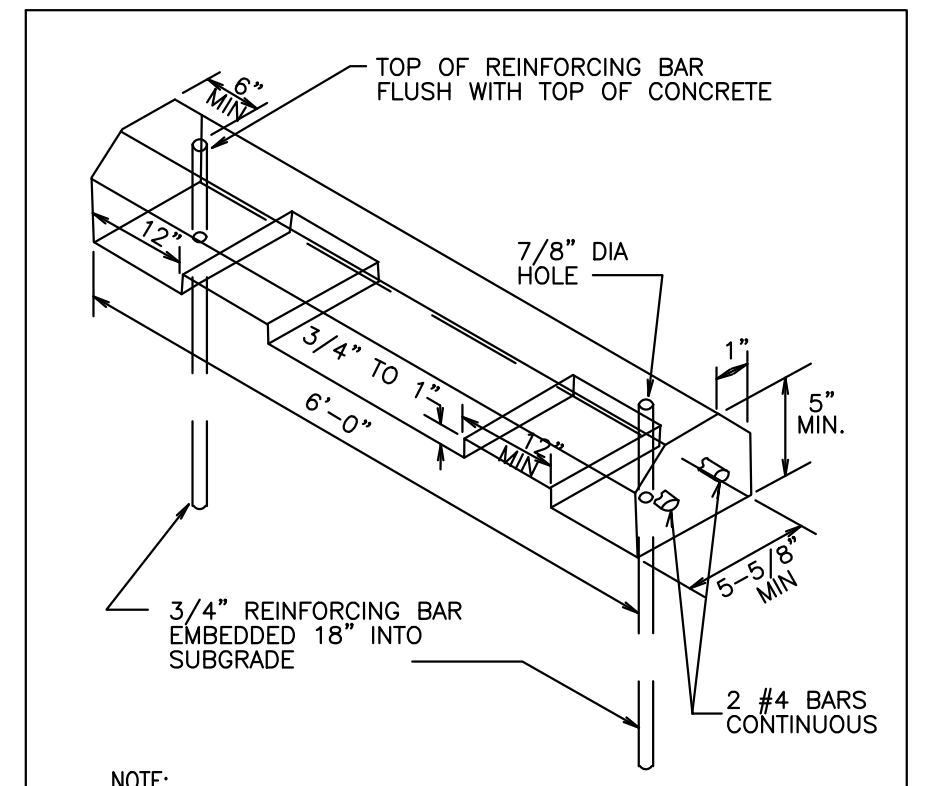
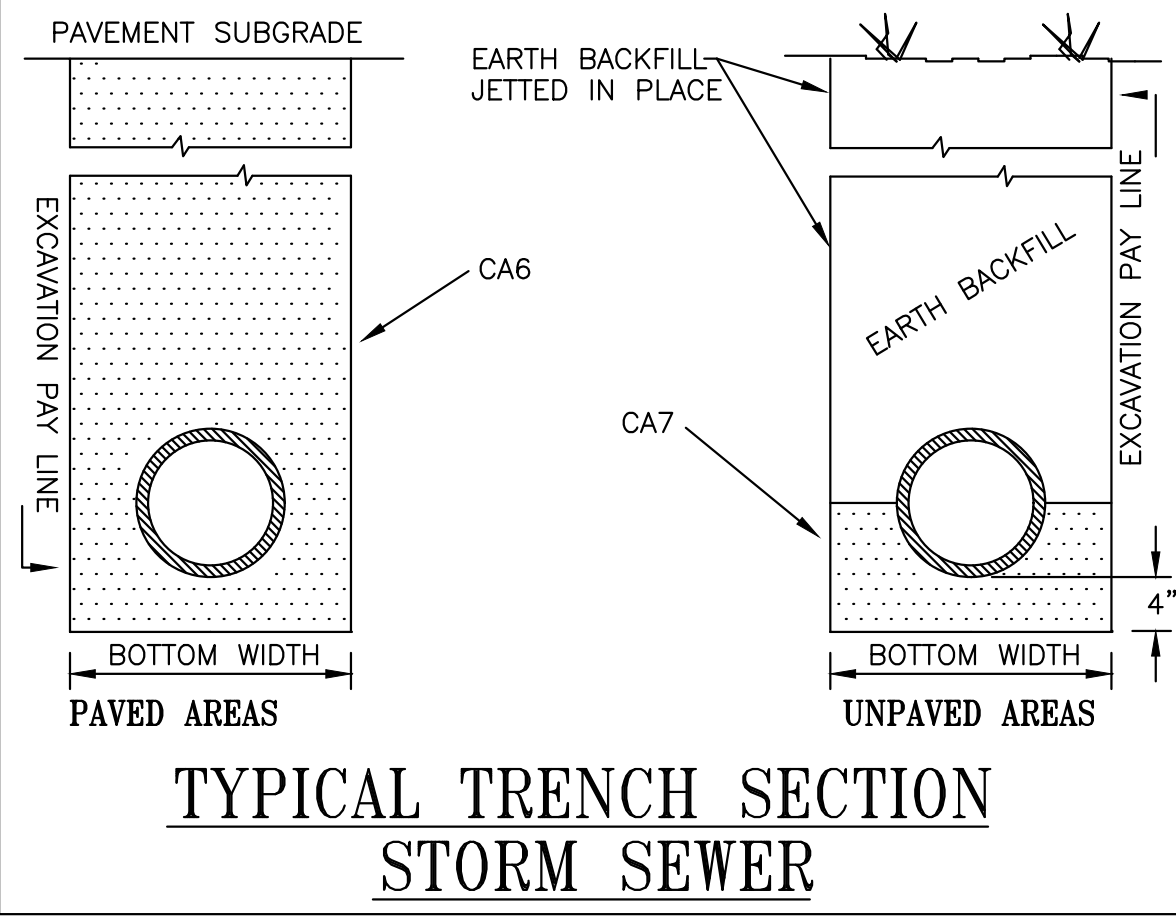


| No. | Description | 7/26/22 | 5/17/22 | Date |
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| 3 | VILLAGE COMMENTS | | | |
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| 1 | FOR REVIEW | | | |

