

Meeting Agenda
Planning and Zoning Commission

Tuesday, April 14, 2026

6:00 PM

Village Hall Board Room
1050 W. Romeo Rd

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. APPROVAL OF AGENDA
- 4. APPROVAL OF MINUTES

[PZMIN26-119](#)

Attachments: [PZC 03102026.pdf](#)

- 5. PUBLIC HEARINGS

[PH26-2431](#) A Public Hearing on a Special Use Permit for a Major Change to a Planned Unit Development-Final Development Plan for 7 Brew at 440 S. Weber Road

- 6. NEW BUSINESS

[ORD26-2050](#) An Ordinance Approving a Major Amendment to the Special Use Permit for a Planned Unit Development-Final Development Plan for 7Brew at 440 S. Weber Road

Attachments: [ORD26-2050 PCR](#)
[ORD26-2050 Exhibit A Site Plans](#)
[ORD26-2050 Exhibit B Elevations & Signage](#)
[ORD26-2050 Exhibit C Landscape Plan](#)

- 7. OLD BUSINESS
- 8. CITIZENS TO BE HEARD
- 9. CHAIR'S REPORT
- 10. COMMISSIONER'S REPORT

11. VILLAGE BOARD LIAISON REPORT
12. COMMUNITY DEVELOPMENT DEPARTMENT REPORT
13. ADJOURNMENT

This meeting will be held in an accessible location. If you need a reasonable accommodation, please contact the Village Clerk's office, 1050 W Romeo Road, Romeoville, IL 60446 at 815-886-5636. Live, online streaming of the Regular Meeting of the Village Board is available on the Village of Romeoville YouTube page. Videos and agenda packets can be accessed by clicking on the Agendas & Minutes link on the homepage of the Village website. This page includes archived footage, agendas, and minutes available for public view at their convenience.

PUBLIC COMMENT: This section is intended for public statement and is not a period of time for debate. Each speaker is limited to a maximum of 3 minutes and anyone who is not available to attend the meeting may submit comments by 5 PM the day before the meeting to the Village Clerk at villageclerk@romeoville.org to be added to the record.



Legislation Text

File #: PZMIN26-119, **Version:** 1

Village of Romeoville

1050 W Romeo Rd



Meeting Minutes - Draft

Tuesday, March 10, 2026

6:00 PM

Village Hall Board Room

1050 W. Romeo Rd

Planning and Zoning Commission

1. CALL TO ORDER

2. ROLL CALL

- Present** 7 - Chairman David Venn, Commissioner Paul Scieszka, Commissioner Jim McConachie, Commissioner Dan Repetowski, Commissioner Rich Holloway, Commissioner Gary Nelson, and Associate Member Ben Smith
- Absent** 2 - Commissioner Petra Burgess, and Associate Member Sharon Hoffman

3. APPROVAL OF AGENDA

A motion was made by Paul Scieszka, seconded by Dan Repetowski, to Approve the Agenda. The motion carried unanimously.

4. APPROVAL OF MINUTES

A motion was made by Rich Holloway, seconded by Dan Repetowski, to Approve the February 10, 2026 minutes. The motion carried unanimously.

[PZMIN26-11](#)
[6](#)

Attachments: [PZC 02102026.pdf](#)

5. PUBLIC HEARINGS

6. NEW BUSINESS

[ORD26-2038](#) **An Ordinance Approving the Official Zoning Map- 2026**

Attachments: [ORD26-2038 Exhibit A](#)

ORD 26-2038 ZM RVBA

Scott Williams, Senior Planner read the Project Compliance Report.

The zoning map has been updated to include all the annexations and changes in 2025. It reflects the annexation of the remaining 4.6-acre balance of the now village-owned Ward Farm. The update was done using the Village Geographic Information Systems (GIS) program. The colors used reflect industry standards for land-use types.

Method of Investigation:

The Development Review Committee has reviewed the map.

Findings of Fact:

Following are the proposed findings of fact.

1. The proposal complies with the requirements of the Comprehensive Plan.
2. The proposal complies with the requirements of the Development Regulations.
3. The proposal complies with the requirements of the Zoning Ordinance.

Recommendation:

The Development Review Committee recommends Approval.

Chairman Venn asked if the village boundaries are expanding. Staff replied no, the 2025 changes on the zoning map were infill and surrounded by other village properties. Commissioner Nelson asked about remaining vacant lots within the municipality. Staff provided a broad overview of lots available on Weber and Independence while emphasizing the existing challenges to their development. Commissioner Nelson followed up on the Estate Residential (E-R) zoning district. Staff explained the designation and its restrictiveness.

A motion was made by Commissioner Holloway, seconded by Commissioner Scieszka, that the Ordinance be Recommend for Approval to the Village Board on 3/18/2026. The motion carried by a unanimous vote.

7. OLD BUSINESS
8. CITIZENS TO BE HEARD
9. CHAIR'S REPORT
10. COMMISSIONER'S REPORT
11. VILLAGE BOARD LIAISON REPORT
12. COMMUNITY DEVELOPMENT DEPARTMENT REPORT
13. ADJOURNMENT



Legislation Text

File #: PH26-2431, **Version:** 1



Legislation Text

File #: ORD26-2050, **Version:** 1

Village of Romeoville

Project Compliance Report

Date: April 8, 2026

Description/Title: An Ordinance Approving a Major Amendment to the Special Use Permit for a Planned Unit Development-Final Development Plan for 7Brew at 440 S. Weber Road

Type of Review: Special Use Permit

Summary:

Laura Pacino, representing 7Brew, is seeking a major amendment for the reuse of a stand-alone coffee shop on outlot 7 of the Romeoville Crossings subdivision, at 440 S. Weber Road. This property was formerly a Freddy's restaurant.

The building was approved as a Planned Unit Development (PUD), ORD22-1759, for a Freddy's Restaurant. 7Brew is looking to reuse the building as a standalone coffee shop. The site will be drive thru only. Site modifications including but not limited to a new sign package, drive thru stacking, and minor façade improvement will take place. These changes require a major change PUD amendment. The building square footage would be unchanged at 3,150 square feet. The site will be accessed from two points on the internal access road. These access points are already set up for cross access with the outlots to the north and south. The applicant will be removing parking stalls to accommodate all stacking within the property. 7Brew will not need excess parking because dining in is not an option at this site. This will alleviate any issue with drive thru stacking. The drive aisles in the rear are shown as one way. The drive thru stacking will wrap around the building on the north side if additional space is needed. A signage plan is included with the PUD amendment.

The following chart describes the zoning and land uses surrounding the property.

	ZONING	LAND USE	USER
SITE	B-3, Highway / Regional Commercial	Vacant	Vwich Enterprises LLC (Former Freddy's Restaurant)
NORTH	B-3, Highway / Regional Commercial	Commercial	Lenny's car wash
SOUTH	B-3, Highway / Regional Commercial	Commercial	Romeoville Smiles Dentist
EAST	B-3, Highway / Regional Commercial	Commercial	Murphy Express
WEST	B-3, Highway / Regional Commercial	Commercial	Walmart

Presenter: MS

Method of Investigation:

The Development Review Committee has reviewed the proposal.

Findings of Fact:

Following are the proposed findings of fact.

1. The proposal complies with the requirements of the Comprehensive Plan.
2. The proposal complies with the requirements of the Development Regulations.
3. The proposal complies with the requirements of the Zoning Ordinance.

Recommendation:

The Development Review Committee recommends Approval.

Aerial:



Presenter: MS

SITE DEVELOPMENT PLANS FOR



ROMEOVILLE, IL 01

440 S WEBER RD
ROMEOVILLE, IL 60446

PROJECT NUMBER:
104.100



SHEET INDEX	
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EXISTING UTILITY INFORMATION:	
WATER	VILLAGE OF ROMEOVILLE – PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870
ELECTRIC	COMED 10 S. DEARBORN ST CHICAGO, IL 60603 1-800-334-7661
SEWER	VILLAGE OF ROMEOVILLE – PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870
STORM WATER	VILLAGE OF ROMEOVILLE – PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870
GAS	NICOR GAS 1844 FERRY RD NAPERVILLE, IL 60563 1-888-642-6748
CABLE	AT&T 430 N WEBER RD ROMEOVILLE, IL 60446 1-800-288-2020

VILLAGE CONTACT:
CONTACT: JONATHAN A. ZABROCKI, PE
ADDRESS: 615 ANDERSON DRIVE
ROMEOVILLE, IL 60446
PHONE: (815) 886-1870



FIRM LICENSE NO. 63620661



ENGINEER OF RECORD:
NAME: MATTHEW STEVEN MILLER
LICENSE NO. IL #PE 062 065164

PROJECT NUMBER: 104.100
REVISION:

7 BREW COFFEE
ROMEOVILLE, IL 01
440 S WEBER RD
ROMEOVILLE, IL 60446

C0.0
COVER SHEET

DATE: MARCH 31, 2026



0 250 500

NOTE: DRAWING REPRODUCTION
AND SCALING MAY CHANGE THE
INDICATED GRAPHIC SCALES
H. SCALE: 1" = 500'

CIVIL LEGENDS

ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes items like BC (BACK OF CURB), CC (STANDARD CATCH CURB), CL (CENTER LINE), CMP (CORRUGATED METAL PIPE), EP (EDGE OF PAVEMENT), FES (FLARED END SECTION), FL (FLOW LINE), GT (GUTTER INVERT), GY (GUY WIRE), HDPE (HIGH DENSITY POLYETHYLENE), INV (INVERT), LF (LINEAR FEET), MC (MOUNTABLE CURB), PVC (POLYVINYL CHLORIDE PIPE), RW (RIGHT-OF-WAY), RCP (REINFORCED CONCRETE PIPE), SC (SPILL CURB), TB (TOP OF BASE ROCK), TC (TOP OF CURB), TGV (TOP OF GRAVEL), TG (TOP OF GROUND), TP (TOP OF PAVEMENT), TS (TOP OF SIDEWALK), TW (TOP OF WALL), EX TC (EXISTING TOP OF CURB), EX TP (EXISTING TOP OF PAVEMENT), EX TS (EXISTING TOP OF SIDEWALK), and a symbol for DIRECTION OF SHEET FLOW.

SYMBOLS:

Table with 2 columns: Symbol and Description. Includes symbols for MARKER STONE, RIGHT OF WAY MARKER, IRON PIN FOUND, IRON PIN SET, CUT CROSS, CONTROL POINT, BENCHMARK, SANITARY SEWER MANHOLE, GUTTER INVERT, STORM CLEANOUT, STORM SEWER AREA INLET, STORM SEWER CURB INLET, STORM SEWER MANHOLE, FLARED END SECTION, TELEPHONE MANHOLE, TELEPHONE RISER, POWER POLE, GUY ANCHOR, LIGHT POLE, ELECTRIC BOX, GAS METER, GAS VALVE, WATER METER, WATER VALVE, FIRE HYDRANT, WELL, IRRIGATION VALVE, SPRINKLER HEAD, AIR CONDITIONING UNIT, MAILBOX, POST, and SIGN.