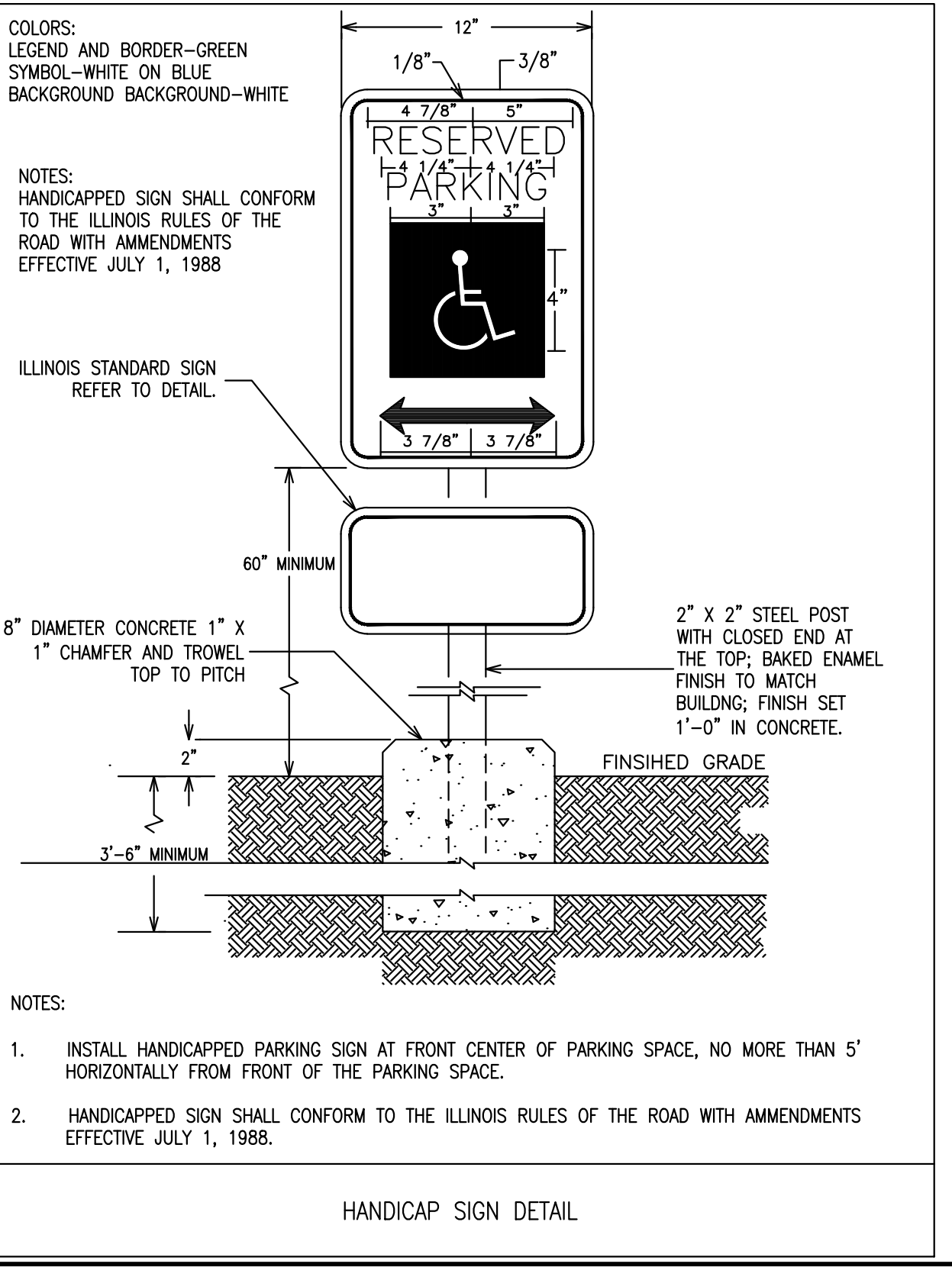
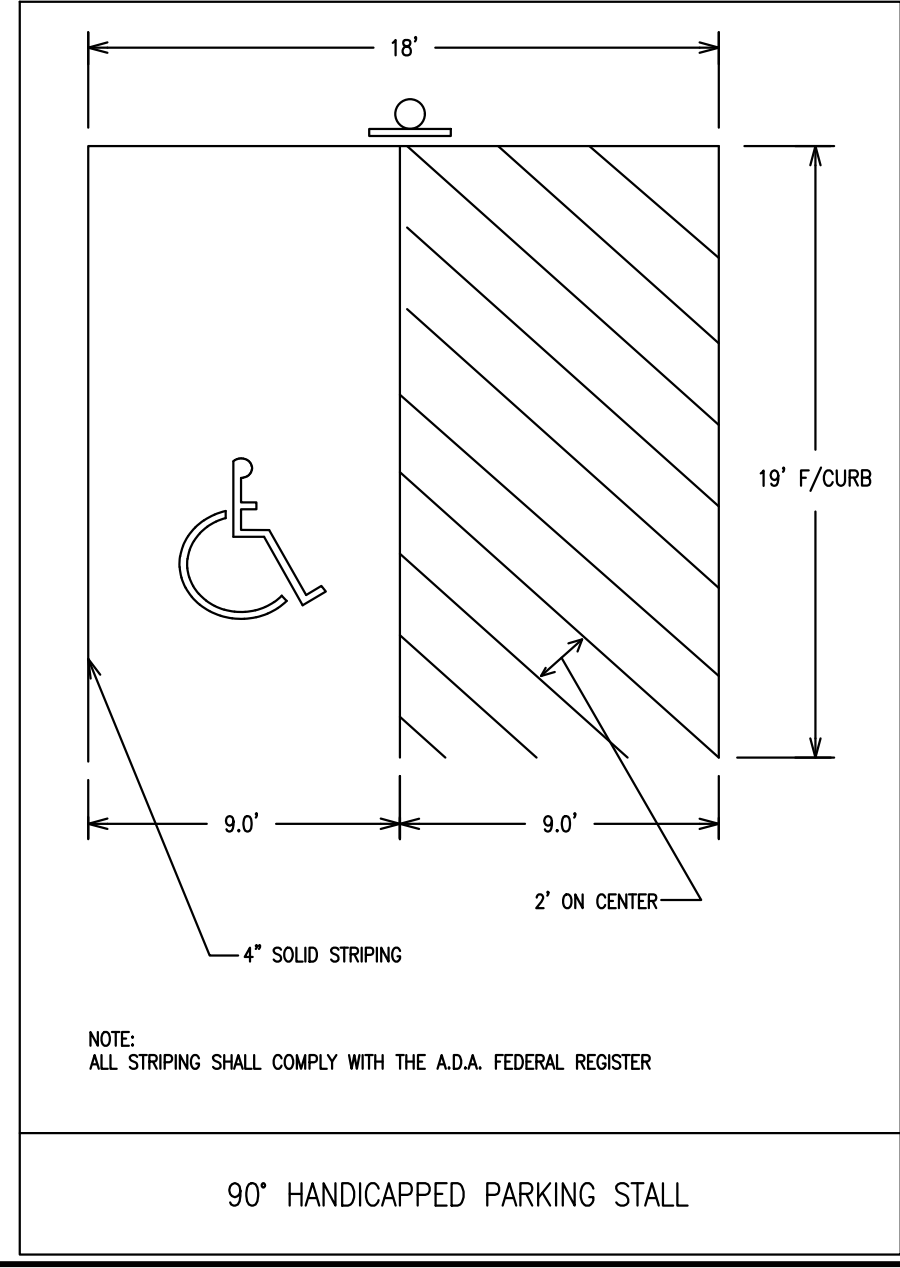
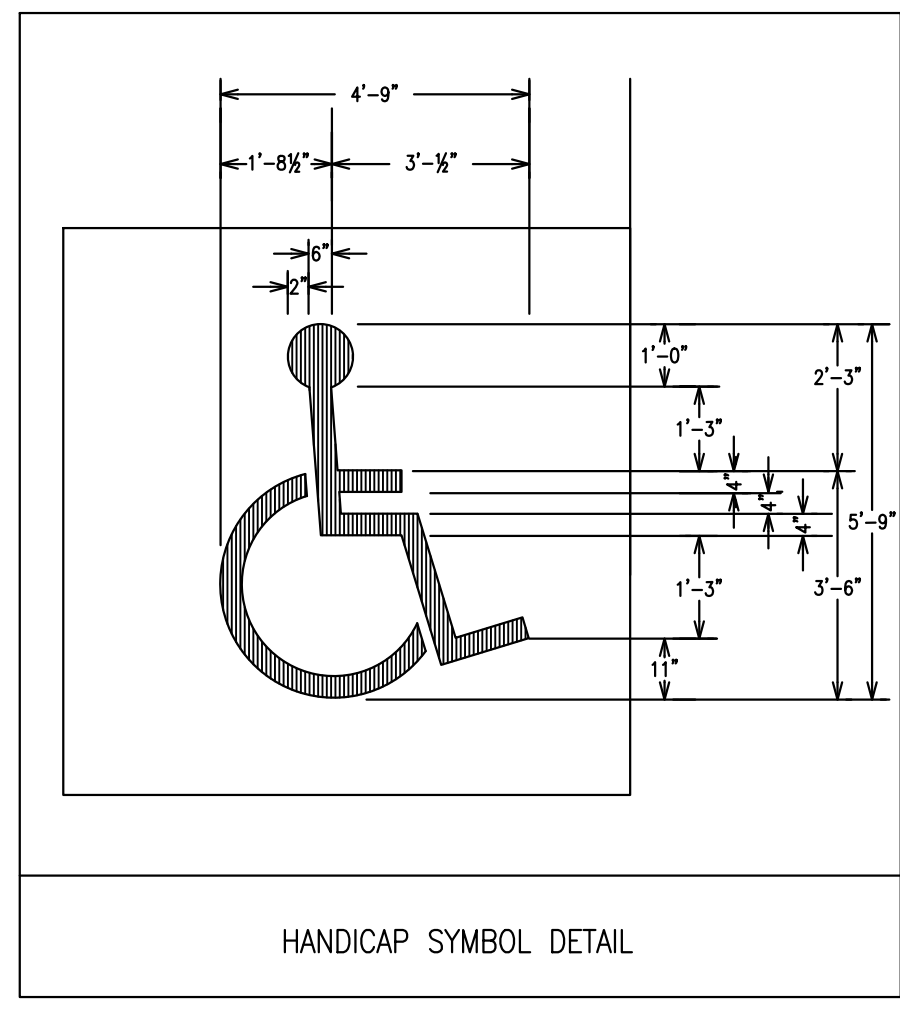
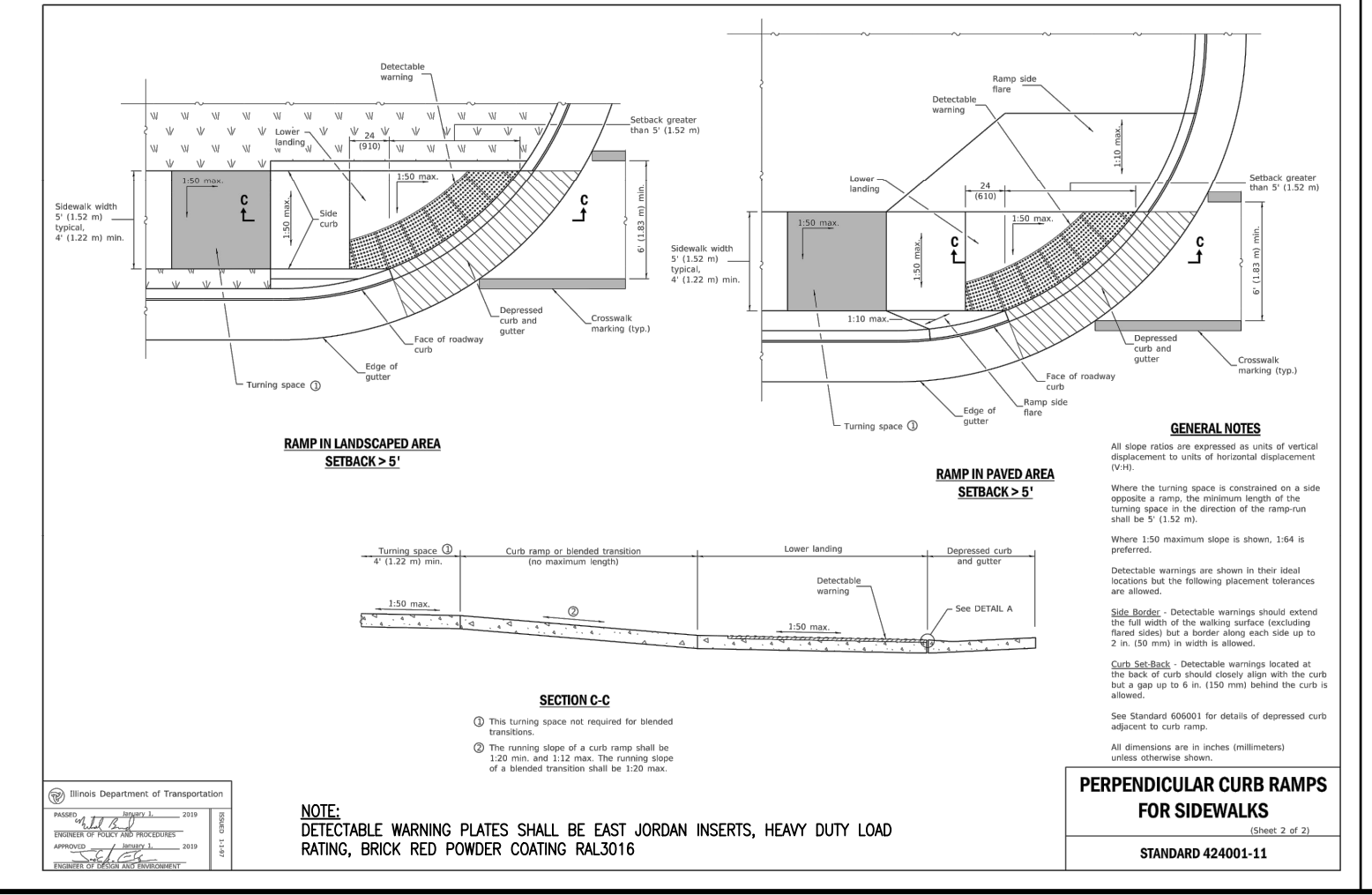
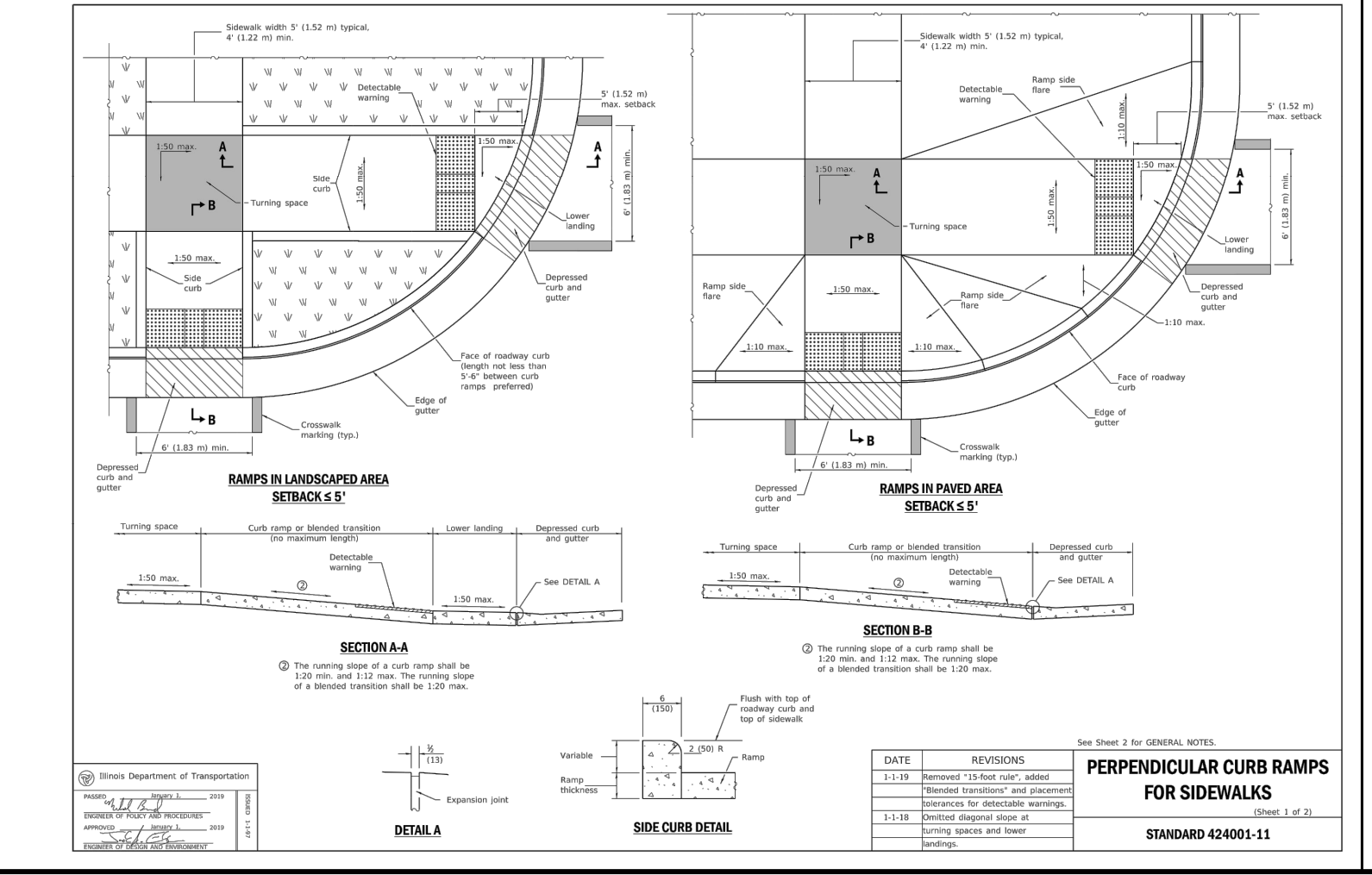
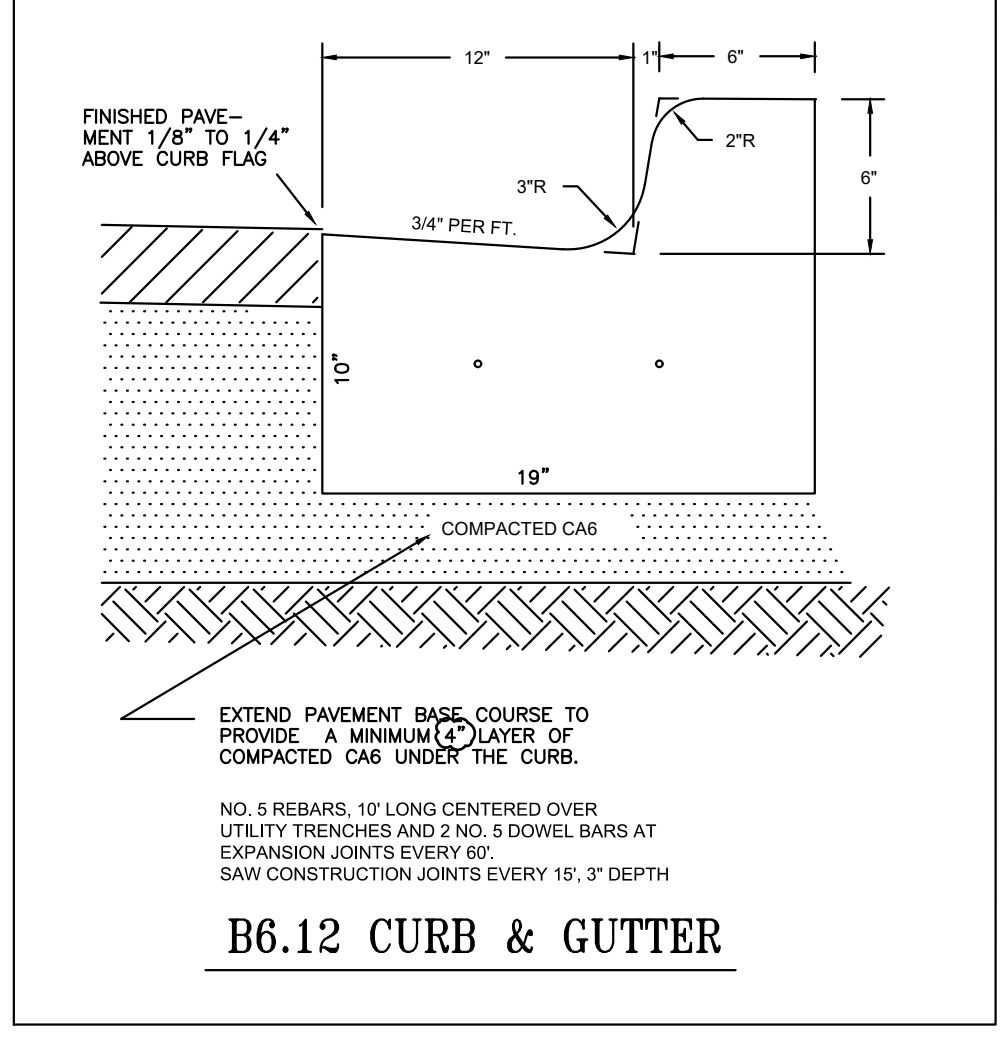
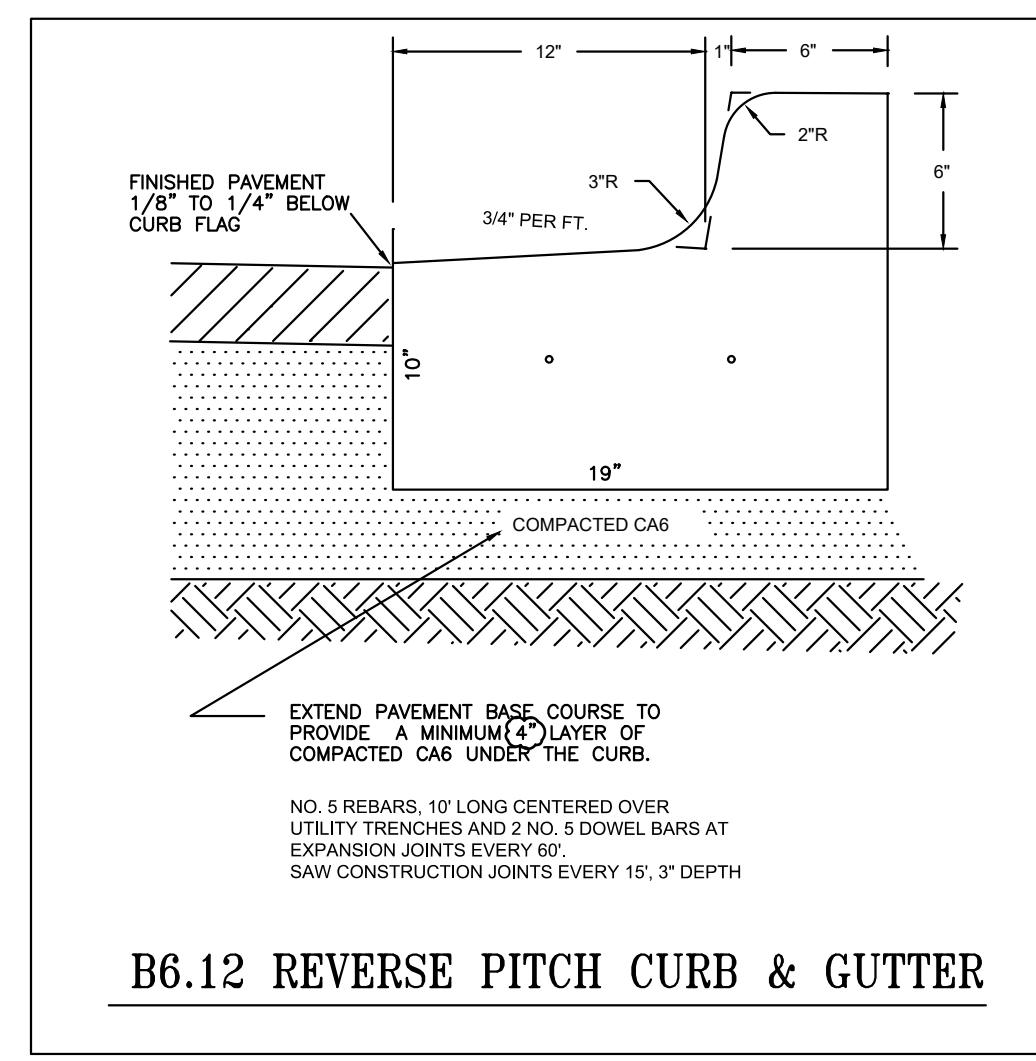
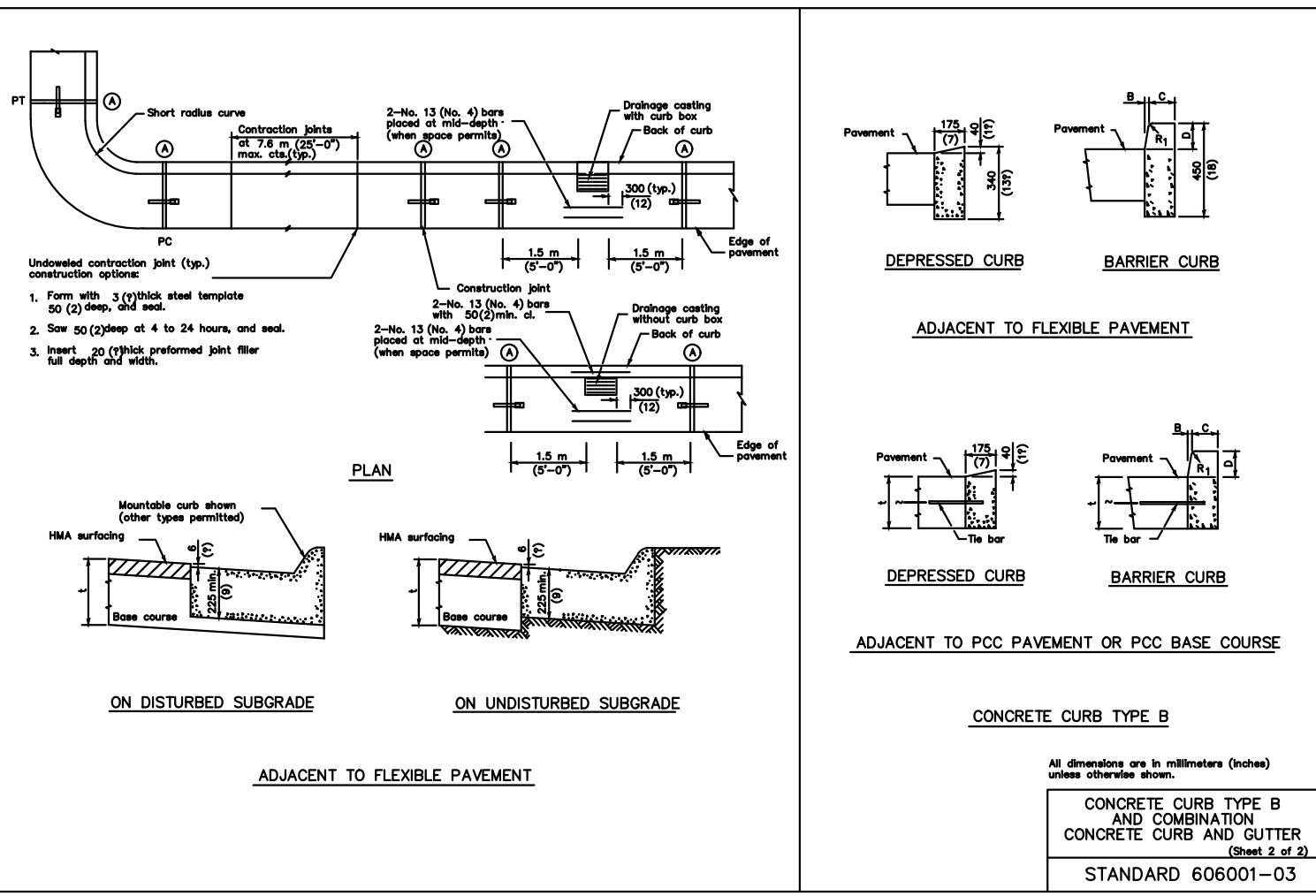
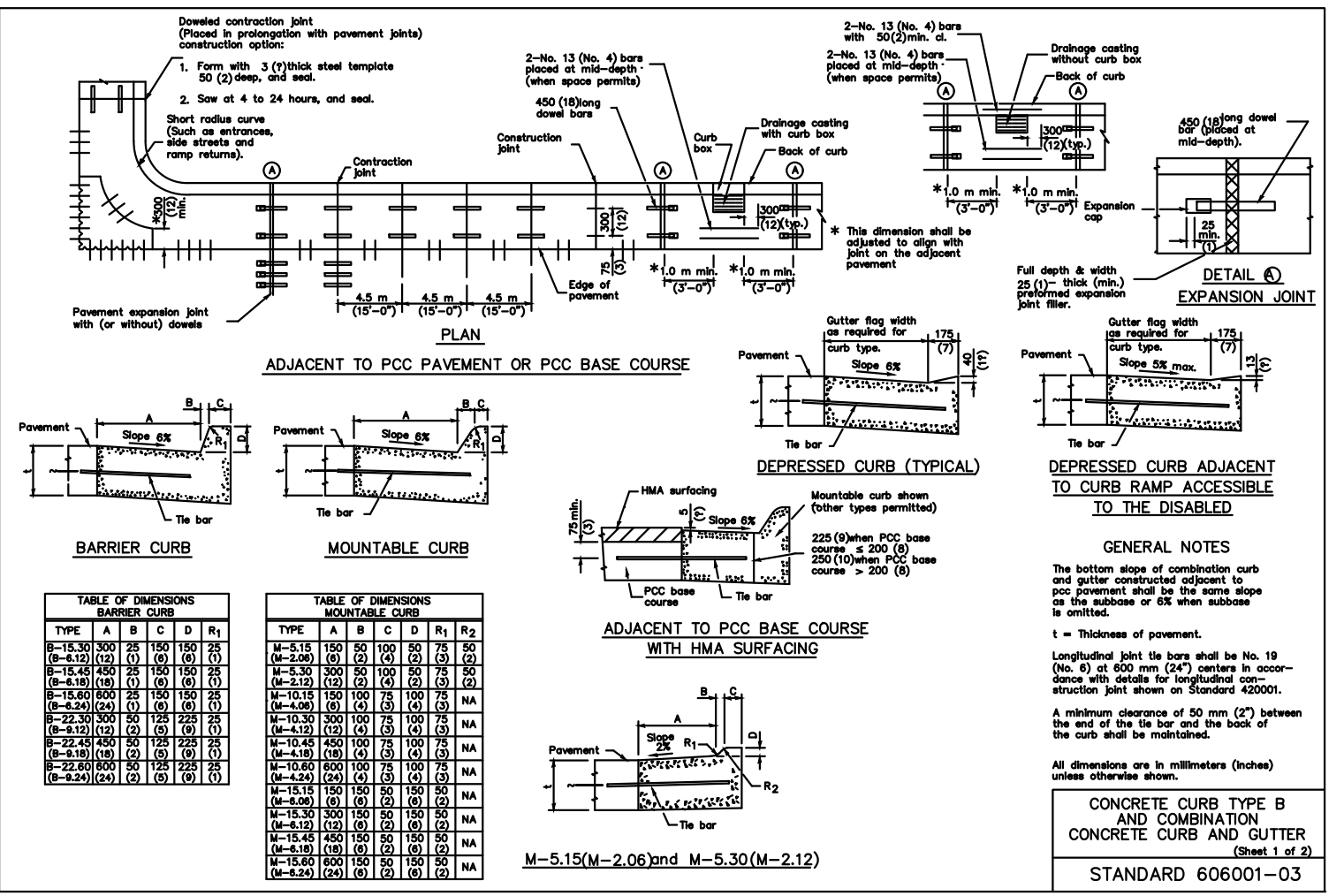
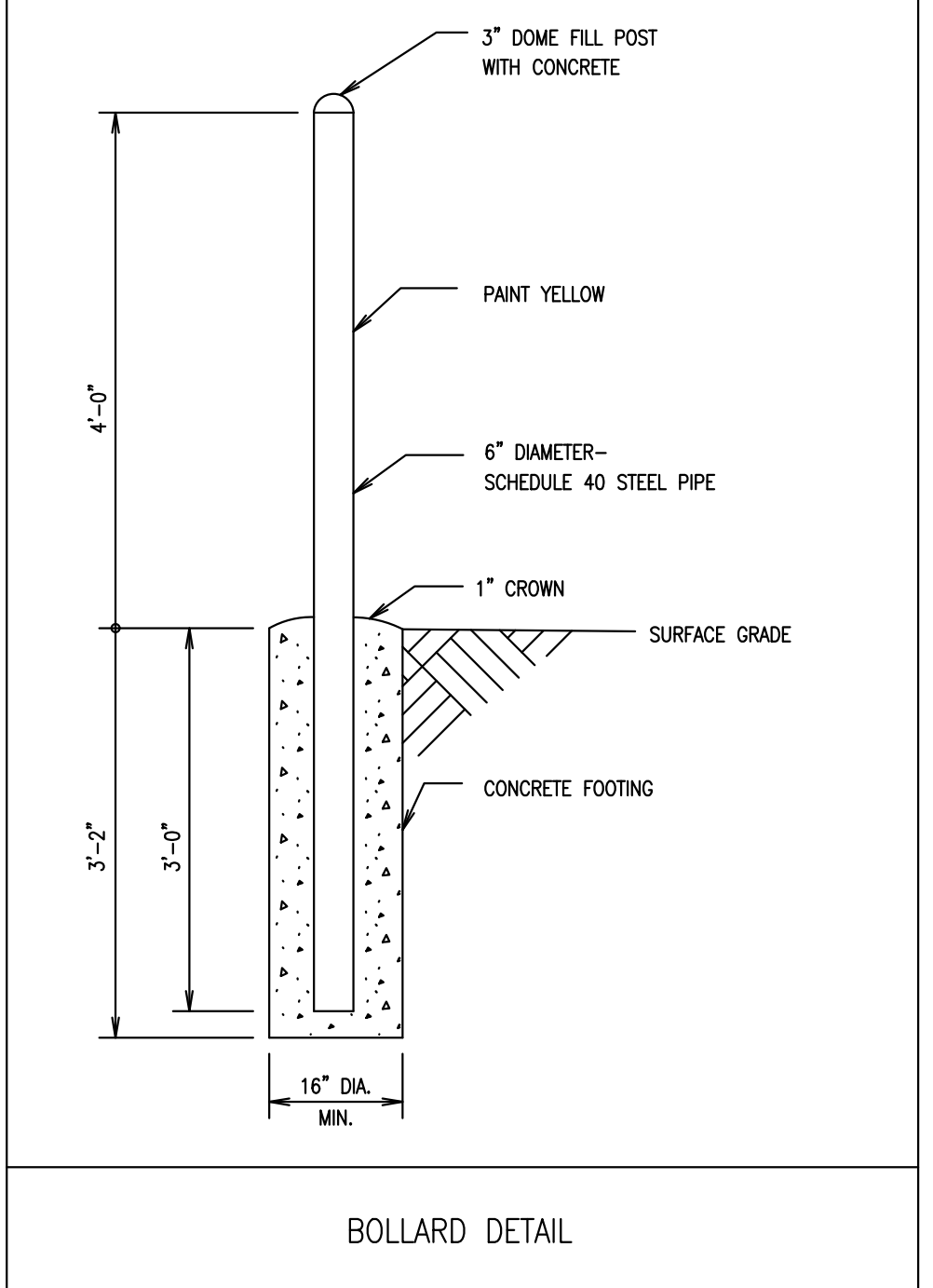
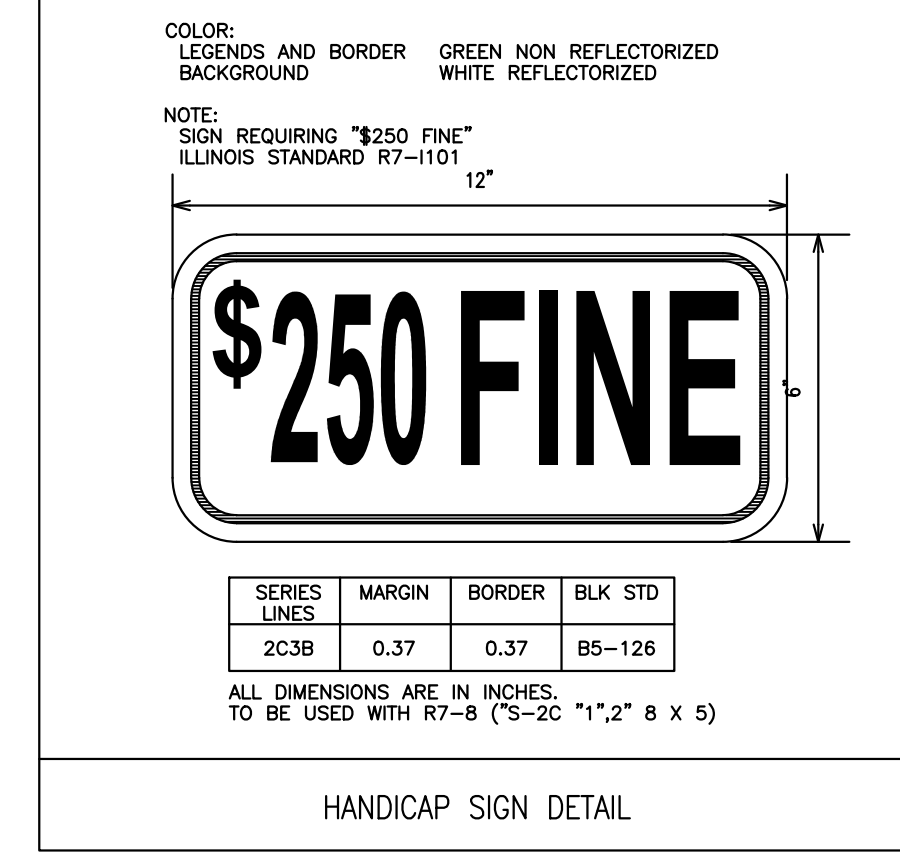
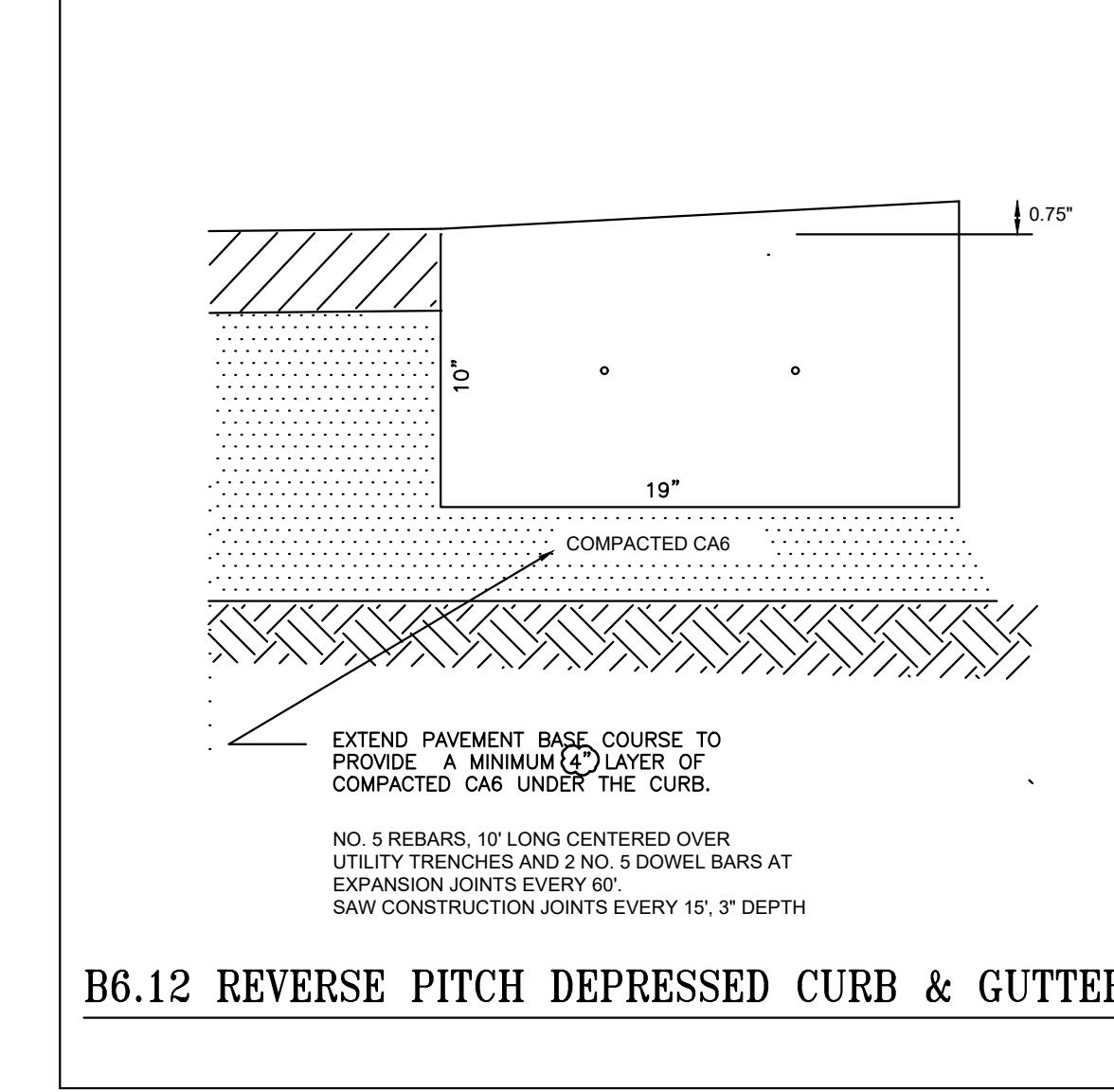
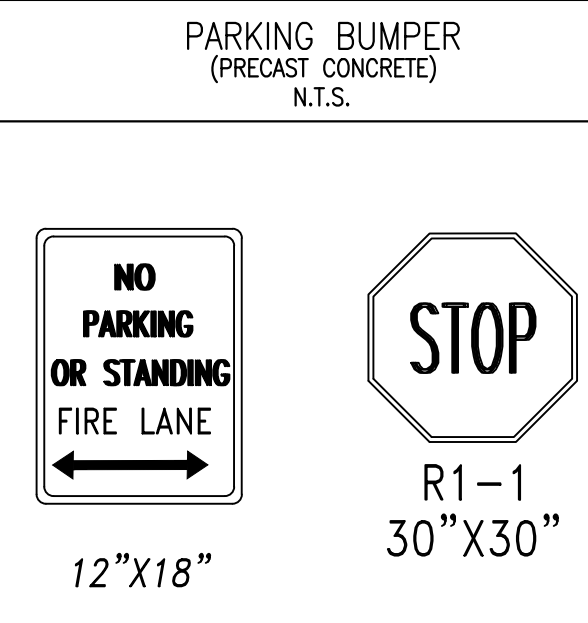
SWPPP DETAILS
SOUTHCREEK BUSINESS PARK - BUILDING
PALENCIA PROPERTIES LLC
ROMEORVILLE, ILLINOIS