LINETYPES:

Table with 2 columns: Linetype and Description. Includes PL (PROPERTY LINE), RW (RIGHT OF WAY LINE), LL (LOTLEASE LINE), S (SANITARY SEWER LINE), FM (SANITARY SEWER FORCE MAIN), ST (STORM SEWER LINE), FL (FLOW LINE), OHE (OVERHEAD ELECTRIC LINE), UE (UNDERGROUND ELECTRIC LINE), G (GAS LINE), W (WATER LINE), IR (IRRIGATION WATER LINE), C (COMMUNICATIONS LINE), T (TELEPHONE LINE), FO (FIBER OPTIC LINE), O (CHAIN LINK FENCE), X (BARBED WIRE FENCE), W (WOOD FENCE), 1000 (EXISTING MAJOR CONTOUR), 1001 (EXISTING MINOR CONTOUR), 1000 (PROPOSED MAJOR CONTOUR), 1001 (PROPOSED MINOR CONTOUR), TREE LINE, FFL (FEMA FLOODPLAIN), FFW (FEMA FLOODWAY), LOD (LIMIT OF DISTURBANCE), COMPOST FILTER SOCK, and DIRECTION OF SHEET FLOW.

PROJECT CONTROL:

BENCHMARKS:

ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE, NAD 83 FOR HORIZONTAL VALUES AND NAVD88 FOR VERTICAL VALUES

SURVEY NOTES:

THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A SURVEY PERFORMED ON DECEMBER 16, 2025 BY MANHARD CONSULTING, ILLINOIS, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4017 AND IS NOT A PRODUCT OF TOTH & ASSOCIATES.

Table with 5 columns: POINT NUMBER, NORTHING, EASTING, ELEVATION, and DESCRIPTION. Lists points CP 1, CP 2, CP 3, CP 4, 400, and 401 with their respective coordinates and descriptions like 'X' IN CONCRETE, BM 1, and BM 2.

FLOOD PLAN INFORMATION:

FEMA PANEL #: 1719700155G
EFFECTIVE DATE: FEBRUARY 15, 2019
FEMA ZONE: X - THE SUBJECT PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD ZONE

DEVELOPER:

WHO BREW, LLC
CONTACT: CHRIS GEORGE
PHONE: (847) 372-2586
EMAIL: CHRISGEORGE@WHOBREWLLC.COM



FIRM LICENSE NO. 63620661



ENGINEER OF RECORD:

NAME: MATTHEW STEVEN MILLER

LICENSE NO. IL #PE 062 065164

PROJECT NUMBER: 104.100

REVISION:

GENERAL CIVIL NOTES

- 1. THE GENERAL NOTES ON THE DRAWINGS ARE INTENDED TO SUPPLEMENT THE GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS...
2. CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THESE DRAWINGS...
3. ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)...
4. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT...
5. EXISTING UNDERGROUND UTILITIES IN THE VICINITY OF THE WORK TO BE DONE ARE INDICATED ON THE DRAWINGS ONLY...
6. THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER...
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND OWNER WILL PAY ALL FEES AS REQUIRED BY PERMITS FOR THIS CONSTRUCTION...
8. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO EITHER THE LOCAL JURISDICTION OR THE STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS...
9. ALL TRENCHES CROSSING THROUGH PAVED AREAS OR AREAS TO BE PAVED SHALL BE BACKFILLED FULL DEPTH WITH COMPACTED CRUSHED STONE MATERIAL...
10. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE...
11. ANY ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY...
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS IN THE VICINITY OF THE JOB CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS...
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT OF WAY AND FOR DAMAGED IMPROVEMENTS SUCH AS CURBS, SIDEWALKS, STREET LIGHT AND TRAFFIC SIGNAL JUNCTION BOXES...
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION AS OUTLINED IN THE EROSION CONTROL PLAN...
15. THE CONTRACTOR SHALL CLEAN OUT ALL INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT THE COMPLETION OF SITE WORK...
16. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS...
17. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS...
18. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS AND/OR INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID...

DEMOLITION NOTES

JOB CONDITIONS

- 1. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF ANY STRUCTURES TO BE DEMOLISHED.
2. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE PROJECT SITE AT THE APPROVAL OF THE OWNER...
3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED ON THIS PROJECT.
4. THE CONTRACTOR SHALL CONDUCT THE DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
5. THE CONTRACTOR SHALL INSURE SAFE PASSAGE OF PERSONS AROUND THE DEMOLITION AREA...
6. PROVIDE INTERNAL AND EXTERNAL SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF ANY STRUCTURES TO BE DEMOLISHED...
7. MAINTAIN EXISTING UTILITIES INDICATED TO STAY IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS...

DEMOLITION

- 1. POLLUTION CONTROLS: USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR...
2. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS...
3. BREAK UP AND REMOVE CONCRETE SLABS ON GRADE, UNLESS OTHERWISE SHOWN TO REMAIN.
4. BELOW-GRADE CONSTRUCTION: DEMOLISH FOUNDATION WALLS AND OTHER BELOW GRADE CONSTRUCTION...
5. FILLING VOIDS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DETAILS AS OUTLINED BELOW.
6. USE SATISFACTORY SOIL MATERIALS AS DEFINED IN THE GEOTECHNICAL ENGINEERING REPORT...
7. PRIOR TO PLACEMENT OF FILL MATERIAL, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST OR FROZEN MATERIAL...
8. PLACE FILL MATERIAL IN HORIZONTAL LAYERS AT DEPTHS AND MOISTURE CONTENTS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEERING REPORT...
9. AFTER FILL PLACEMENT AND COMPACTION, GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE FLOW TO SURFACE STRUCTURES.
10. ALL TREES INDICATED TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE STATE PARKS AND WILDLIFE'S WILD HABITAT ASSESSMENT PROGRAM...

DISPOSAL OF DEMOLISHED MATERIALS

- 1. REMOVE FROM SITE ACCUMULATED VEGETATION, DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM THE DEMOLITION OPERATION.
2. BURNINGS OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES AND VEGETATION WILL NOT BE PERMITTED ON SITE.
3. REMOVAL: TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES, VEGETATION, PAVEMENT AND BASE ROCK AND LEGALLY DISPOSE OFF SITE.

PROTECTION OF EXISTING STRUCTURES AND VEGETATION

- 1. CONTRACTOR SHALL INSTALL 6" STEEL FENCE POSTS, DRIVEN 18" INTO THE GROUND, AT 10' ON CENTER AT TREE DRIP LINES AND INSTALL 4" TENAX ORANGE WARNING BARRIER OR EQUAL, ATTACHED AS RECOMMENDED BY THE MANUFACTURER...
2. EXISTING TREES DURING CONSTRUCTION, CONTRACTOR SHALL REMOVE POSTS AND FENCE FABRIC AFTER ALL CONSTRUCTION IS COMPLETE.

SEDIMENT & EROSION CONTROL NOTES

- 1. THE EROSION CONTROL PLAN SHOWS THE LOCATION AND DETAILS FOR PRIMARY EROSION CONTROLS TO BE CONSTRUCTED...
2. INITIAL SEDIMENT CONTROLS SHOWN ON THE EROSION CONTROL PLAN MUST BE INSTALLED PRIOR TO ANY OTHER WORK.
3. THE CONTRACTOR SHALL CLEAN ALL STREETS BOTH INTERIOR AND ADJACENT TO THE SITE, AS NEEDED AFTER EACH RAINFALL AND AT THE END OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING CONSTRUCTION AND SHALL WATER CONSTRUCTION AREAS WHENEVER CONDITIONS WARRANT.
5. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT FROM STORM DRAINS, INLETS, CULVERTS, ETC. PRIOR TO APPROVAL OF CONSTRUCTION.
6. ALL DISTURBED AREAS NOT RECEIVING OTHER PERMANENT STABILIZATION SUCH AS PAVEMENT, ROOFS, SOD AND ETC., SHALL BE SEEDED AND MULCHED...
7. IF APPLICABLE THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS AS PUT FORTH IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP)...
8. STONES OR BOULDERS MEASURING GREATER THAN 12" IN ANY DIMENSION SHALL NOT BE PLACED IN THE UPPER 3 FEET OF THE FILL...
9. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING AND CORRECTING UNSUITABLE SOIL CONDITIONS RELATED TO WET SOILS AND OTHER CONDITIONS...
10. CONTRACTOR SHALL NOTIFY THE OWNERS OR THEIR REPRESENTATIVE FOR INSPECTION PRIOR TO PLACEMENT OF CRUSHED STONE BASE AND ALSO PRIOR TO PLACEMENT OF PAVEMENT MATERIALS.
11. THE CONTOURS, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS...
12. CONTRACTOR SHALL FINISH GRADE EARTH SLOPES AS SHOWN TO NO STEEPER THAN 1 FOOT VERTICAL TO 3 FEET HORIZONTAL.
13. CONTRACTOR SHALL GRADE LANDSCAPED AREAS AT A MINIMUM OF 1% TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS...
14. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES...
15. ALL CLASSIFICATION OF EXCAVATED MATERIALS WILL BE MADE UNLESS OTHERWISE SPECIFIED IN THE PROJECT DOCUMENTS...
16. ALL DISTURBED AREAS, NOT RECEIVING PERMANENT STABILIZATION, SHALL HAVE 4" OF TOPSOIL REPLACED...
17. PRIOR TO MOVING OFF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO MAKE A FINAL REVIEW OF THE CONSTRUCTION SITE.
18. IN THE EVENT THAT BLASTING IS PERMITTED ON THE PROJECT, THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, APPLICABLE SAFETY CODE REQUIREMENTS AND REGULATIONS RELATIVE TO THE HANDLING, STORAGE AND USE OF EXPLOSIVES...

UTILITY CONSTRUCTION NOTES

- 1. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT...
2. ALL TRENCHES CROSSING PAVED AREAS OR AREAS TO BE PAVED SHALL BE BACKFILLED FULL DEPTH WITH COMPACTED BEDDING MATERIAL...
3. ALL UTILITY CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH CITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS AND STANDARD PLANS...
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER.
5. INSTALL TRACER WIRE WITH ALL SANITARY SEWER AND POTABLE WATER UTILITIES AS REQUIRED...
6. ALL HDPE PIPE, JOINTS AND FITTINGS SHALL BE ADS N-12 OR EQUAL...
7. COORDINATE THE INSTALLATION OF THE STORM SEWER WITH THE INSTALLATION OF THE POTABLE WATER, COMMUNICATION, ELECTRIC AND SANITARY SEWER TO AVOID CONFLICTS.
8. EARTHWORK SHALL BE PLACED TO FINISH GRADE IN THE IMMEDIATE AREA OF UTILITIES PRIOR TO CONSTRUCTION OF UTILITIES TO INSURE PROPER DEPTH OF COVER FOR UTILITIES.
9. ALL MATERIALS TO BE SUPPLIED AND LABOR TO BE DONE BY CONTRACTOR SHALL BE COMPLETED AS A PART OF THIS WORK...
10. ALL UTILITY SERVICE LINES SHALL BE KEPT IN SERVICE AND PROTECTED DURING CONSTRUCTION OPERATIONS...
11. ANY RELOCATION OF UTILITY SERVICE LINES THAT ARE REQUIRED TO COMPLETE THE PROJECT IS TO BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE...
12. ALL WATER, SEWER, FIBER OPTIC CABLE, GAS SERVICE AND OTHER UTILITY REQUIREMENTS SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL UTILITY PROVIDERS PRIOR TO INSTALLATION...