JACOB & HEFNER ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600; FAX: (630) 652-4601
www.jacobandhefner.com

D190aj
N.T.S.
C11



NOTE:
INSTALL PRECAST CONCRETE WHEEL STOP (PARKING BUMPER)
2 1/2' FROM BACK OF CURB (1' FROM EDGE OF PAVEMENT).



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3 VILLAGE COMMENTS 7/26/22

2 CLIENT REVISIONS 5/17/22

1 FOR REVIEW 4/26/22

Date

DETAILS 1

SOUTHCREEK BUSINESS PARK - BUILDING

PALENCIA PROPERTIES LLC

ROMEOVILLE, ILLINOIS

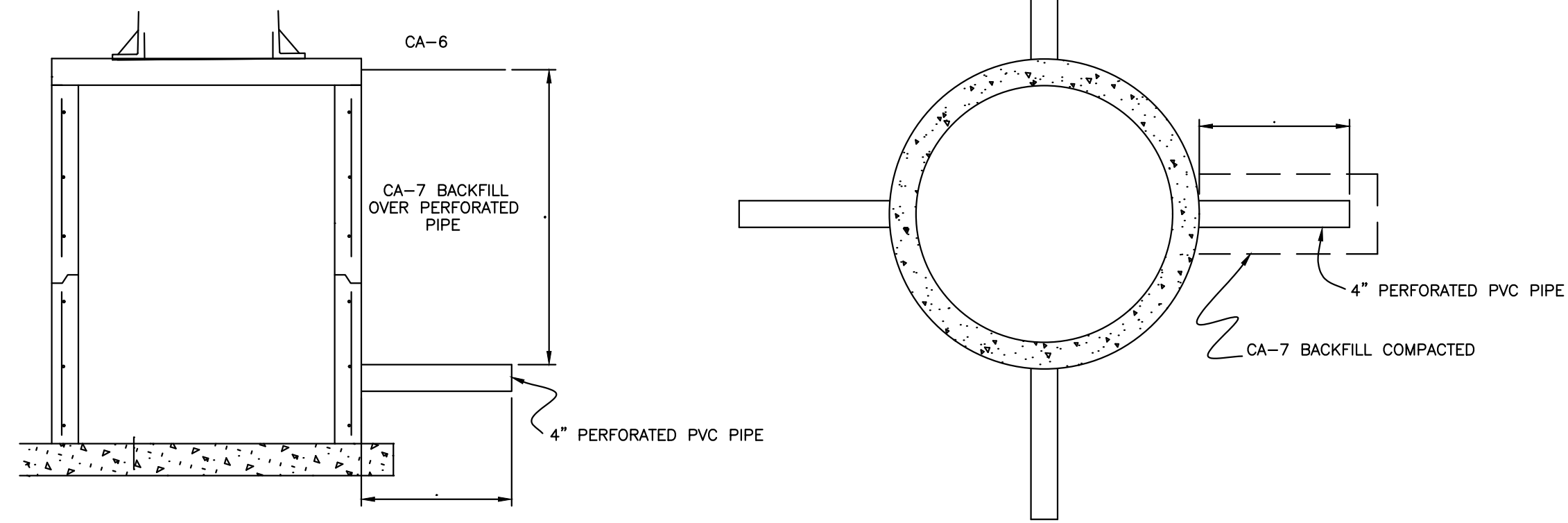
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D190aj

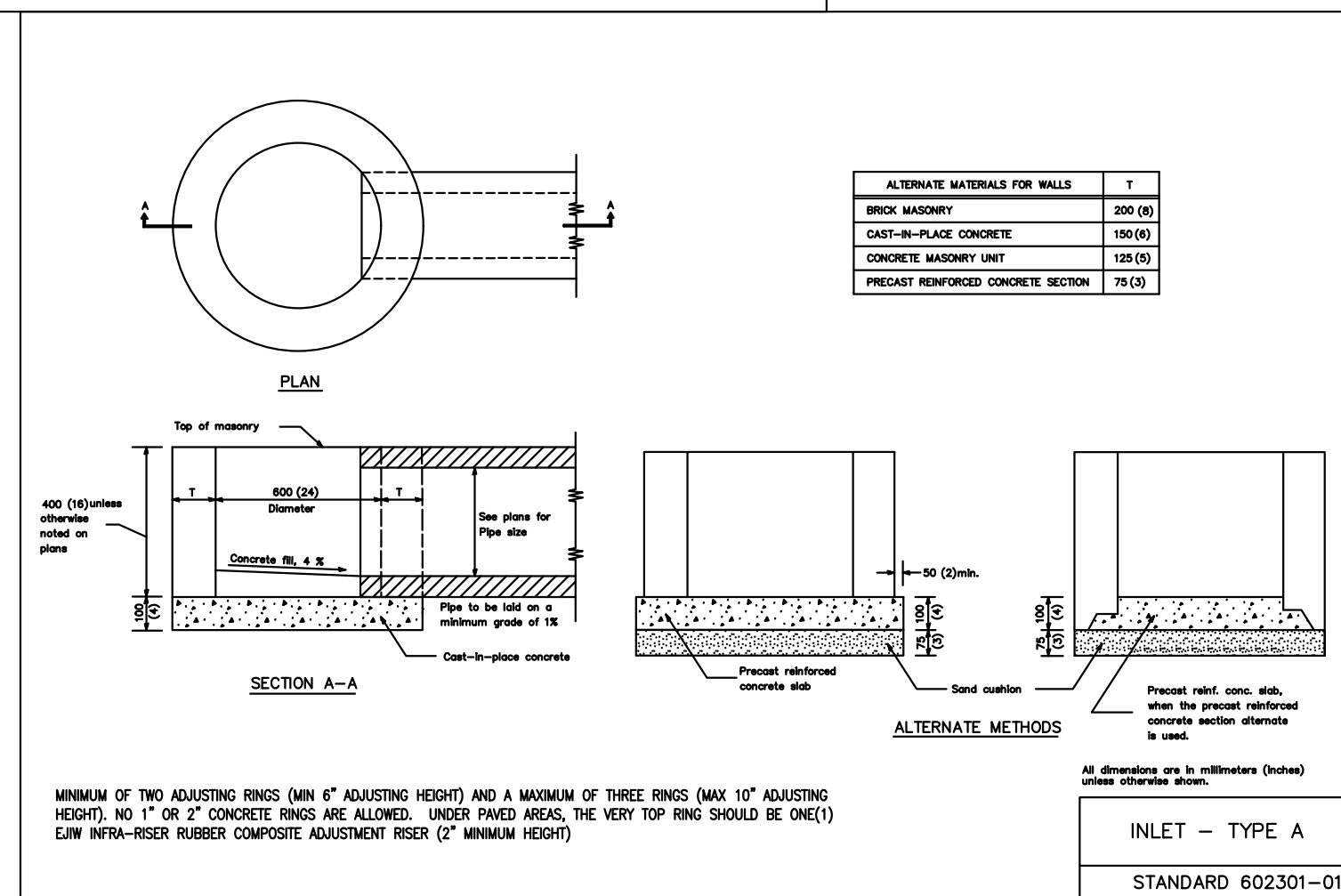
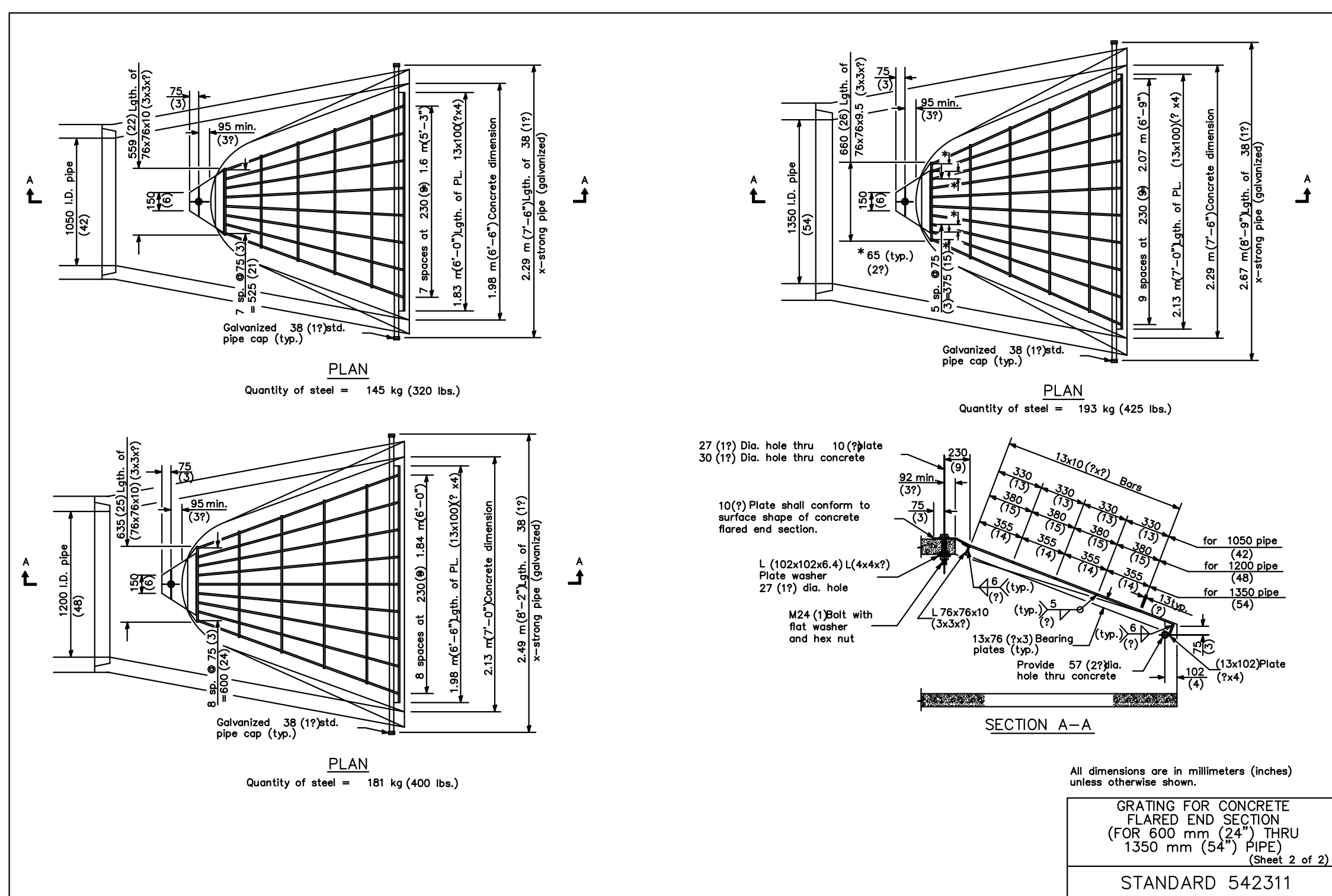
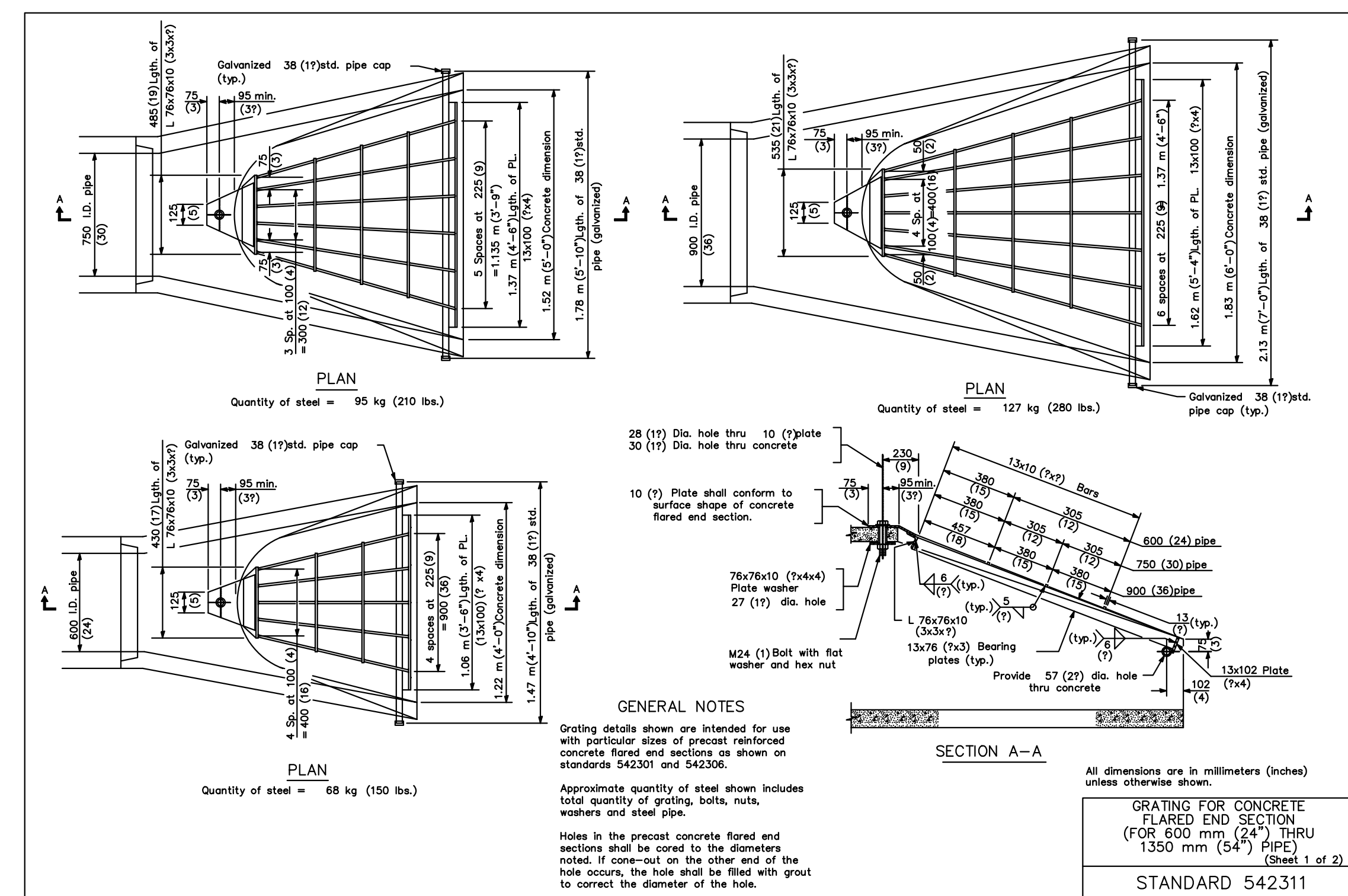
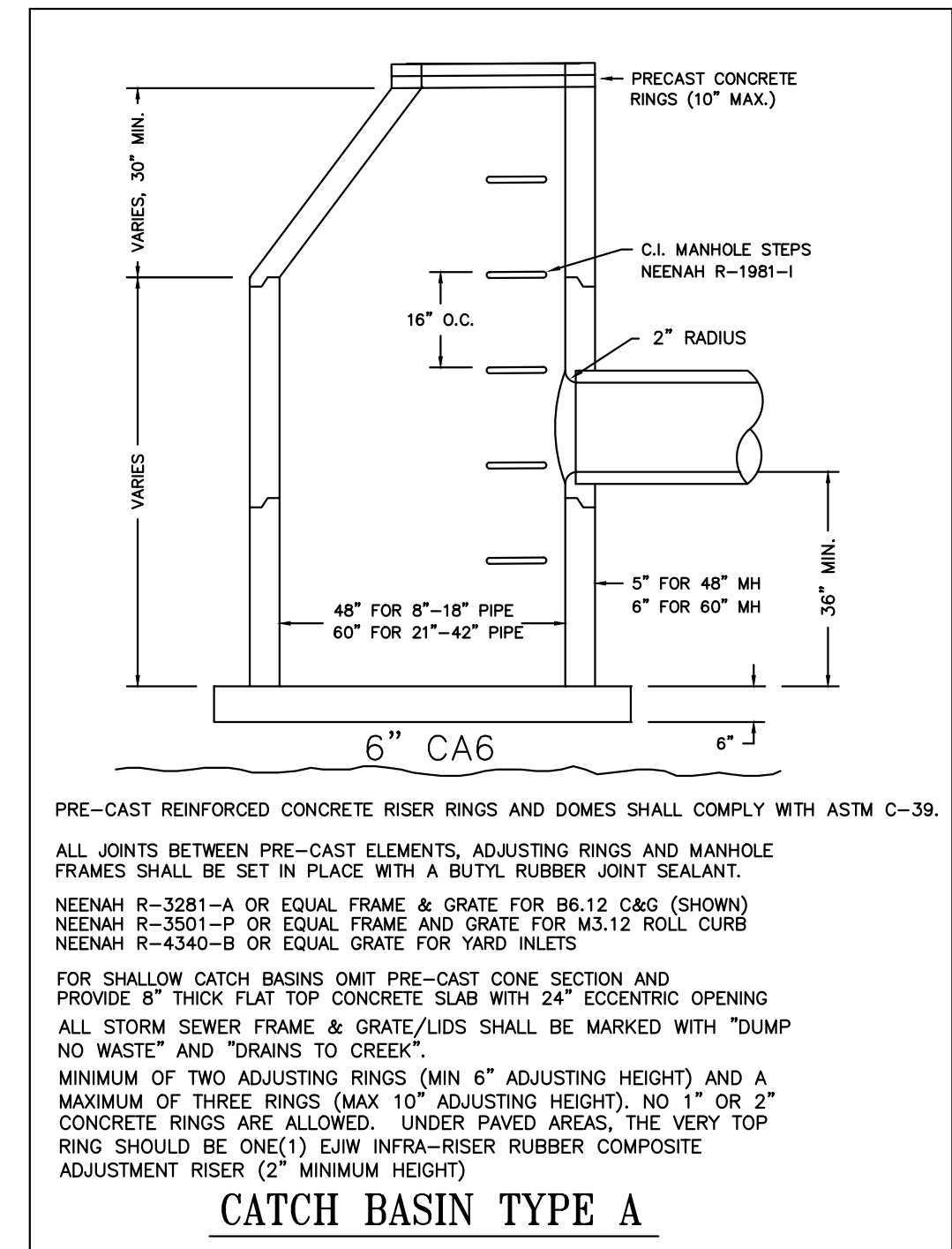
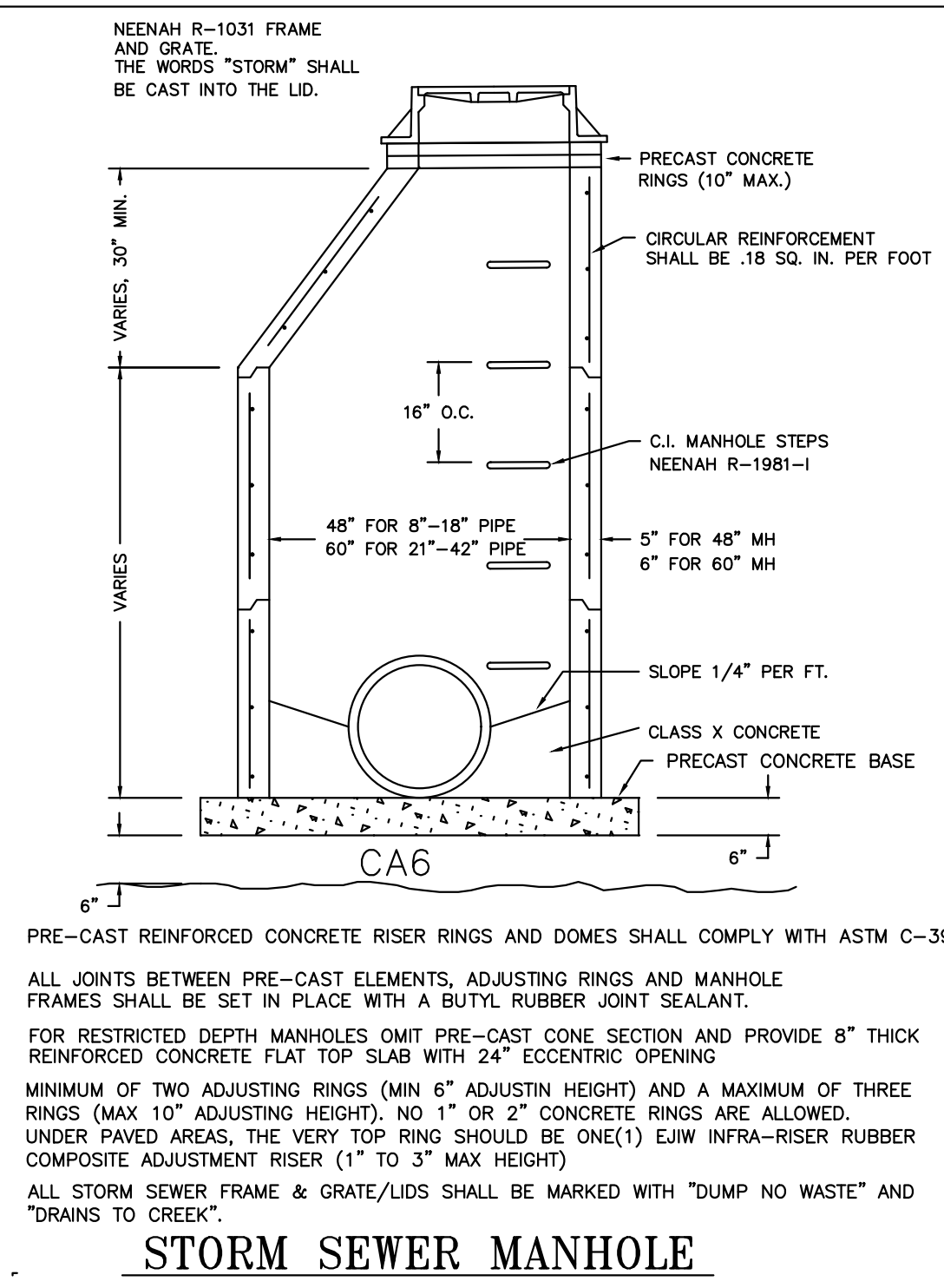
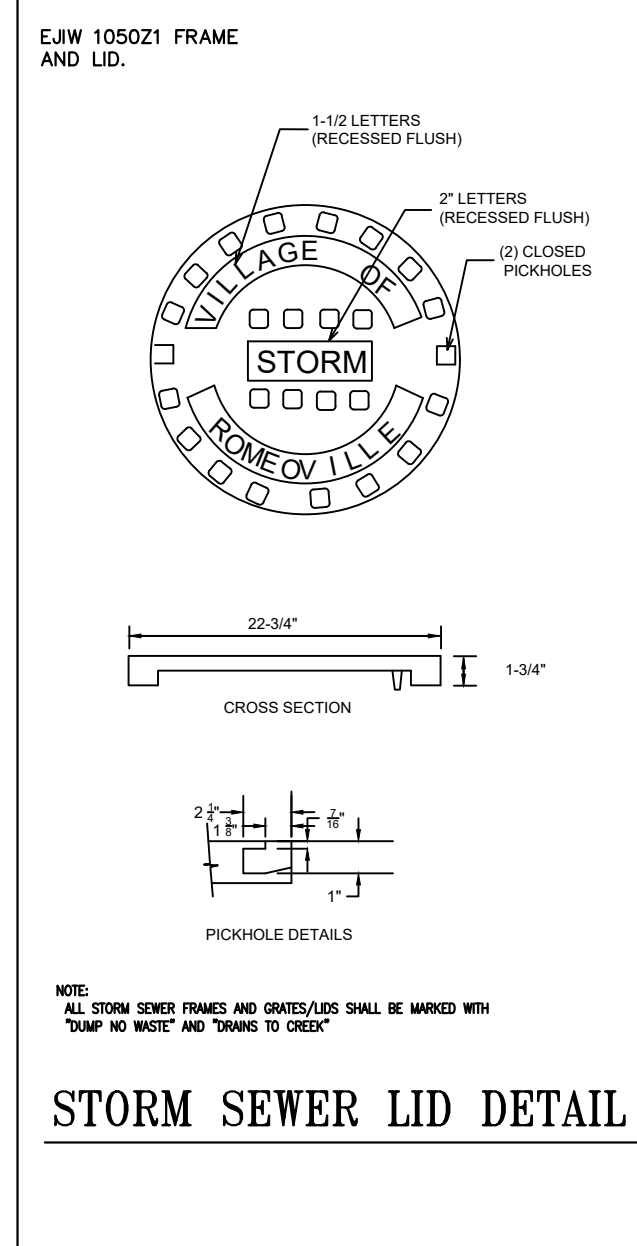
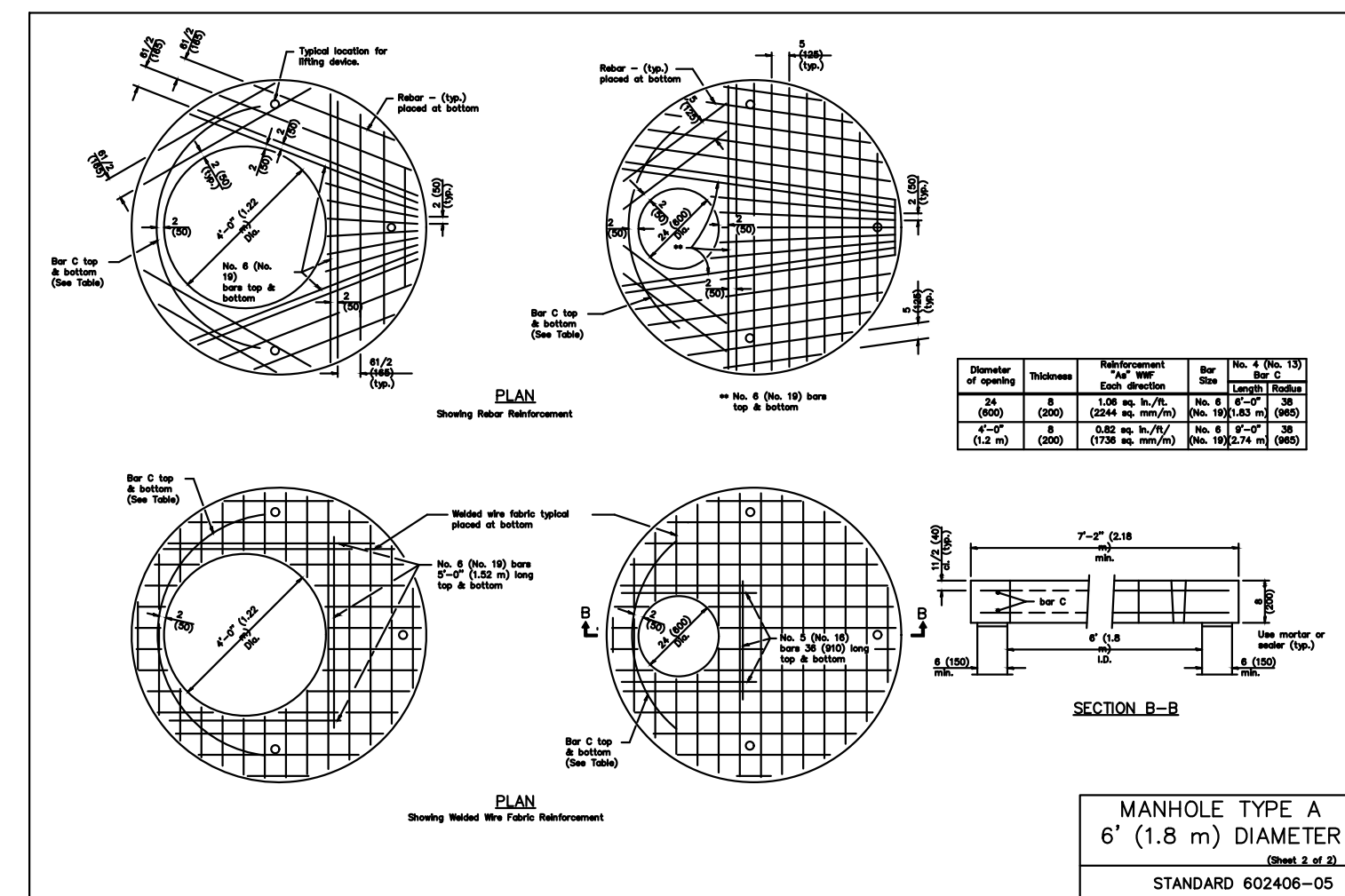
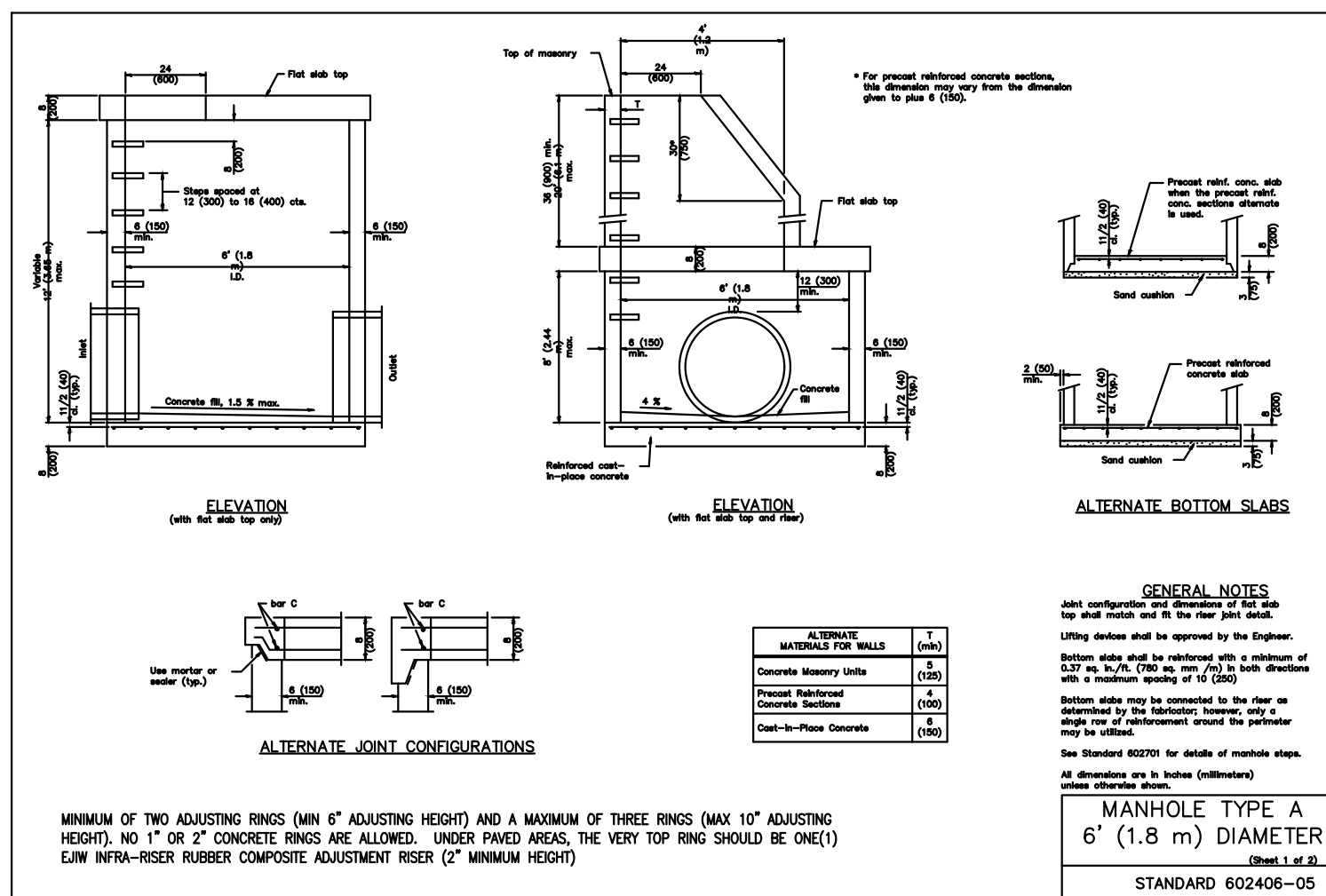
N.T.S.

C13



NOTES: 1. INSTALL FINGER DRAINS AT ALL DRAINAGE STRUCTURES UNDER PAVEMENT
2. PERFORATED PVC SHALL BE SDR 35.