SITE GRADING NOTES

- 1. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT...
2. CONTRACTOR SHALL USE CAUTION AROUND ALL EXISTING UTILITIES LOCATED ON SITE...
3. SEDIMENT AND EROSION CONTROLS IN CONFORMANCE WITH THE EROSION CONTROL PLAN AND THE APPLICABLE SPECIFICATIONS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF SITE GRADING ACTIVITIES.
4. CONTRACTOR SHALL STRIP THE TOPSOIL FROM ALL AREAS TO BE DISTURBED AND STOCKPILE IT IN A LOCATION CHOSEN BY THE OWNER...
5. THE SUBGRADE FOR THE PROJECT SITE SHALL BE COMPACTED TO 95% STANDARD PROCTOR AS DETERMINED BY ASTM-D698...
6. STONES OR BOULDERS MEASURING GREATER THAN 12" IN ANY DIMENSION SHALL NOT BE PLACED IN THE UPPER 3 FEET OF THE FILL...
7. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING AND CORRECTING UNSUITABLE SOIL CONDITIONS RELATED TO WET SOILS AND OTHER CONDITIONS...
8. CONTRACTOR SHALL NOTIFY THE OWNERS OR THEIR REPRESENTATIVE FOR INSPECTION PRIOR TO PLACEMENT OF CRUSHED STONE BASE AND ALSO PRIOR TO PLACEMENT OF PAVEMENT MATERIALS.
9. THE CONTOURS, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT...
10. CONTRACTOR SHALL FINISH GRADE EARTH SLOPES AS SHOWN TO NO STEEPER THAN 1 FOOT VERTICAL TO 3 FEET HORIZONTAL.
11. CONTRACTOR SHALL GRADE LANDSCAPED AREAS AT A MINIMUM OF 1% TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS...
12. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES...
13. NO CLASSIFICATION OF EXCAVATED MATERIALS WILL BE MADE UNLESS OTHERWISE SPECIFIED IN THE PROJECT DOCUMENTS...
14. ALL DISTURBED AREAS, NOT RECEIVING PERMANENT STABILIZATION, SHALL HAVE 4" OF TOPSOIL REPLACED...
15. THE CONTRACTOR SHALL GRADE ALL AREAS DISTURBED DURING THE COMPLETION OF THIS PROJECT TO PREVENT PONDING OR EROSION...
16. ALL ITEMS REMOVED SHALL BE DISPOSED OFF SITE BY THE CONTRACTOR...
17. PRIOR TO MOVING OFF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO MAKE A FINAL REVIEW OF THE CONSTRUCTION SITE.
18. IN THE EVENT THAT BLASTING IS PERMITTED ON THE PROJECT, THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, APPLICABLE SAFETY CODE REQUIREMENTS AND REGULATIONS RELATIVE TO THE HANDLING, STORAGE AND USE OF EXPLOSIVES...

SAFETY NOTICE TO CONTRACTOR

- 1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE...
2. THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES...

UTILITY DISCLAIMER

- 1. INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE...
2. DRAWING REPRODUCTION AND SCALING MAY ALTER THE INDICATED GRAPHIC SCALES.

USE OF CONSTRUCTION DOCUMENTS

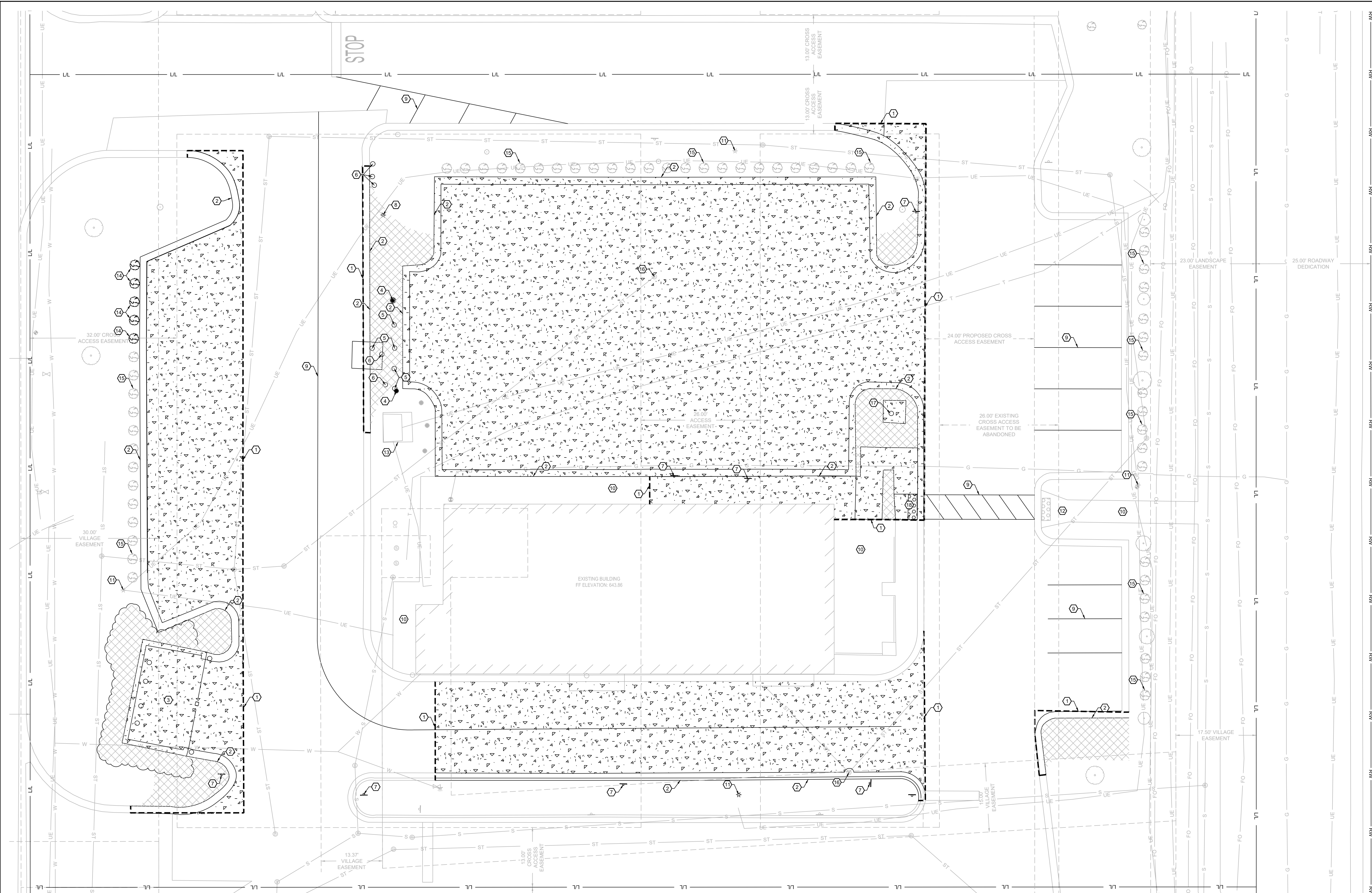
- 1. DRAWINGS AND SPECIFICATIONS ARE PROVIDED AS A SERVICE...
2. DRAWING REPRODUCTION AND SCALING MAY ALTER THE INDICATED GRAPHIC SCALES.

7 BREW COFFEE
ROMEIOVILLE, IL 01
440 S WEBER RD
ROMEIOVILLE, IL 60446



C0.1
GENERAL NOTES

DATE: MARCH 31, 2026



HATCH LEGEND:

	= REMOVE 11,800 S.F. ± OF CONCRETE AREA.
	= REMOVE 1,250 S.F. ± OF LANDSCAPE AREA.

- KEY NOTES:**
- | | |
|--|--|
| 1 SAW CUT CLEAN EDGE FOR PAVEMENT REMOVAL. PROTECT EDGE OF PAVEMENT DURING CONSTRUCTION. | 12 EXISTING ADA RAMP. DO NOT DISTURB. |
| 2 REMOVE 850 L.F. ± OF CONCRETE CURB. | 13 EXISTING TRANSFORMER. DO NOT DISTURB. |
| 3 REMOVE TRASH ENCLOSURE, BOLLARD(S), & FOUNDATION. | 14 REMOVE SHRUBS. |
| 4 REMOVE TREES. | 15 EXISTING SHRUBS. DO NOT DISTURB. |
| 5 REMOVE BOLLARDS, TYPICAL. | 16 EXISTING AREA INLET TO REMAIN. |
| 6 REMOVE MENU BOARD AND FOUNDATION. | 17 REMOVE FLAGPOLE, CONCRETE BASE, AND LIGHTS. |
| 7 REMOVE SIGN POST AND FOUNDATION. | 18 REMOVE ADA RAMP. |
| 8 REMOVE LIGHT POLE WITH CONCRETE BASE. | 19 EXISTING LIGHT POLE TO BE RELOCATED. SEE SHEET C4.1 FOR RELOCATION. |
| 9 ON PAVEMENT TO REMAIN IN PLACE. HYDROBLAST EXISTING STRIPING. | |
| 10 EXISTING SIDEWALK. DO NOT DISTURB. | |
| 11 EXISTING LIGHT POLE AND BASE. DO NOT DISTURB. | |

S. WEBER ROAD (HIGHWAY 88)
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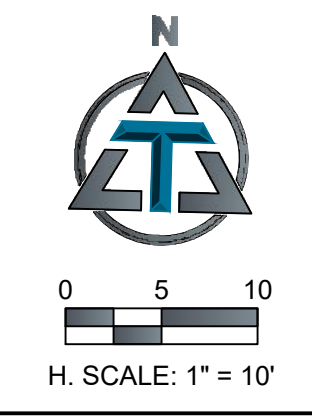
FIRM LICENSE NO. 63620661

ENGINEER OF RECORD:
NAME: MATTHEW STEVEN MILLER
LICENSE NO. IL #PE 062 065164

PROJECT NUMBER: 104.100
REVISION:

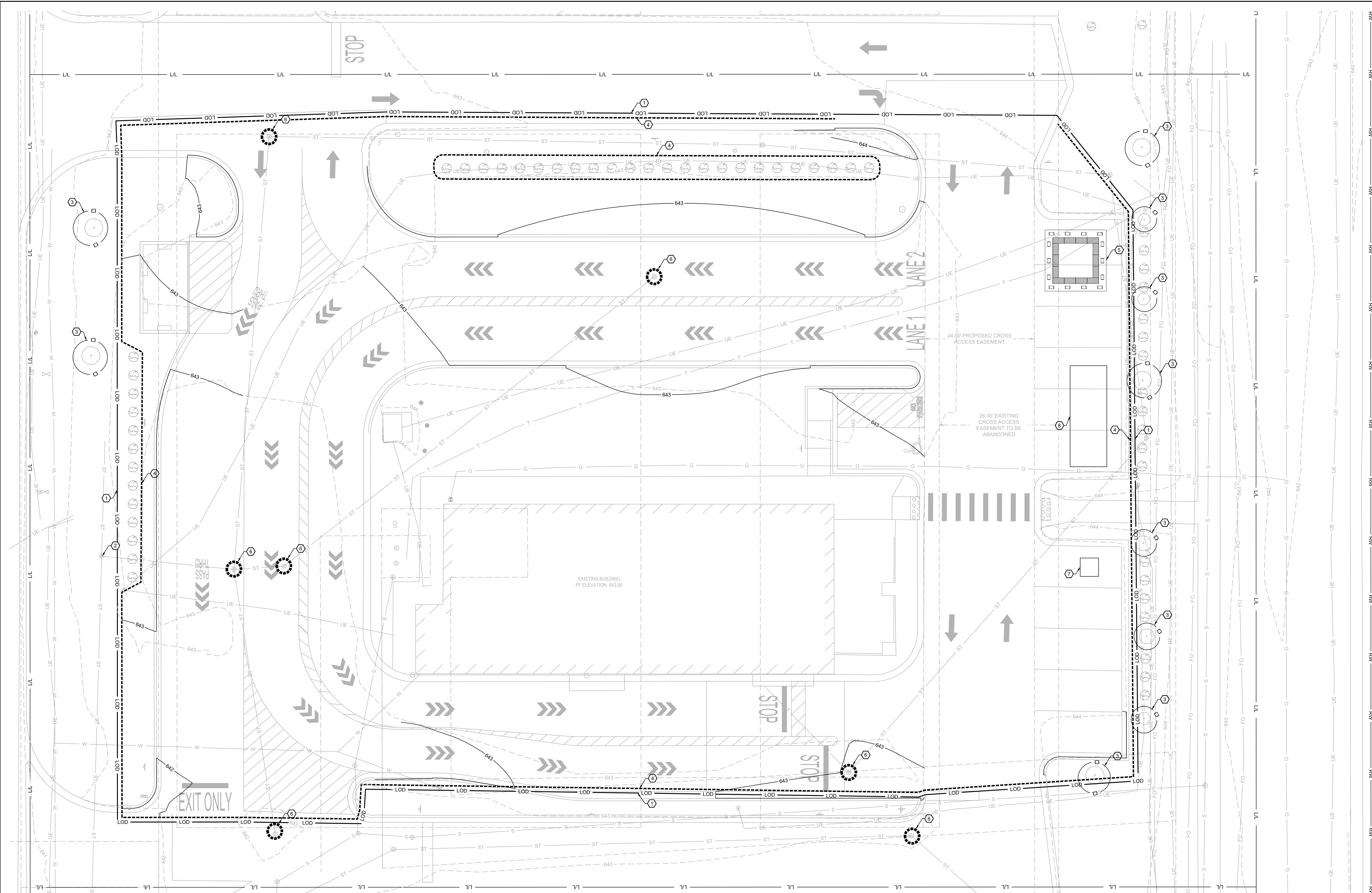
**7 BREW COFFEE
ROMEIOVILLE, IL 01**

440 S WEBER RD
ROMEIOVILLE, IL 60446



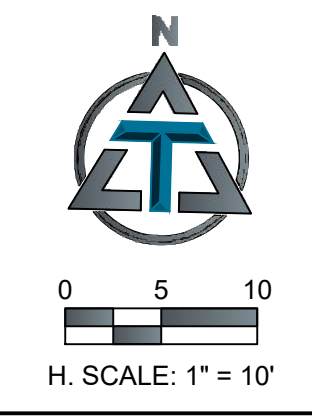
C1.1
DEMOLITION PLAN

DATE: MARCH 31, 2026



- KEY NOTES:**
- ① LIMITS OF DISTURBANCE = 0.75 ACRES.
 - ② PROPOSED OUTFALL.
 - ③ EXISTING TREE TO REMAIN, PROTECT PER DETAIL 1.06, SHEET C7.1.
 - ④ 686 L.F. ± OF COMPOST FILTER SOCK PER DETAIL 1.02, SHEET C7.1.
 - ⑤ CONCRETE WASHOUT PER DETAIL 1.03, SHEET C7.1. LOCATION SHOWN IS APPROXIMATE.
 - ⑥ 10 L.F. ± OF COMPOST FILTER SOCK AROUND AREA INLET, PER STORM INLET PROTECTION DETAIL 1.05, SHEET C7.1.
 - ⑦ PORTABLE RESTROOM. LOCATION SHOWN IS APPROXIMATE.
 - ⑧ TEMPORARY ROLL-OFF DUMPSTER. LOCATION SHOWN IS APPROXIMATE.

PHASING TABLE:		
PHASE	CONSTRUCTION ACTIVITIES	BEST MANAGEMENT PRACTICES INSTALLED
PHASE 1 (PRE - CONSTRUCTION)	INSTALLATION OF PRE-GON BMP'S	- TREE PROTECTION - CONSTRUCTION ENTRANCE - PERIMETER CONTROL (SILT SOCK)
PHASE 2	CLEARING	- RETAIN TOPSOIL - STOCK PILE PROTECTION - DUST CONTROL
PHASE 3	CONSTRUCTION	- CONCRETE WASHOUT PIT - CONSTRUCTION ENTRANCE - TEMPORARY SEEDING
PHASE 4 (FINAL STABILIZATION)	FINAL STABILIZATION OF ALL DISTURBED AREAS	- HYDROSEED - SEED / STRAW



FIRM LICENSE NO. 63620661

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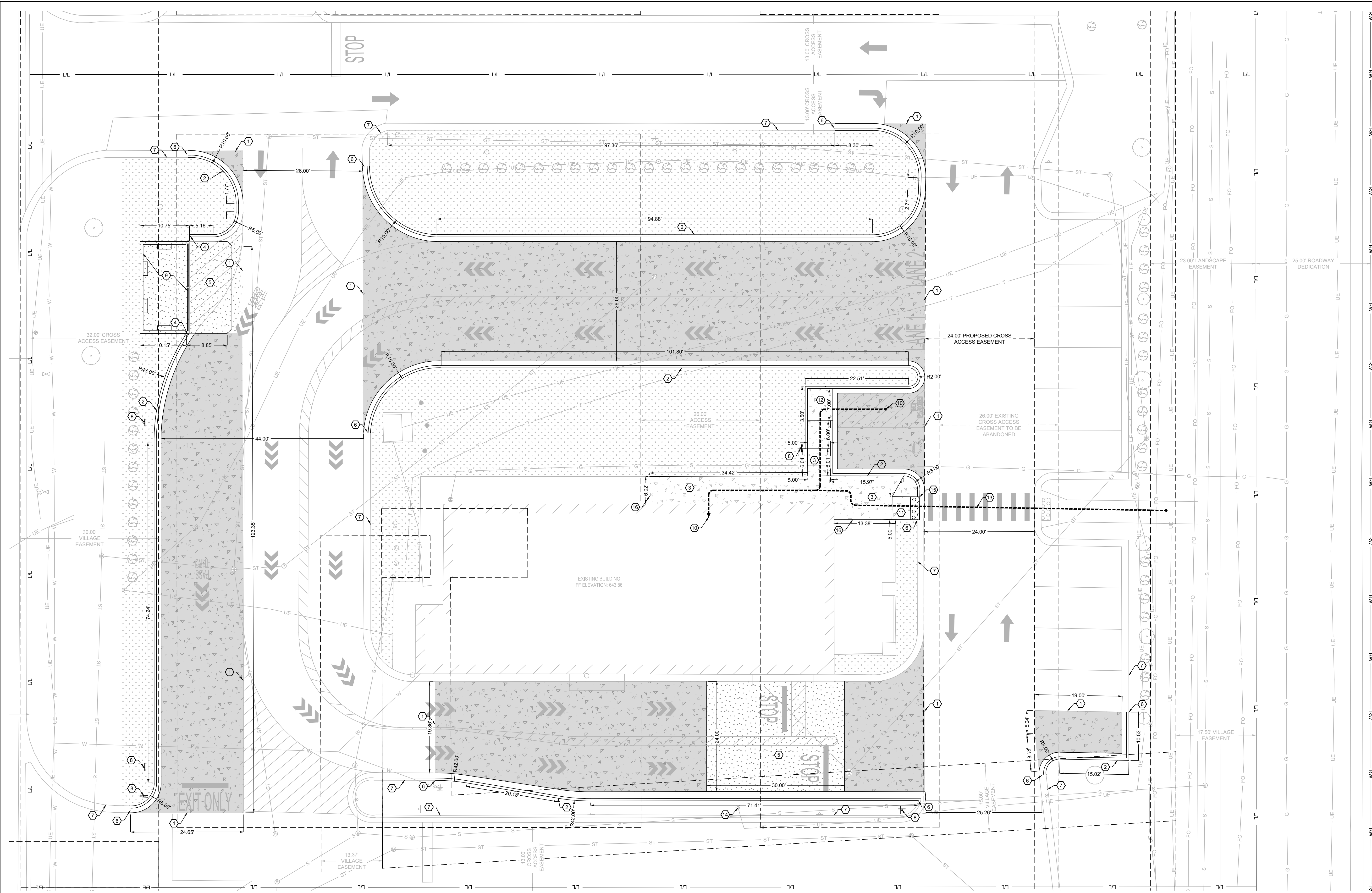
7 BREW COFFEE
ROMEOVILLE, IL 01

440 S WEBER RD
ROMEOVILLE, IL 60446

C1.2

EROSION CONTROL PLAN

DATE: MARCH 31, 2026



HATCH LEGEND:

- [Pattern] LIGHT DUTY CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05, SHEET C7.1.
- [Pattern] CONCRETE SIDEWALK PER SIDEWALK DETAIL 2.02, SHEET C7.1.
- [Pattern] HEAVY DUTY CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.06, SHEET C7.1.
- [Pattern] LANDSCAPE AREA REFER TO LANDSCAPE PLAN.

- KEY NOTES:**
- MATCH EXISTING PAVEMENT.
 - CONCRETE CURB & GUTTER PER DETAIL 2.01, SHEET C7.1.
 - SIDEWALK PER DETAIL 2.02, SHEET C7.1.
 - CURB TRANSITION PER DETAIL 2.15, SHEET C7.1.
 - CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.06, SHEET C7.1.
 - CONNECT TO EXISTING CURB.
 - EXISTING CURB AND GUTTER, DO NOT DISTURB.
 - SIGN, SEE SHEET C6.1.
 - TRASH ENCLOSURE AND GATE, PER ARCHITECTURAL PLANS.
 - ACCESSIBLE PATH FROM PARKING TO BUILDING.
 - MODIFIED TYPE 1 ADA CURB RAMP PER DETAIL 2.11, SHEET C7.1.
 - MODIFIED TYPE 2 ADA CURB RAMP PER DETAIL 2.12, SHEET C7.1.

ACCESSIBLE PATH FROM PUBLIC ROW TO BUILDING:

- (13) ACCESSIBLE PATH FROM PUBLIC ROW TO BUILDING.
- (14) RELOCATED LIGHT POLE.
- (15) DETECTABLE WARNING PLATE PER VILLAGE DETAIL, SHEET C7.2.
- (16) CONNECT TO EXISTING SIDEWALK.

BUILDING AND LOT DATA:

PROJECT FOOTPRINT	47,263 S.F.	1.09 ACRES
EXISTING BUILDING (1 STORY) - RETAIL	3,238 S.F.	