FINGER DRAIN



DETAILS 2

SOUTHCREEK BUSINESS PARK - BUILDING

PALENCIA PROPERTIES LLC

ROMEOVILLE, ILLINOIS

| | |
|--------------------|-------------|
| 3 VILLAGE COMMENTS | 7/26/22 |
| 2 CLIENT REVIEWS | 5/11/22 |
| 1 FOR REVIEW | 4/26/22 |
| No. | Description |

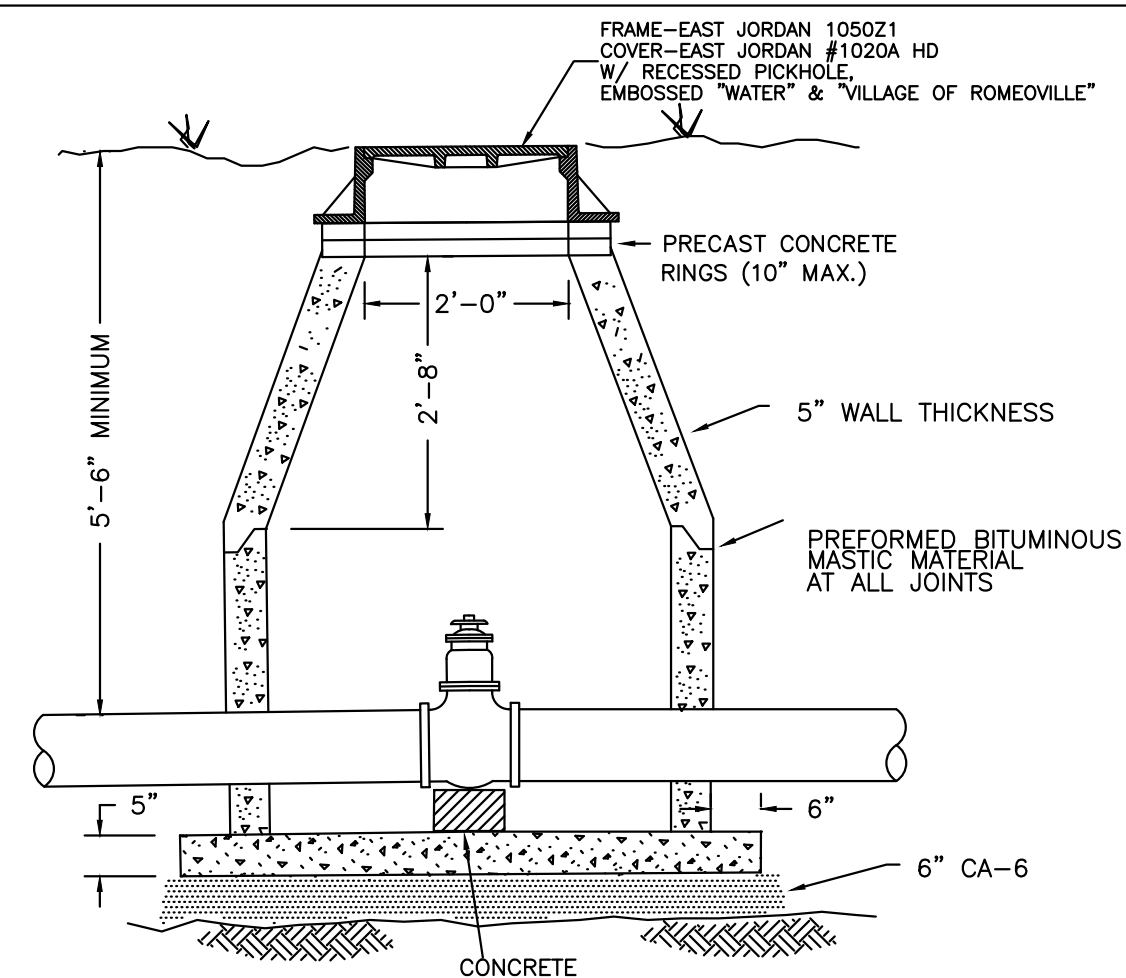
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PHONE: (630) 652-4600, FAX: (630) 652-4601
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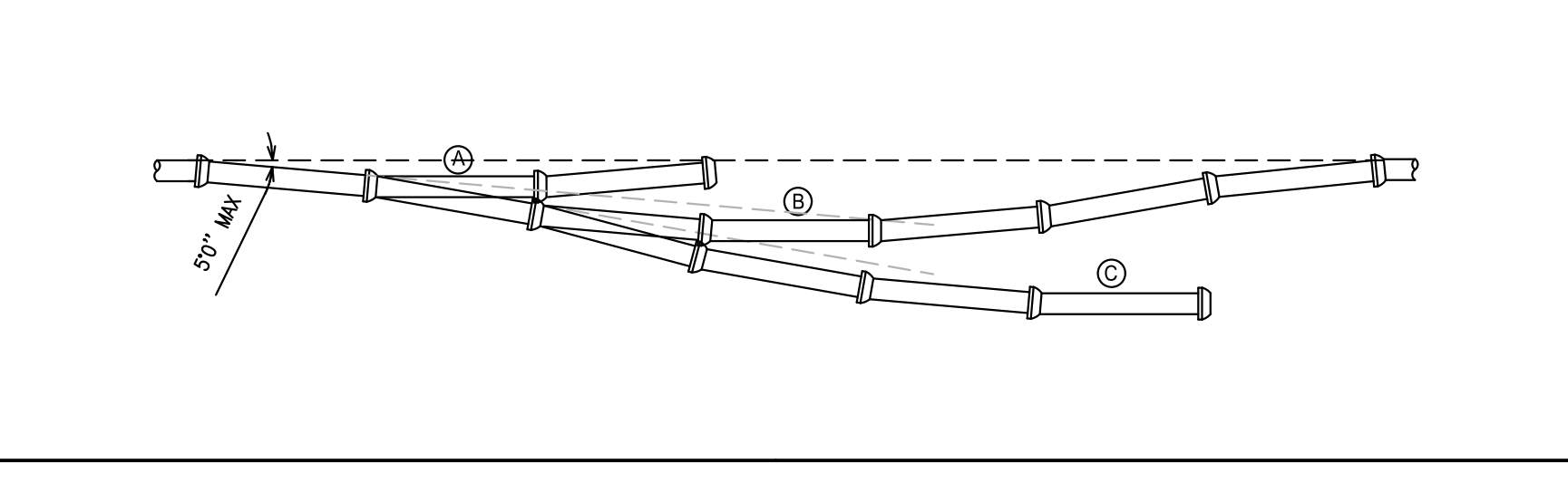
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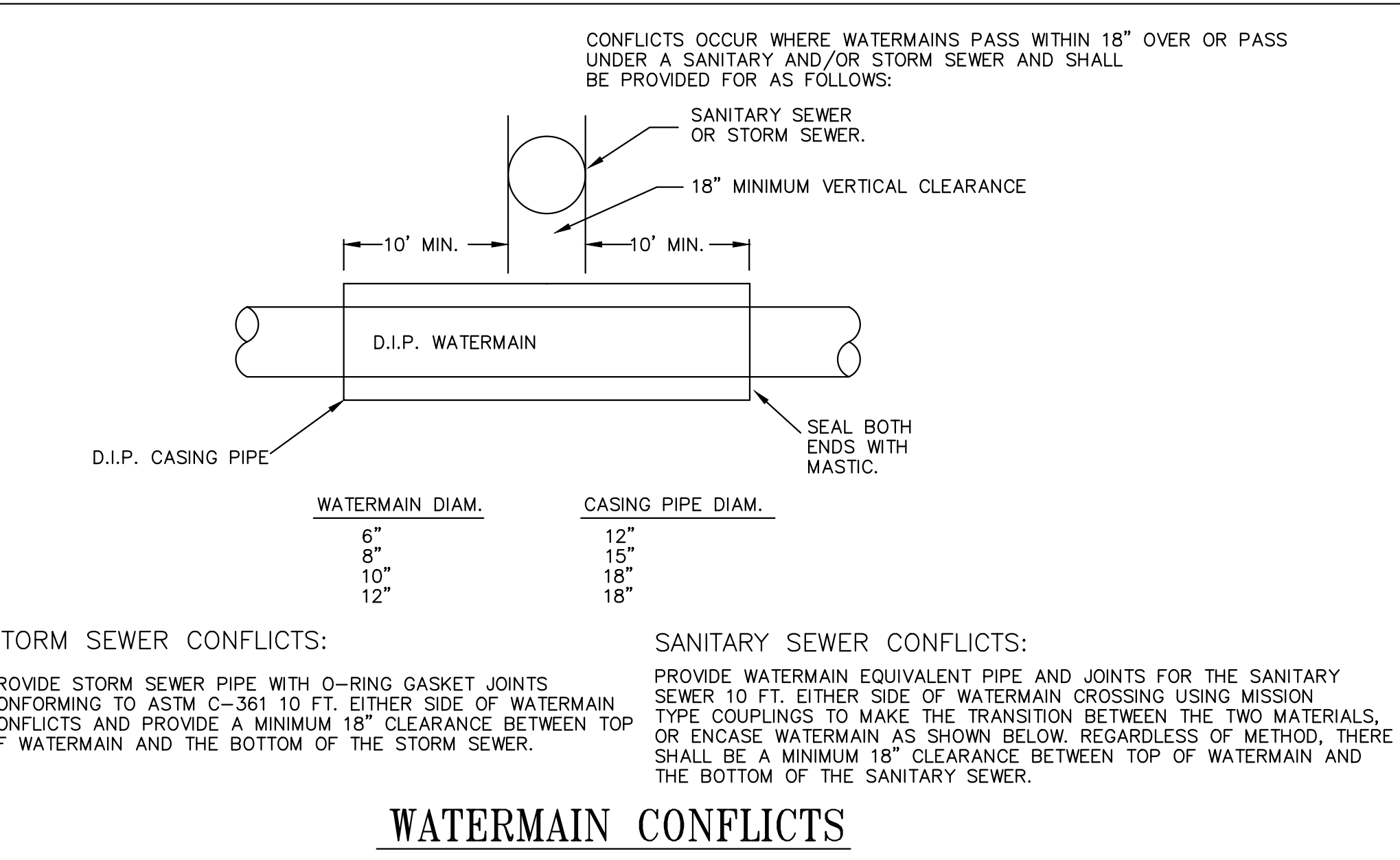


NOTES:
 1) ALL VALVE VAULTS SHALL BE A MINIMUM OF 5' (60\"/>

| PIPE SIZE | O.D. (IN) | O.D. (FT) | DEFL. | HORIZ. DEFL. | VERT. DEFL. | MAX. DEFL. DIST. | | APPROX. RADIUS FOR | |
|-----------|-----------|-----------|-------|--------------|-------------|------------------|-----|--------------------|-----|
| | | | | | | 20L | 18L | 20L | 18L |
| 4" | 4.80" | 0.400' | | | | | | | |
| 6" | 6.90" | 0.575' | | | | | | | |
| 8" | 9.05" | 0.754' | | | | | | | |
| 10" | 11.10" | 0.925' | | | | | | | |
| 12" | 13.20" | 1.100' | | | | | | | |
| 14" | 15.30" | 1.275' | | | | | | | |
| 16" | 17.40" | 1.450' | | | | | | | |
| 18" | 19.50" | 1.625' | | | | | | | |
| 20" | 21.60" | 1.800' | | | | | | | |
| 24" | 25.80" | 2.150' | | | | | | | |
| 30" | 32.00" | 2.666' | | | | | | | |
| 36" | 38.30" | 3.192' | | | | | | | |
| 42" | 44.50" | 3.708' | | | | | | | |



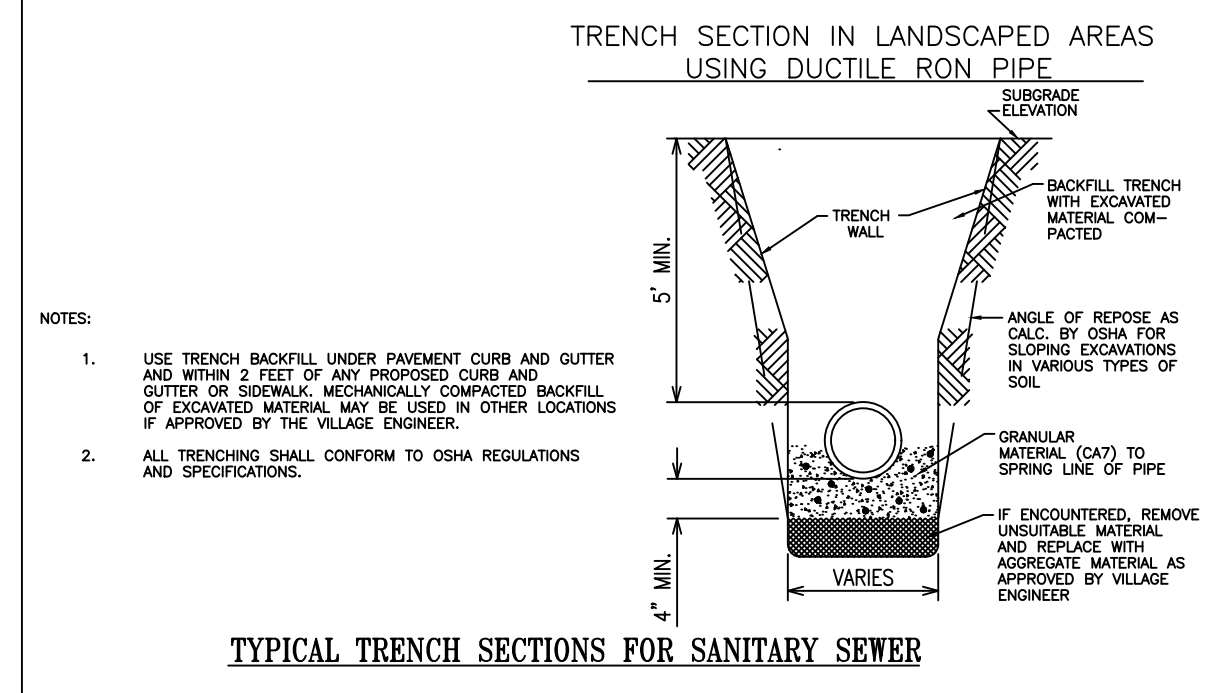
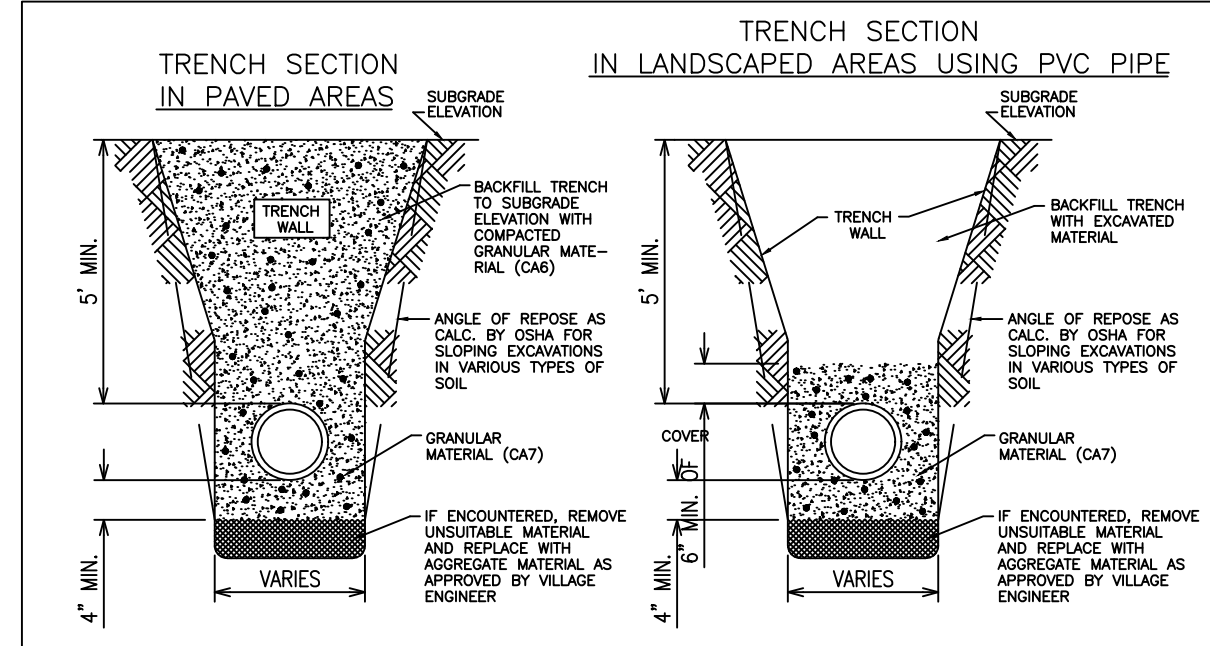
D.I.P. WATERMAIN LOWERING AT UTILITY CONFLICT



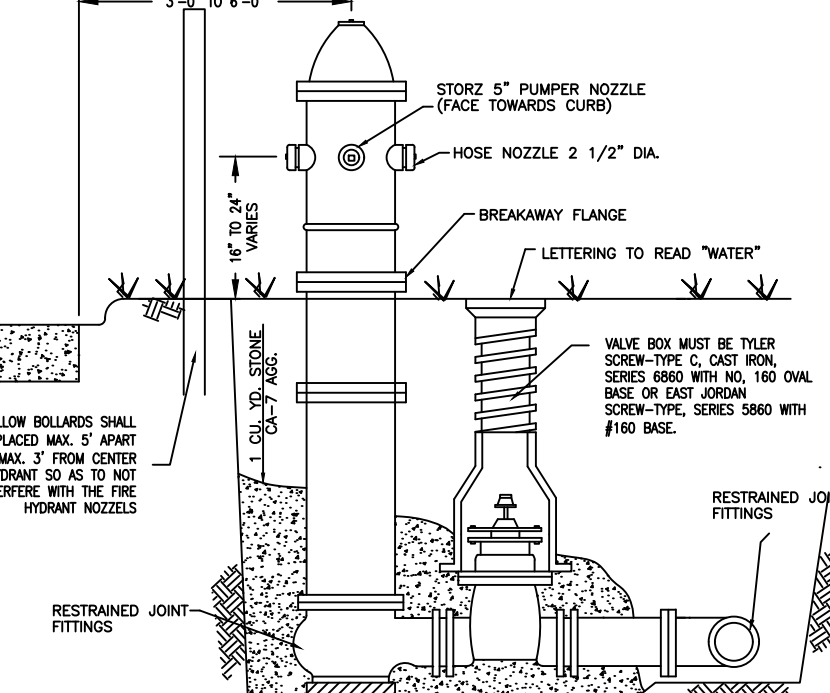
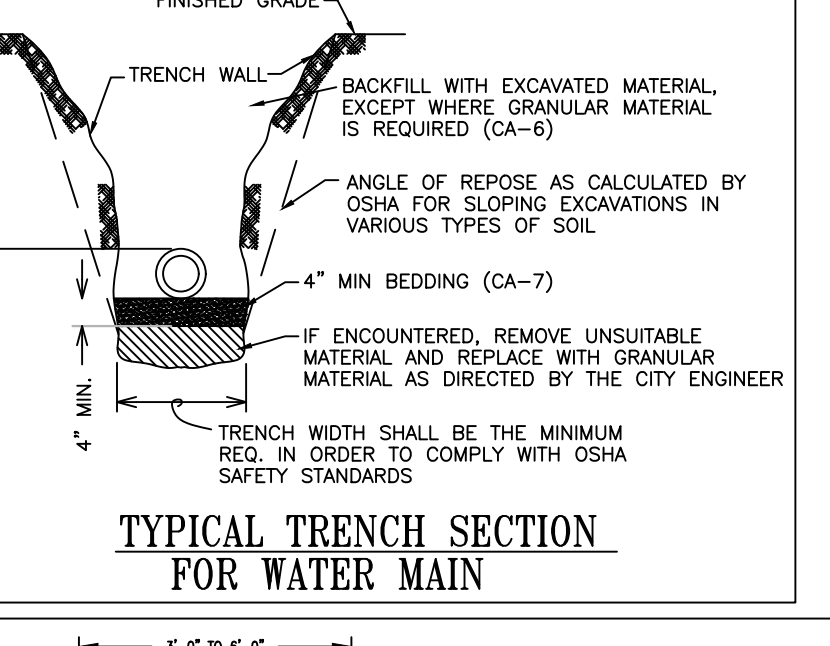
WATERMAIN CONFLICTS