QUANTITIES:

CURB & GUTTER	± 367 L.F.
5-INCH CONCRETE PAVEMENT	± 7,487 S.F.
7-INCH CONCRETE PAVEMENT	± 1,174 S.F.
4-INCH CONCRETE SIDEWALK	± 506 S.F.
LANDSCAPING	± 6,660 S.F.

PROPOSED USE:
RESTAURANT WITH DRIVE THRU.

ZONING:
ZONING: B-3 HIGHWAY/REGIONAL SHOPPING DISTRICT

PARKING REQUIREMENTS:
REQUIRED: 1 SPACE PER 100 S.F. OF GROSS FLOOR AREA = 32 STALLS.
PROVIDED: 12 STALLS, 11 STANDARD AND 1 ADA.

DRIVE-THRU QUEUE STACKING REQUIREMENTS:
REQUIRED: 5 SPACES
PROVIDED: LANE 1 = 14 SPACES
LANE 2 = 16 SPACES

STORMWATER NOTES:

PRE-PROJECT IMPERVIOUS AREA	± 35,017 S.F.
PRE-PROJECT PERVIOUS AREA	± 12,246 S.F.
TOTAL	± 47,263 S.F.
POST-PROJECT IMPERVIOUS AREA	± 32,071 S.F.
POST-PROJECT PERVIOUS AREA	± 15,378 S.F.
TOTAL	± 47,263 S.F.

NOTES:
IMPERVIOUS AND PERVIOUS SURFACE CALCULATIONS ARE BOUNDED BY THE PROPERTY LINE.

NOTES:

THREE (3) DRILLED AND GROUTED NO. 5 REINFORCING BARS OR EXPANSION TIE ANCHORS, 5/8" IN DIAMETER, SHALL BE USED TO TIE THE NEW CURB AND GUTTER TO THE EXISTING CURB AND GUTTER ON EACH SIDE.

TWO 30" X 24" DETECTABLE WARNING PLATES ARE REQUIRED FOR 5' WALKS, EAST JORDAN DETECTABLE WARNING PLATE DETAIL, SHEET C7.2.

Scale:
H. SCALE: 1" = 10'

Logos:
North arrow, TOOTH & ASSOCIATES, JULIE ILLINOIS ONE-CALL SYSTEM, Simply Call 811.

S. WEBER ROAD (HIGHWAY 88)
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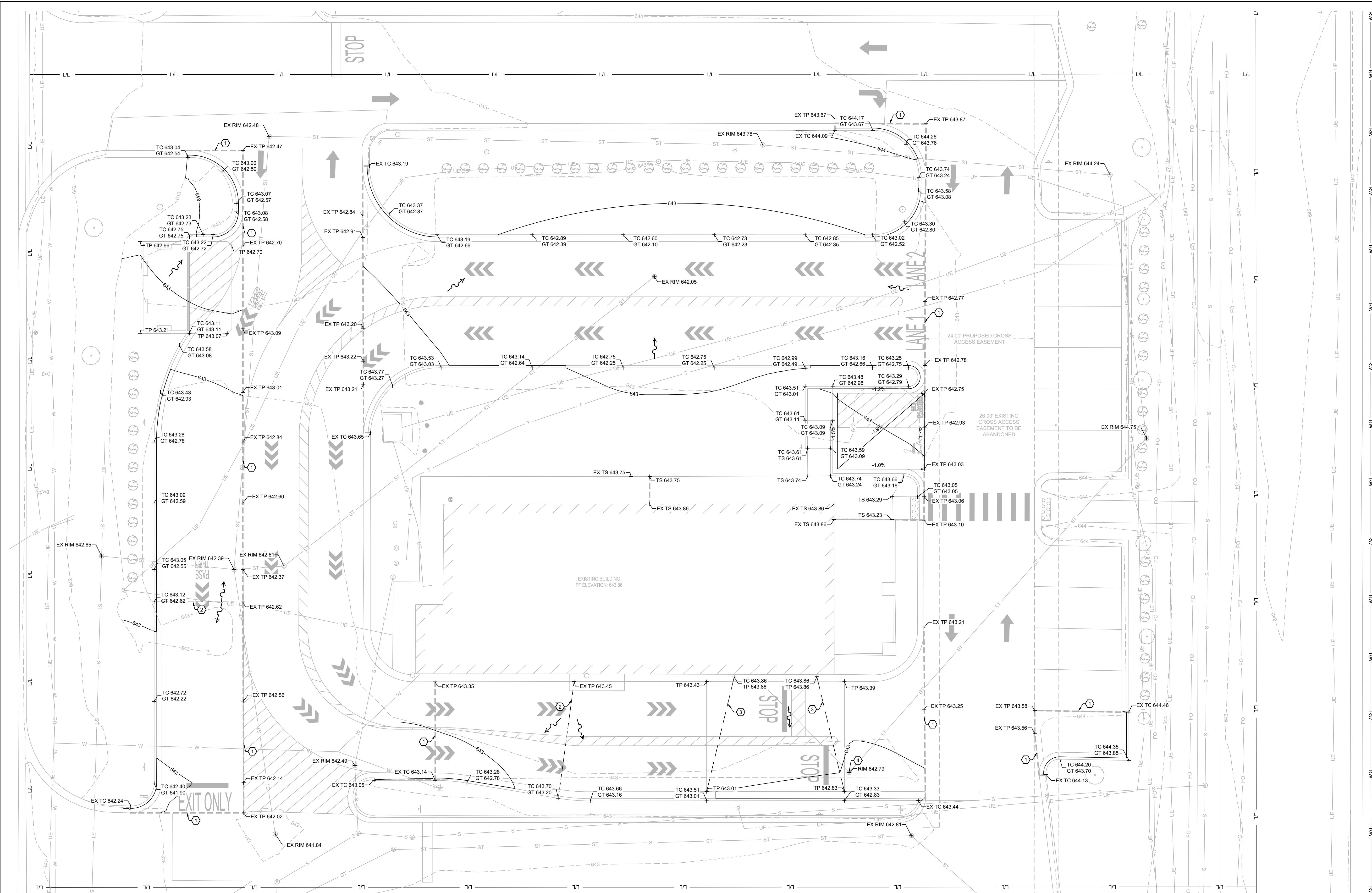
C2.1
SITE PLAN

DATE: MARCH 31, 2026

TOOTH & ASSOCIATES

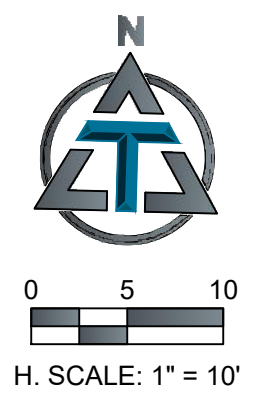
1550 E. REPUBLIC ROAD
SPRINGFIELD, MO 65804
Ph: 417-888-0645 Fax: 417-888-0657
www.tothassociates.com

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- KEY NOTES:**
- ① MATCH EXISTING ELEVATION.
 - ② HIGH POINT IN PAVEMENT.
 - ③ CENTERLINE OF GRADE BREAK IN PAVEMENT.
 - ④ ADJUST RIM ELEVATION. EXISTING RIM ELEV = 642.62. PROPOSED RIM ELEV = 642.79.

- ABBREVIATIONS:**
- FES FLARED END SECTION
 - FL FLOW LINE
 - GT GUTTER
 - INV INVERT
 - RW RIGHT-OF-WAY
 - SC SPILL CURB
 - TC TOP OF CURB
 - TG TOP OF GROUND
 - TP TOP OF PAVEMENT
 - TS TOP OF SIDEWALK
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - EX TC EXISTING TOP OF CURB
 - EX TP EXISTING TOP OF PAVEMENT
 - EX TS EXISTING TOP OF SIDEWALK
 - DIRECTION OF SHEET FLOW



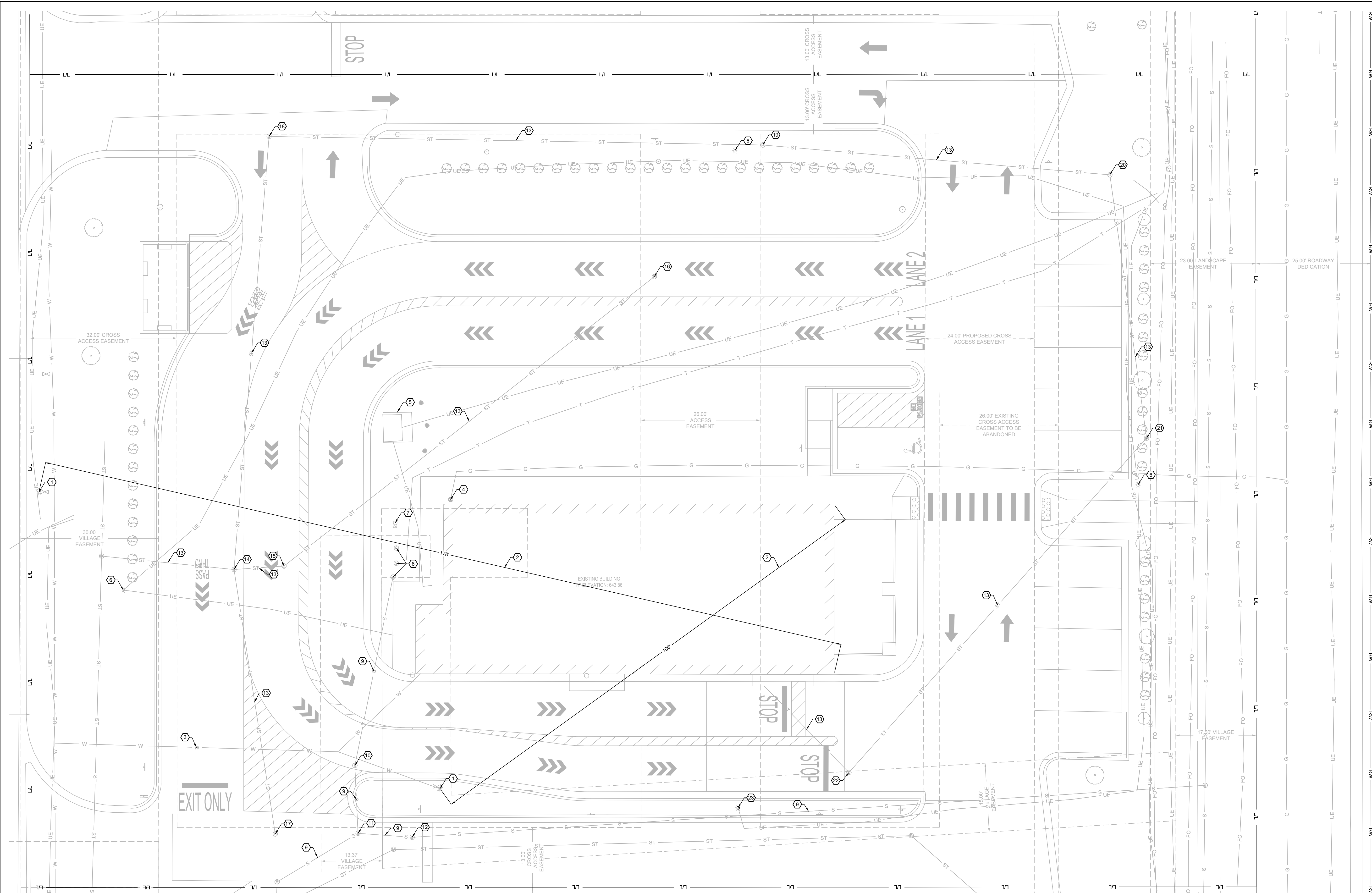
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C3.1
 GRADING PLAN
 DATE: MARCH 31, 2026

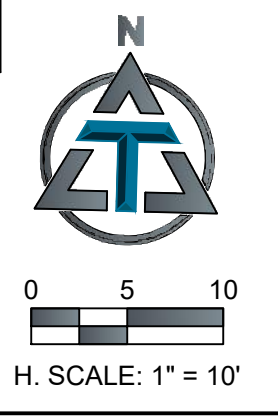


- KEY NOTES:**
- ① EXISTING FIRE HYDRANT.
 - ② DISTANCE TO NEAREST FIRE HYDRANT.
 - ③ EXISTING VILLAGE WATER MAIN. APPROXIMATE LOCATION SHOWN.
 - ④ EXISTING GAS METER.
 - ⑤ EXISTING TRANSFORMER.
 - ⑥ EXISTING LIGHT POLE.
 - ⑦ EXISTING CLEANOUT.
 - ⑧ EXISTING GREASE TRAP.
 - ⑨ EXISTING SANITARY LINE.
 - ⑩ EXISTING SANITARY MANHOLE. RIM ELEV = 642.49 (N) INV IN = 637.04 (S) INV OUT = 637.04
 - ⑪ EXISTING SANITARY MANHOLE. RIM ELEV = 642.35 (N) INV IN = 636.73 (SW) INV IN = 636.73 (E) INV OUT = 636.73
 - ⑫ EXISTING SANITARY MANHOLE. RIM ELEV = 642.38 (W) INV IN = 636.58 (E) INV OUT = 636.58
 - ⑬ EXISTING STORM LINE.
 - ⑭ EXISTING AREA INLET. RIM ELEV = 642.23 12-INCH RCP (N) INV IN = 636.83 12-INCH PVC (S) INV IN = 636.93 12-INCH PVC (E) INV IN = 636.18 12-INCH PVC (W) INV OUT = 636.18
 - ⑮ EXISTING AREA INLET. RIM ELEV = 642.45 12-INCH PVC (NE) INV IN = 636.99 12-INCH PVC (W) INV OUT = 636.89
 - ⑯ EXISTING AREA INLET. RIM ELEV = 642.05 12-INCH PVC (W) INV OUT = 637.85
 - ⑰ EXISTING AREA INLET. RIM ELEV = 641.77 12-INCH PVC (N) INV OUT = 637.97
 - ⑱ EXISTING AREA INLET. RIM ELEV = 642.24 12-INCH RCP (E) INV IN = 638.14 12-INCH RCP (S) INV OUT = 638.04
 - ⑲ EXISTING STORM MANHOLE. RIM ELEV = 642.23 12-INCH RCP (N) INV IN = 638.40 12-INCH RCP (E) INV IN = 638.40 12-INCH RCP (W) INV OUT = 638.20
 - ⑳ EXISTING STORM MANHOLE. RIM ELEV = 644.24 12-INCH RCP (N) INV IN = U.A. 12-INCH RCP (W) INV OUT = U.A.
 - ㉑ EXISTING STORM MANHOLE. RIM ELEV = 645.04 12-INCH RCP (SW) INV IN = 638.94 12-INCH RCP (N) INV OUT = 638.69
 - ㉒ EXISTING AREA INLET. ADJUSTED RIM ELEV = 642.79 6-INCH CPP (NW) INV IN = 639.52 12-INCH RCP (NE) INV OUT = 639.22
 - ㉓ RELOCATED EXISTING LIGHT POLE.

EXISTING UTILITY INFORMATION:

WATER	VILLAGE OF ROMEOVILLE - PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870	GAS	NICOR GAS 1844 FERRY RD NAPERVILLE, IL 60563 1-888-642-6748
	COMED 10 S. DEARBORN ST CHICAGO, IL 60603 1-800-334-7661		AT&T 430 N WEBER RD ROMEOVILLE, IL 60446 1-800-288-2020
ELECTRIC	VILLAGE OF ROMEOVILLE - PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870	CABLE	VILLAGE OF ROMEOVILLE - PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870
SEWER	VILLAGE OF ROMEOVILLE - PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870		
STORM WATER	VILLAGE OF ROMEOVILLE - PUBLIC WORKS 615 ANDERSON DR ROMEOVILLE, IL 60446 (815) 886-1870		

NOTE:
WHERE UTILITY ADJUSTMENTS ARE NECESSARY A MINIMUM OF TWO ADJUSTMENT RINGS AND A MAXIMUM OF THREE ADJUSTMENT RINGS OF A MINIMUM HEIGHT OF 6" AND MAXIMUM HEIGHT OF 10" OF ADJUSTING HEIGHT SHALL BE USED. NO 1" OR 2" CONCRETE RINGS ARE ALLOWED. UNDER PAVED AREAS, THE TOP RING SHOULD BE A RUBBER EJW INFRA-RISER COMPOSITE.



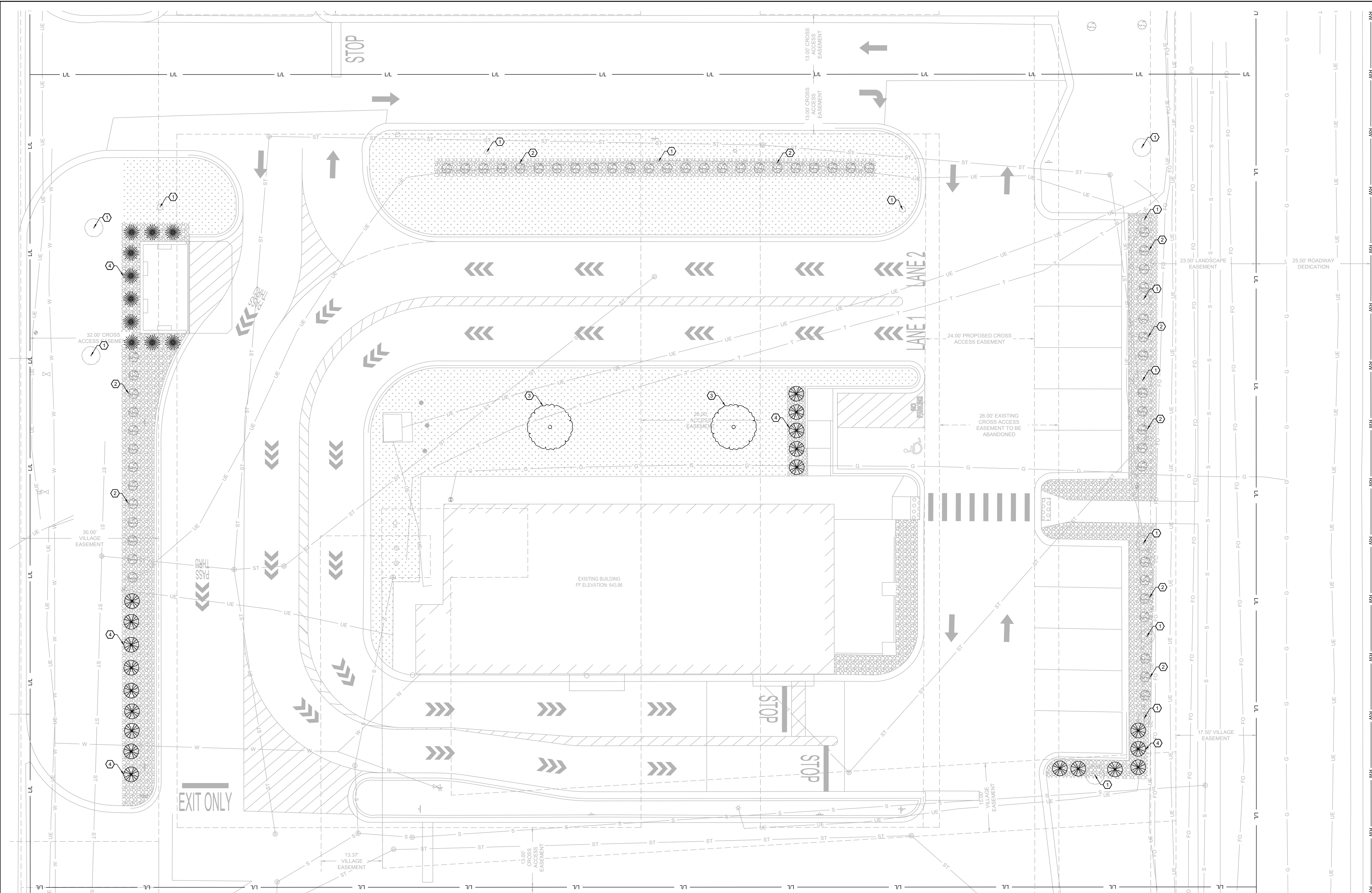
FIRM LICENSE NO. 63620661

ENGINEER OF RECORD:
NAME: MATTHEW STEVEN MILLER
LICENSE NO.: IL #PE 062 065164



PROJECT NUMBER: 104.100
REVISION:

7 BREW COFFEE
ROMEOVILLE, IL 01
 440 S WEBER RD
 ROMEOVILLE, IL 60446

C4.1
 UTILITY PLAN
 DATE: MARCH 31, 2026




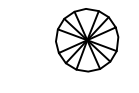
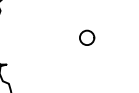
HATCH LEGEND:

-  TURF GRASS SOD = 5,086 S.F.
INSTALL PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
-  LANDSCAPE ROCK = 2,259 S.F.
PLACE 3" OF 1" - 2" RIVER ROCK OVER COMMERCIAL GRADE WEED FABRIC.

KEY NOTES:

- 1 EXISTING TREE.
- 2 EXISTING SHRUB.
- 3 TREES TO BE PLANTED ACCORDING TO TREE PLANTING DETAIL 5.01, SHEET C7.2.
- 4 SHRUBS TO BE PLANTED ACCORDING TO SHRUB PLANTING DETAIL 5.02, SHEET C7.2.

PLANTING KEY

	= HA (HOLMSTRUP ARBORVITAE)
	= GB (GREEN GEM BOXWOOD)
	= FE (FRONTIER ELM)

PLANTING LIST

TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY REQUIRED	QUANTITY PROVIDED	CONDITION AND SIZE	APPROXIMATE MATURE SIZE
TREES					
		2			
FE	FRONTIER ELM (ULMUS 'FRONTIER)		2	2.5" CAL. B&B	25'X30'
SHRUBS					
		30			
HA	HOLMSTRUP ARBORVITAE (THUJA O. HOLMSTRUP)		10	18" MIN.	6'X3'
GB	GREEN GEM BOXWOOD (BUXUS 'GREEN GEM')		20	18" MIN.	3'X3'

PARKING LOT PERIMETER LANDSCAPING:

ADDITIONAL SHRUBS HAVE BEEN PROVIDED AROUND THE ADDITIONAL PARKING SPACE IN THE SOUTHEAST CORNER AND ORNAMENTAL GRASS FOR THE ADA STALL IN THE BUILDING ISLAND.