REQUIRED PIPE LENGTH FOR RESTRAINED JOINTS

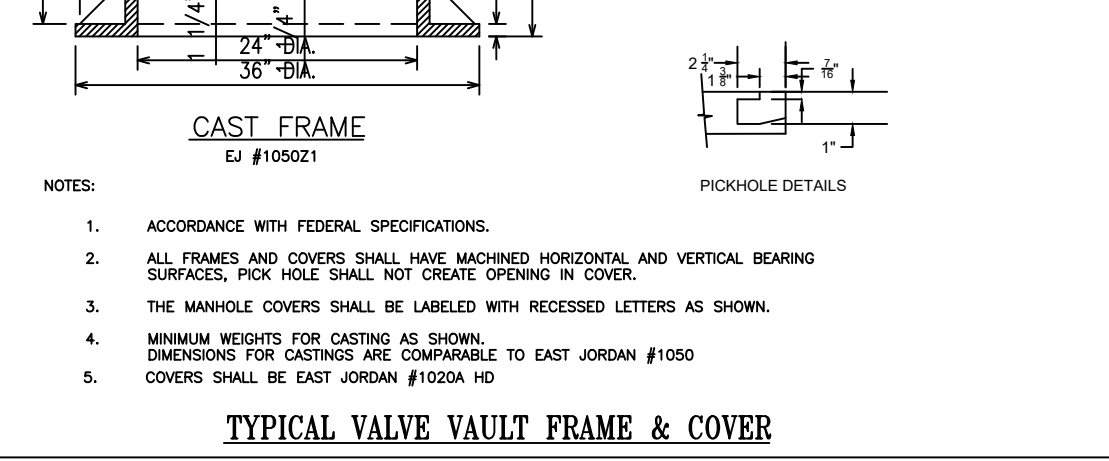
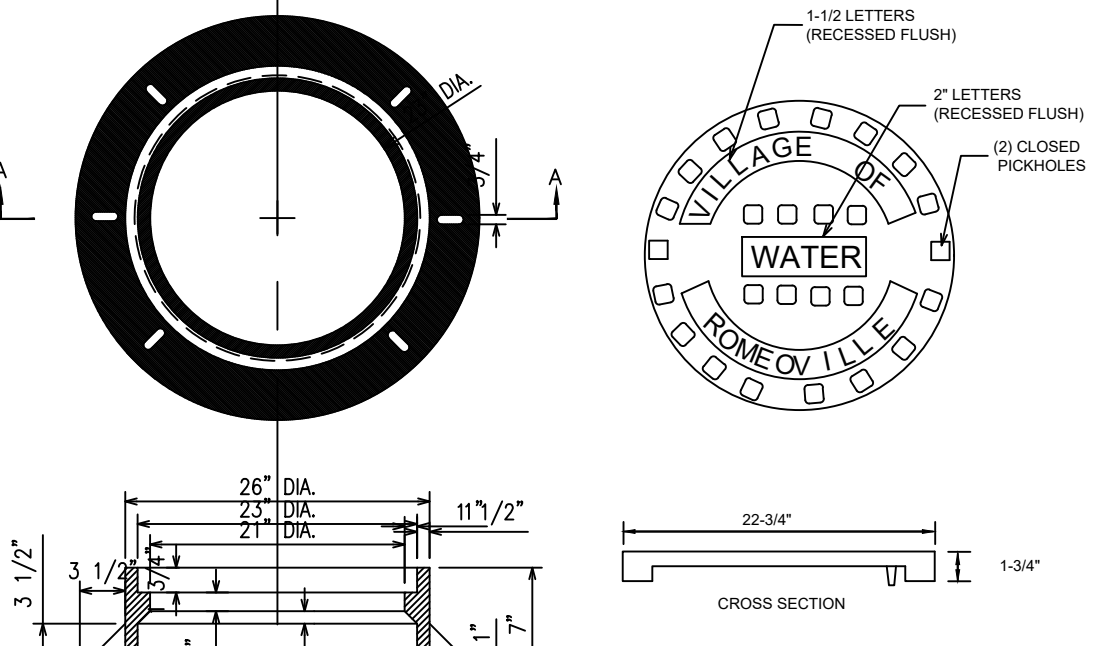
| VERTICAL FITTINGS | | HORIZONTAL FITTINGS | |
|-------------------|-----|---------------------|-----|
| 4\"/> | | | |
| 6" | 13' | 11' | 11' |
| 8" | 16' | 14' | 14' |
| 12" | 23' | 19' | 19' |



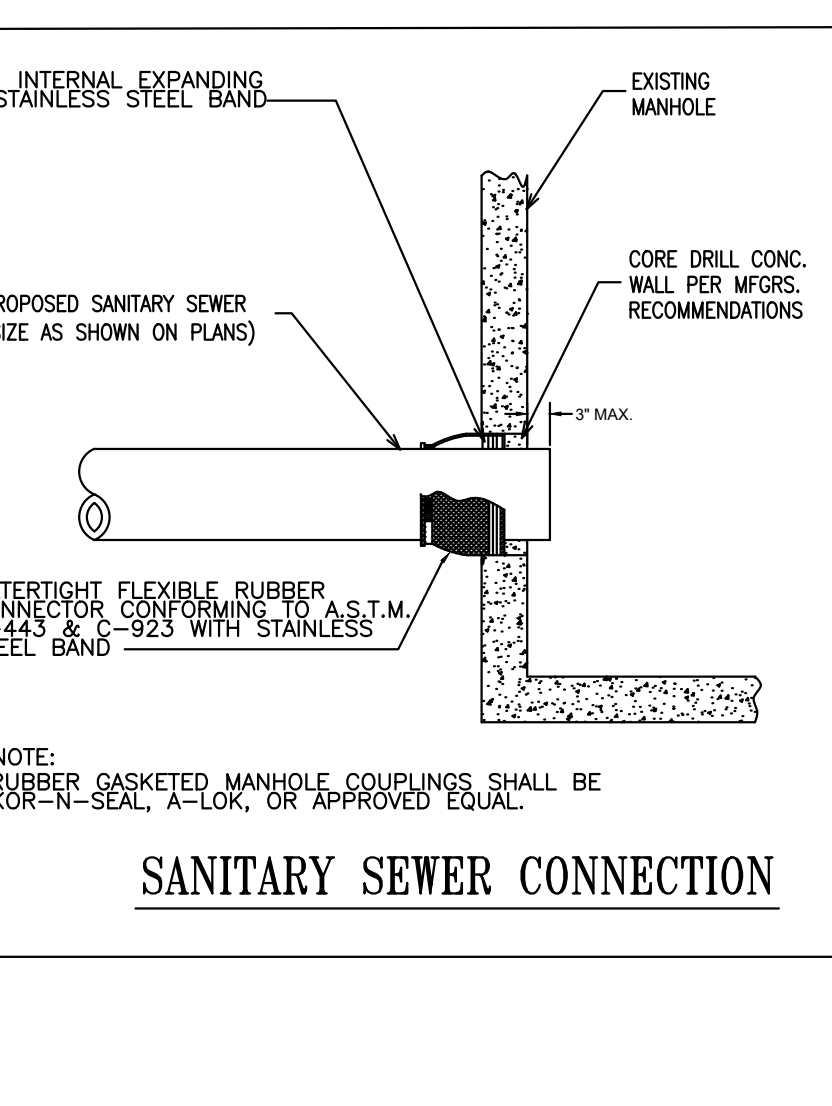
TYPICAL TRENCH SECTIONS FOR SANITARY SEWER



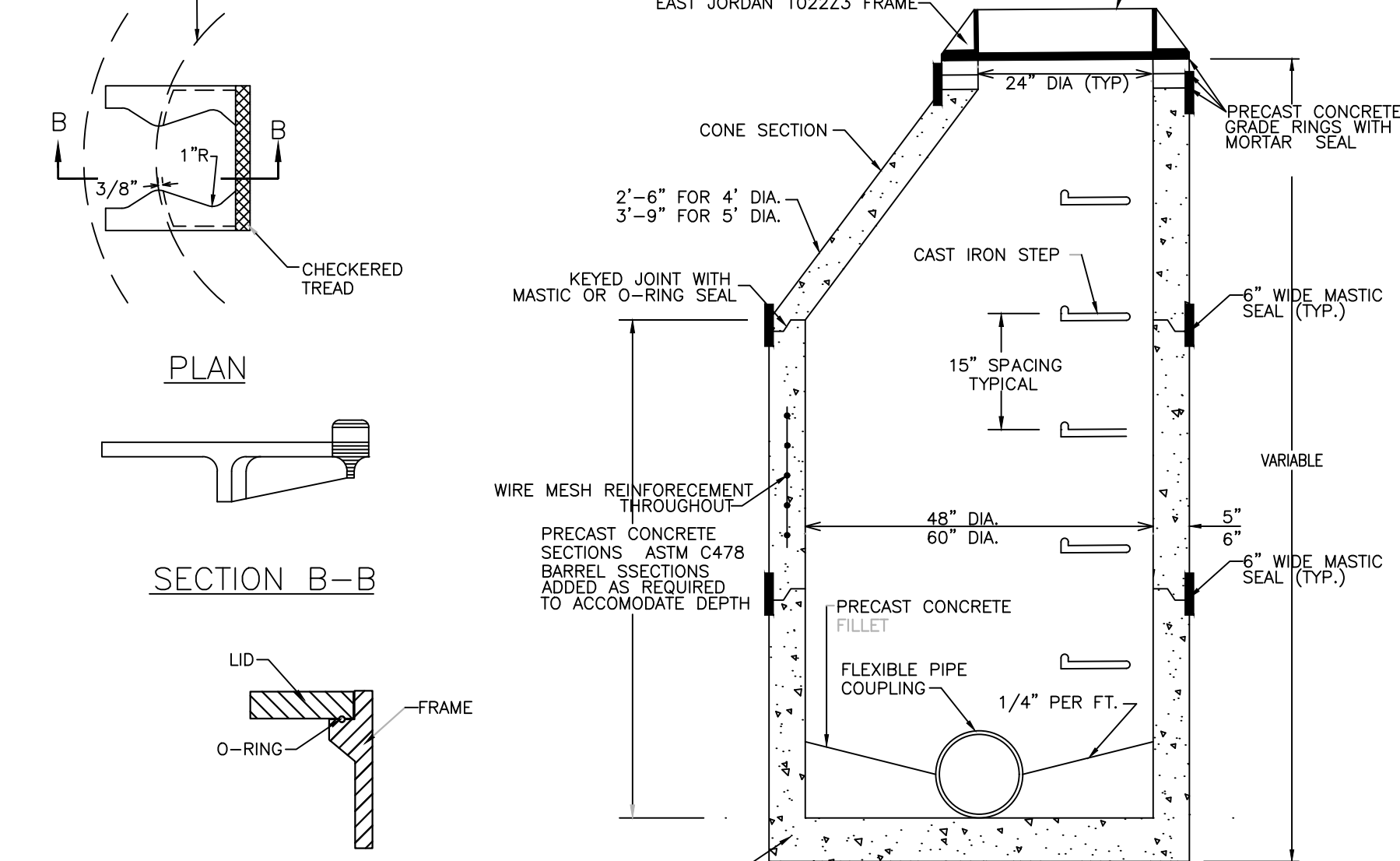
TYPICAL VALVE VAULT FRAME & COVER



SANITARY MANHOLE



SANITARY MANHOLE FRAME & COVER



SANITARY MANHOLE FRAME & COVER

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NOTES:
 1. IF GROUND IS SOFT INSTALL ONE FULL LENGTH OF SDR-21 PVC PIPE AT MANHOLE.
 2. ALL HARDWARE TO BE STAINLESS STEEL.
 3. A DROP BOWL RELINER/DURAN, INC. WWW.RELINER.COM MAY BE USED AT THE DISCRETION AND APPROVAL OF LCPV.

NOTES:
 1. ACCORDANCE WITH FEDERAL SPECIFICATIONS.
 2. ALL FRAMES AND COVERS SHALL HAVE MACHINED HORIZONTAL AND VERTICAL BEARING SURFACES, PICK HOLE SHALL NOT CREATE OPENING IN COVER.
 3. THE MANHOLE COVERS SHALL BE LABELED WITH RECESSED LETTERS AS SHOWN.
 4. MINIMUM WEIGHTS FOR CASTING AS SHOWN. DIMENSIONS FOR CASTINGS ARE COMPARABLE TO EAST JORDAN #1000 COVERS SHALL BE EAST JORDAN #1000A HD

NOTES:
 1) MINIMUM OF TWO ADJUSTING RINGS (MIN 6\"/>

NOTES:
 1. CAST IRON CASTING SHALL BE GRADE 60-40-18 AND SHALL BE TESTED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS.
 2. ALL FRAMES AND COVERS SHALL HAVE MACHINED HORIZONTAL AND VERTICAL BEARING SURFACES, PICK HOLE SHALL NOT CREATE OPENING IN COVER.
 3. THE MANHOLE COVERS SHALL BE LABELED WITH RECESSED LETTERS AS SHOWN.
 4. WATERPROOF, BOLTDOWN FRAME AND COVER SHALL BE USED IN ANY LOCATION SUBJECT TO INDIANAPOLIS.
 5. ALL LIDS WILL REQUIRE A SELF-SEALING GASKET.

DETAILS 3

SOUTHCREEK BUSINESS PARK - BUILDING

PALENCIA PROPERTIES LLC

ROMEDEVILLE, ILLINOIS

JACOB & HEFNER ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com

7/26/22

5/17/22

4/26/22

Date

3 VILLAGE COMMENTS

2 CLIENT REVISIONS

1 FOR REVIEW

No.