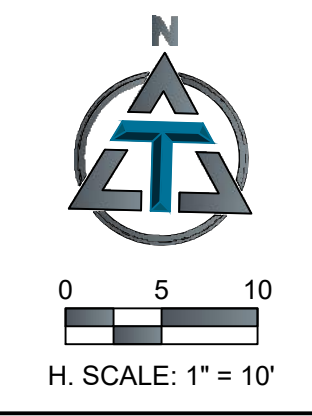
REFUSE SCREENING LANDSCAPE:

EVERGREEN SHRUBS HAVE BEEN PLACED AROUND THE TRASH ENCLOSURES FOR SCREENING REQUIREMENTS.

REPLACEMENT LANDSCAPING:

TWO TREES HAVE BEEN ADDED TO THE BUILDING ISLAND TO REPLACE THE TREES REMOVED.

FIVE SHRUBS HAVE BEEN ADDED AROUND THE NEW ADA PARKING STALL TO REPLACE THE SHRUBS REMOVED.



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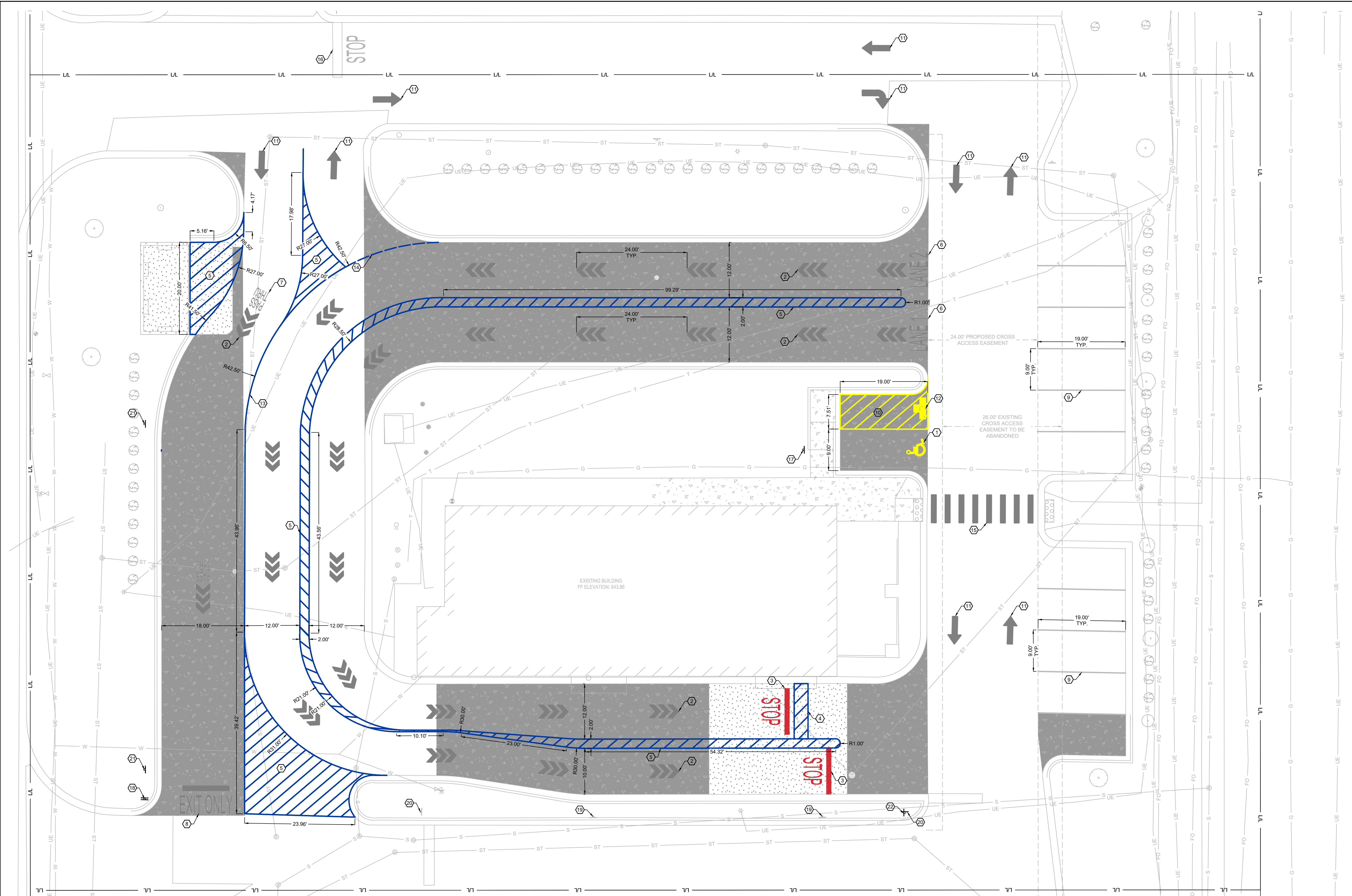


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C5.1
 LANDSCAPE PLAN
 DATE: MARCH 31, 2026

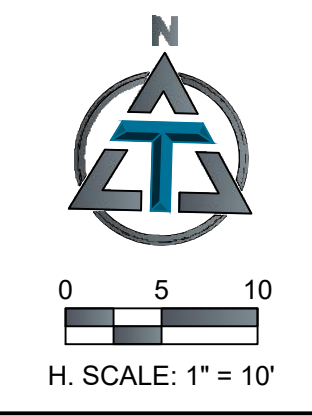


HATCH LEGEND:

	= ASPHALT PAVEMENT
	= CONCRETE SIDEWALK
	= CONCRETE PAVEMENT

KEY NOTES:

- | | | |
|---|--|---|
| <p>① YELLOW PAINTED ADA ACCESSIBLE PARKING SYMBOL PER DETAIL 6.01, SHEET C7.2.</p> <p>② SOLID RED TRIPLE ARROW PAVEMENT MARKER, PER DETAIL 6.02, SHEET C7.2.</p> <p>③ 12-INCH SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.</p> <p>④ 4-INCH SOLID BLUE CROSS WALK MARKER ALIGNED WITH SLIDING DOOR PANEL AT FRONT OPENING.</p> <p>⑤ 4-INCH SOLID BLUE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.</p> <p>⑥ 48-INCH TALL "LANE # PAINTED IN RED.</p> <p>⑦ 24-INCH TALL "PASS THRU" PAINTED IN RED.</p> <p>⑧ 12-INCH SOLID WHITE STOP BAR WITH 48-INCH TALL "EXIT ONLY" TEXT PAINTED IN WHITE WITH CONTRAST MARKINGS.</p> <p>⑨ 4-INCH SOLID WHITE PAVEMENT MARKER FOR PARKING, TYPICAL.</p> <p>⑩ 4-INCH SOLID YELLOW PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.</p> | <p>⑪ SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING WITH CONTRAST MARKINGS.</p> <p>⑫ 12-INCH TALL "NO PARKING" TEXT PAINTED IN YELLOW WITH 2-INCH STROKE.</p> <p>⑬ 4-INCH SOLID BLUE PAVEMENT MARKER.</p> <p>⑭ 4-INCH DASHED BLUE PAVEMENT MARKER.</p> <p>⑮ CROSS WALK PAVEMENT MARKING, 12-INCH WIDE BY 6-FEET LONG SOLID WHITE PAINT SPACED EVERY 3-FEET. ORIENT THE STRIPES IN THE DIRECTION SHOWN PARALLEL TO THE DIRECTION OF TRAFFIC.</p> <p>⑯ EXISTING WHITE STOP BAR WITH "STOP" TEXT PAINTED IN WHITE.</p> <p>⑰ ADA VAN ACCESSIBLE SIGN PER DETAIL 6.03, SHEET C7.2.</p> <p>⑱ "STOP" SIGN PER DETAIL 6.04, SHEET C7.2, NORTH FACING.
"ONE WAY DO NOT ENTER" SIGN PER DETAIL 6.04, SHEET C7.2, SOUTH FACING.</p> <p>⑲ EXISTING "NO PARKING FIRE LANE" SIGN.</p> <p>⑳ EXISTING STOP SIGN.</p> | <p>㉑ "NO PARKING OR STANDING - FIRE LANE" SIGN PER DETAIL 6.04, SHEET C7.2.</p> <p>㉒ "LEFT TURN ONLY" SIGN PER DETAIL 6.04, SHEET C7.2.</p> |
|---|--|---|



C6.1
STRIPING PLAN

DATE: MARCH 31, 2026

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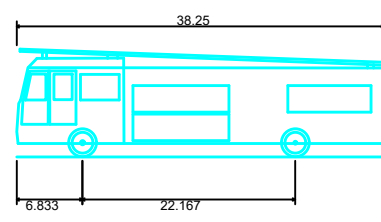