Description

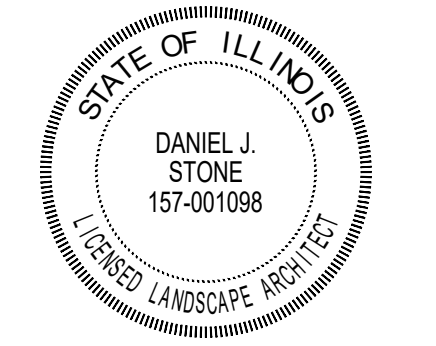
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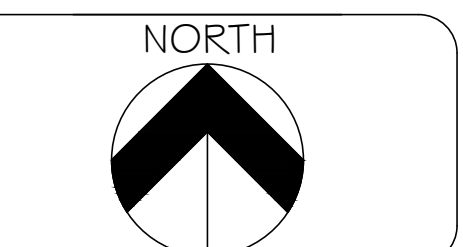
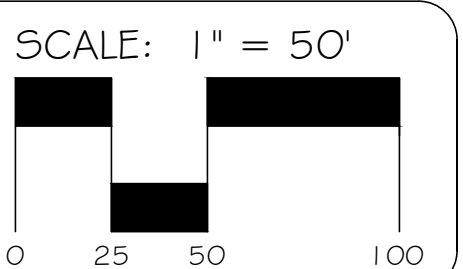
C15



815.725.0758
www.kdlandscapeinc.com



LANDSCAPE PLAN
SOUTHCREEK BUSINESS CENTER
PROPOSED BLDG. SATORI PROPERTIES
PINNACLE DR., ROMEOVILLE, IL 60446



PROJECT NO:

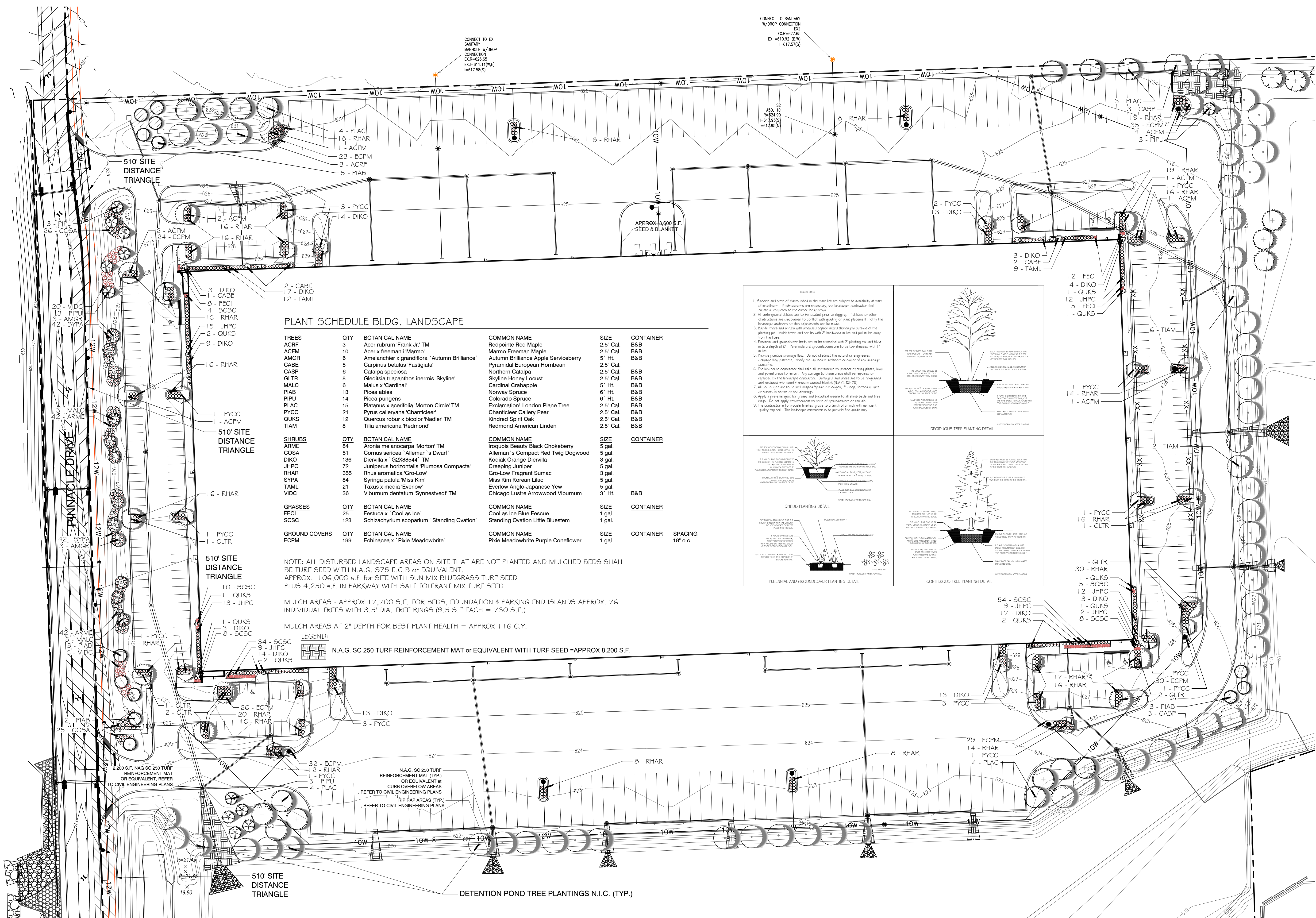
DRAWN BY: djs

DATE: 13 MAY 2022

REVISIONS:
1 trees on water line 10 AUG 22
2 sidewalk to bldg 16 AUG 22

LANDSCAPE PLAN

SHEET NO:
11 OF 1



PLANT SCHEDULE BLDG. LANDSCAPE

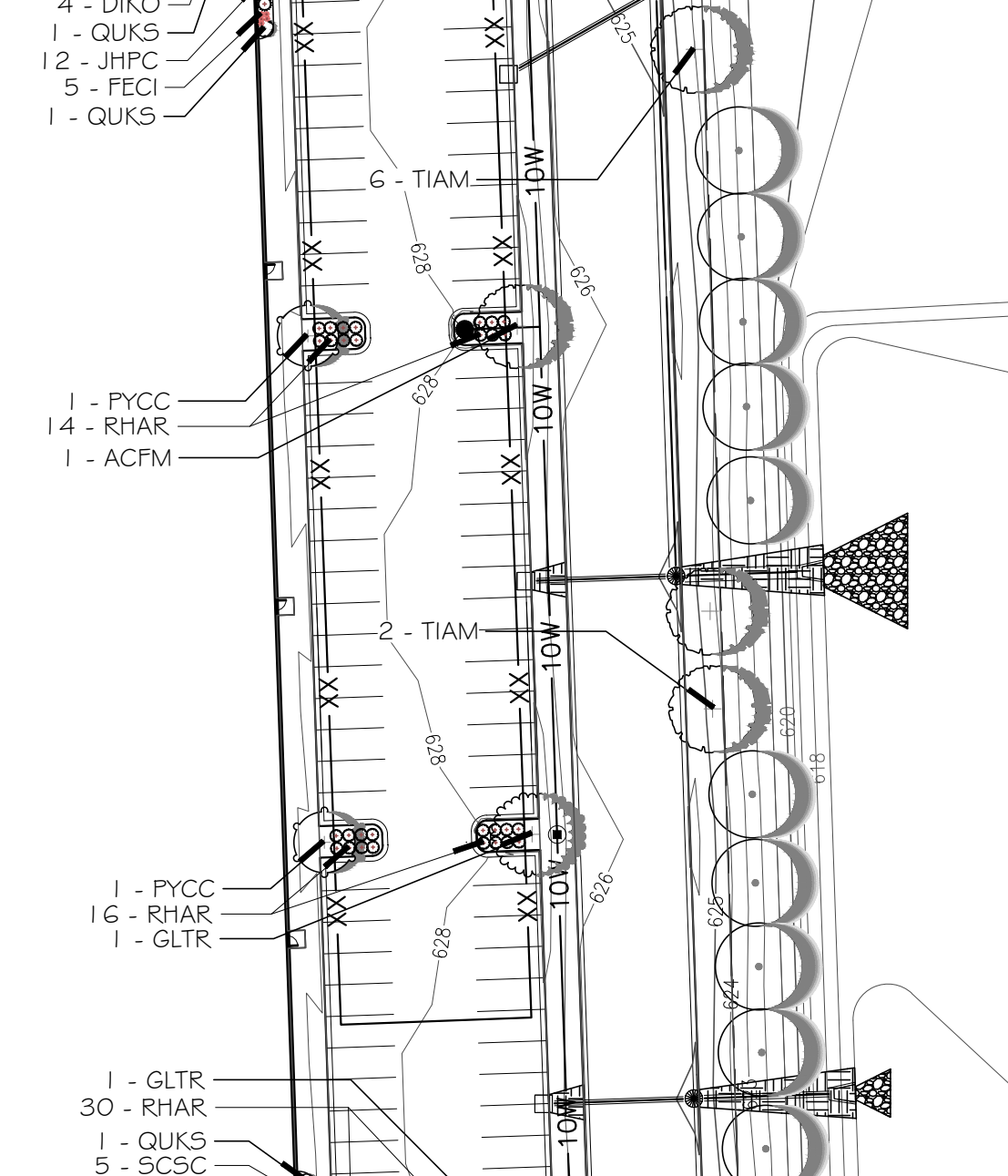
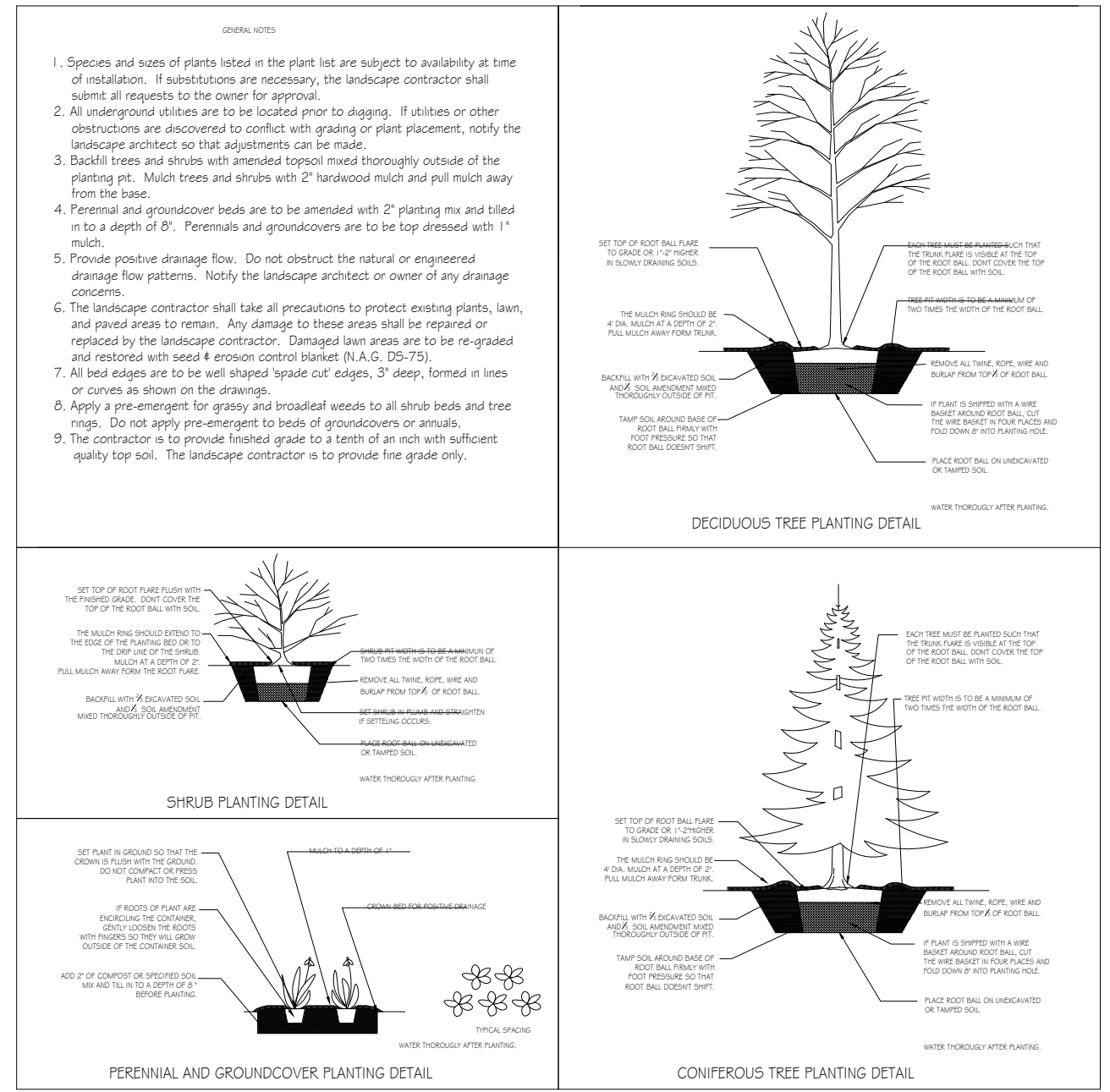
| TREES | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | |
|---------------|-----|--|--------------------------------------|-----------|-----------|----------|
| ACRF | 3 | Acer rubrum 'Frank Jr.' TM | Redpointe Red Maple | 2.5' Cal. | B&B | |
| ACFM | 10 | Acer x freemanii 'Marmo' | Marmo Freeman Maple | 2.5' Cal. | B&B | |
| AMGR | 6 | Ameilanchier x grandiflora 'Autumn Brilliance' | Autumn Brilliance Apple Serviceberry | 5' Ht. | B&B | |
| CABE | 5 | Carpinus betulus 'Fastigiata' | Pyramidal European Hornbeam | 2.5' Cal. | B&B | |
| CASP | 6 | Catalpa speciosa | Northern Catalpa | 5' Ht. | B&B | |
| GLTR | 8 | Gleditsia triacanthos inermis 'Skyline' | Skyline Honey Locust | 2.5' Cal. | B&B | |
| MALC | 6 | Natus x 'Cardinal' | Cardinal Crabapple | 5' Ht. | B&B | |
| PIAB | 13 | Picea abies | Norway Spruce | 6' Ht. | B&B | |
| PIPU | 14 | Picea pungens | Colorado Spruce | 6' Ht. | B&B | |
| PLAC | 15 | Platanus x acerifolia 'Morton Circle' TM | Exclamation! London Plane Tree | 2.5' Cal. | B&B | |
| PYCC | 21 | Pyrus calleryana 'Chanticleer' | Chanticleer Callery Pear | 2.5' Cal. | B&B | |
| QUKS | 12 | Quercus robur x bicolor 'Nadler' TM | Kindred Spirit Oak | 2.5' Cal. | B&B | |
| TIAM | 8 | Tilia americana 'Redmond' | Redmond American Linden | 2.5' Cal. | B&B | |
| SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | |
| ARME | 84 | Aronia melanocarpa 'Morton' TM | Ironquios Beauty Black Chokeberry | 5 gal. | B&B | |
| COSA | 51 | Cornus sericea 'Alleman's Dwarf' | Alleman's Compact Red Twig Dogwood | 5 gal. | B&B | |
| DIKO | 136 | Diervilla x 'G2X68544' TM | Kodiak Orange Diervilla | 3 gal. | B&B | |
| JHPC | 72 | Juniperus horizontalis 'Plumosa Compacta' | Creeping Juniper | 5 gal. | B&B | |
| RHAR | 355 | Rhus aromatica 'Gro-Low' | Gro-Low Fragrant Sumac | 3 gal. | B&B | |
| SYFA | 84 | Syringa patula 'Miss Kim' | Miss Kim Korean Lilac | 5 gal. | B&B | |
| TAML | 21 | Taxus x media 'Everlow' | Everlow Anglo-Japanese Yew | 5 gal. | B&B | |
| VIDC | 36 | Viburnum dentatum 'Synnsvedct' TM | Chicago Lustre Arrowwood Viburnum | 3' Ht. | B&B | |
| GRASSES | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | |
| FECI | 25 | Festuca x 'Cool as Ice' | Cool as Ice Blue Fescue | 1 gal. | B&B | |
| SCSC | 123 | Schizachyrium scoparium 'Standing Ovation' | Standing Ovation Little Bluestem | 1 gal. | B&B | |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | SPACING |
| ECPM | 199 | Echinacea x 'Pixie Meadowbrite' | Pixie Meadowbrite Purple Coneflower | 1 gal. | B&B | 18" o.c. |

NOTE: ALL DISTURBED LANDSCAPE AREAS ON SITE THAT ARE NOT PLANTED AND MULCHED BEDS SHALL BE TURF SEED WITH N.A.G. 575 E.C.B. OR EQUIVALENT. APPROX. 1,00,000 s.f. for SITE WITH SUN MIX BLUEGRASS TURF SEED PLUS 4,250 s.f. in PARKWAY WITH SALT TOLERANT MIX TURF SEED

MULCH AREAS - APPROX 17,700 S.F. FOR BEDS, FOUNDATION & PARKING END ISLANDS APPROX. 76 INDIVIDUAL TREES WITH 3.5' DIA. TREE RINGS (9.5 S.F EACH = 730 S.F.)

MULCH AREAS AT 2" DEPTH FOR BEST PLANT HEALTH = APPROX 116 C.Y.

LEGEND:
N.A.G. SC 250 TURF REINFORCEMENT MAT OR EQUIVALENT WITH TURF SEED = APPROX 8,200 S.F.





Variance List Southcreek Business Center

Section 158.027(B)(1): An exception to allow for a ROW width that is less than specified in Appendix A: Table A-1. The ROW width will vary along Pinnacle Drive within the business park. The east ROW line for Pinnacle Drive will be located 1-ft east of the design east back-of-curb. A 15-ft wide easement will be dedicated east of the ROW to accommodate proposed utilities and a multi-use path. The west ROW line will be located on the existing parcel line.

Section 159.080(I)(2): An exception to allow for the width of the drives to be greater than 40-feet. This is due to the location of the ROW line being close to the Pinnacle Drive curb line and needed width to allow for turning movements of large trucks.

Section 159.108(C)(1): An exception to allow for parking stall width of 9.0-feet. This is consistent with similar developments in the same area of the Village.