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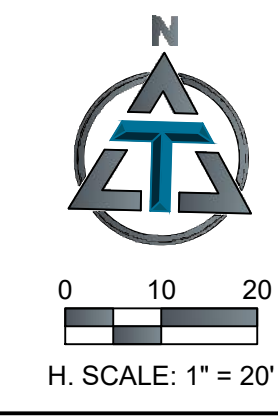
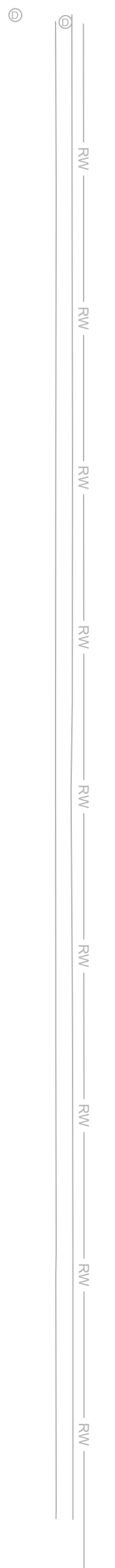
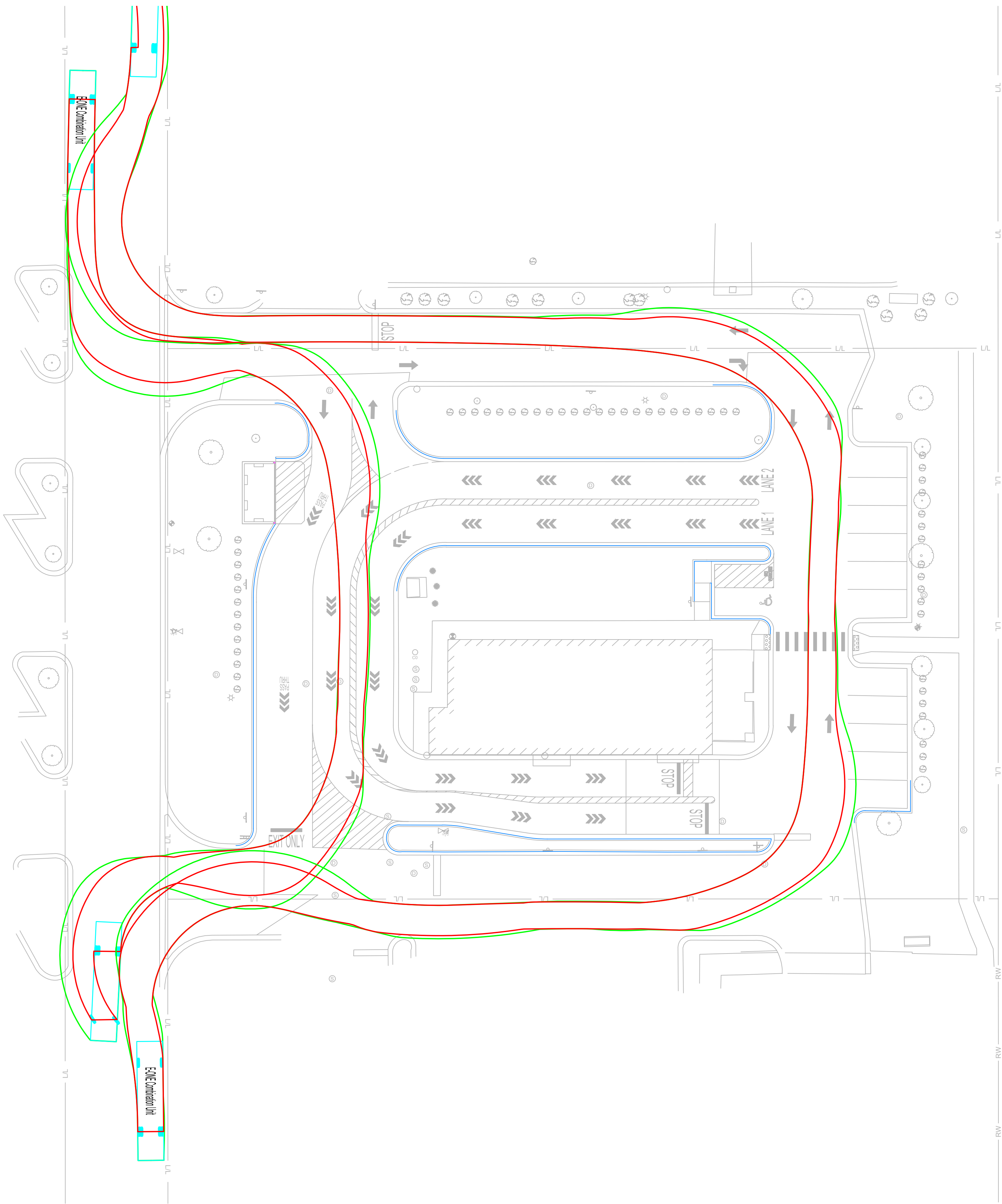


S. WEBER ROAD (HIGHWAY 88)
HERETOFORE DEDICATED
PUBLIC RIGHT-OF-WAY



E-ONE Combination Unit
 Overall Length 38.25ft
 Overall Width 8.33ft
 Overall Body Height 11.25ft
 Min Body Ground Clearance 1.38ft
 Track Width 8.33ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°

HATCH LEGEND:
 VEHICLE
 VEHICLE BODY ENVELOPE PATH
 VEHICLE WHEEL TRACK



C6.2
 FIRETRUCK SWEEP PATH ANALYSIS
 DATE: MARCH 31, 2026

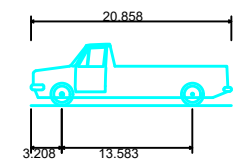
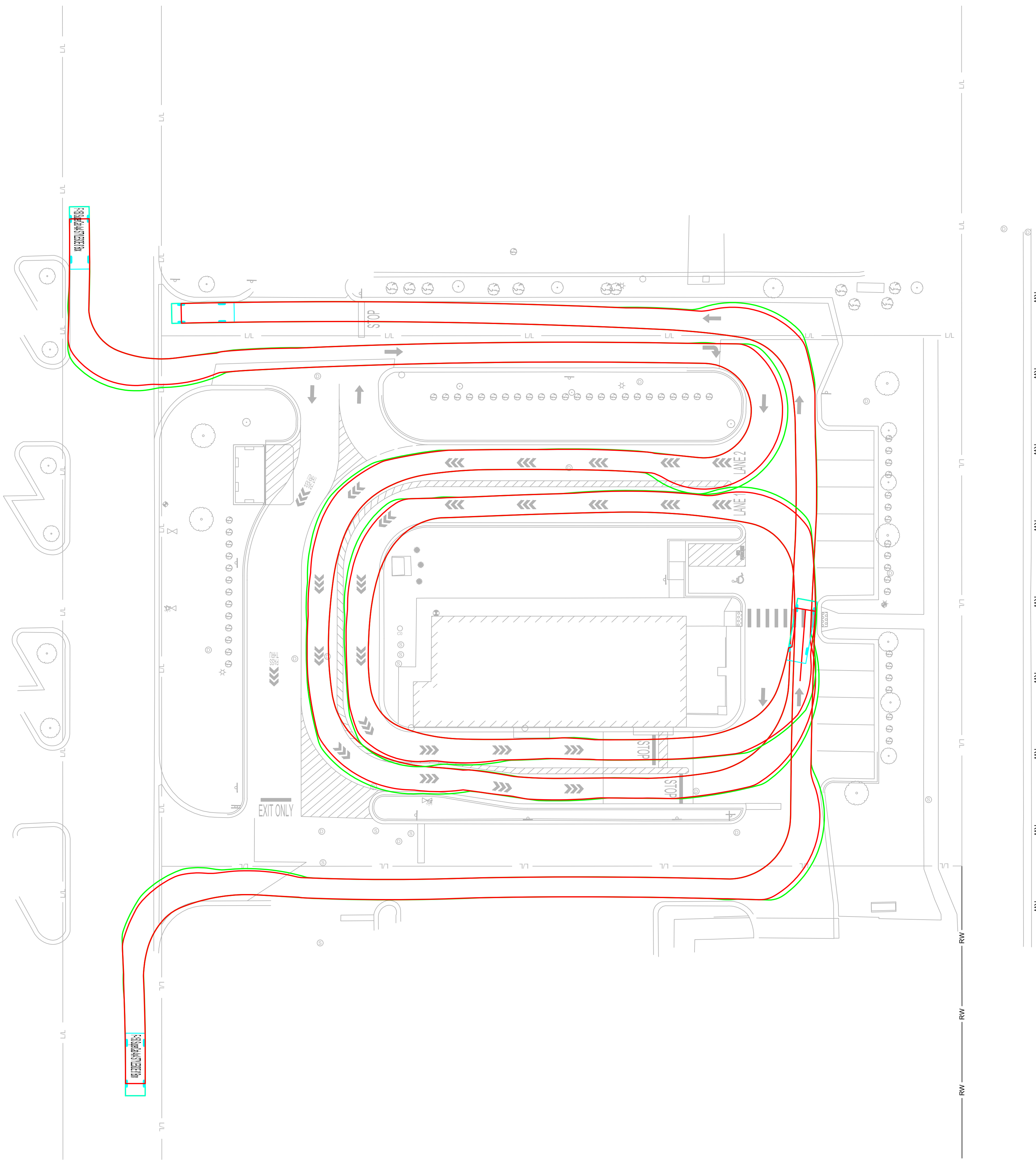
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F-150 SuperCab 4x4 STYLESIDE 8' Box
 Overall Length 20.85ft
 Overall Width 8.57ft
 Overall Body Height 8.39ft
 Min Body Ground Clearance 0.83ft
 Track Width 6.57ft
 Lock-to-lock time 2.0s
 Curb-to-Curb Turning Radius 26.15ft

HATCH LEGEND:

- VEHICLE
- VEHICLE BODY ENVELOPE PATH
- VEHICLE WHEEL TRACK



0 10 20
 H. SCALE: 1" = 20'



1500 E. REPUBLIC ROAD
 SPRINGFIELD, MO 65804
 Ph: 417-888-0645 Fax: 417-888-0657
 www.tothassociates.com

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7 BREW COFFEE
ROMEOVILLE, IL 01

440 S WEBER RD
 ROMEOVILLE, IL 60446



FIRM LICENSE NO. 63620661



ENGINEER OF RECORD:

NAME: MATTHEW STEVEN MILLER
 LICENSE NO. IL #PE 062 065164

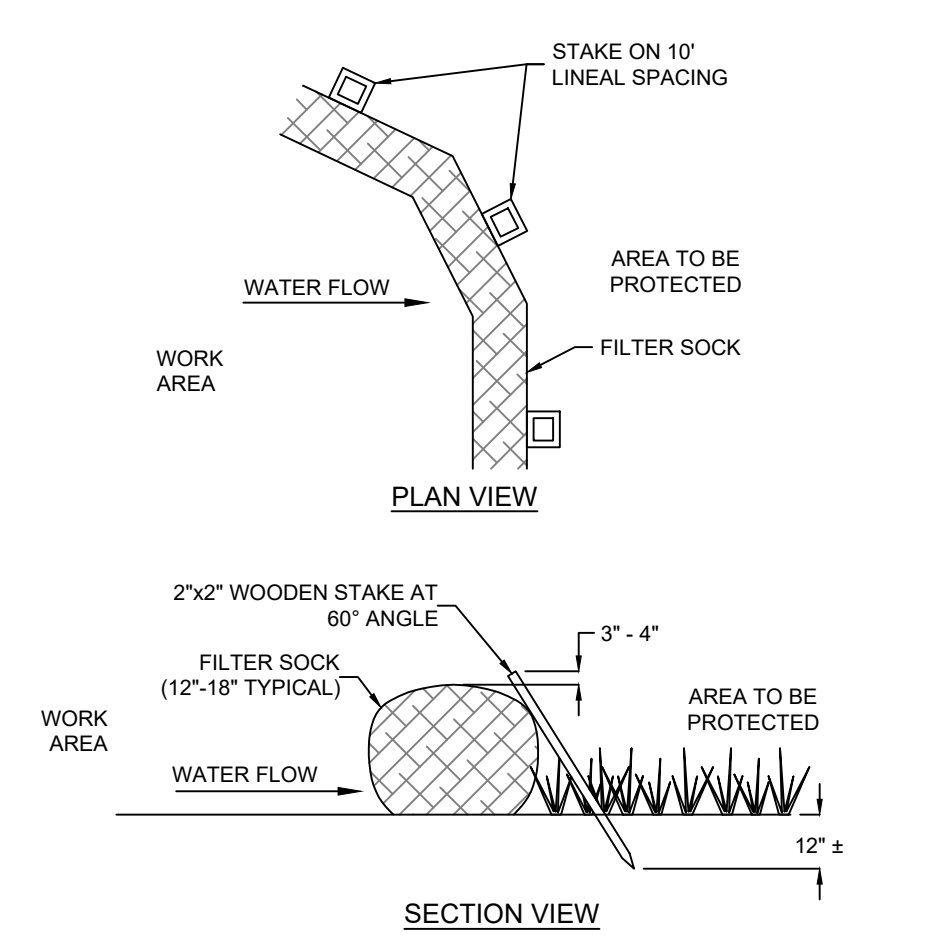
PROJECT NUMBER: 104.100

REVISION:

C6.3

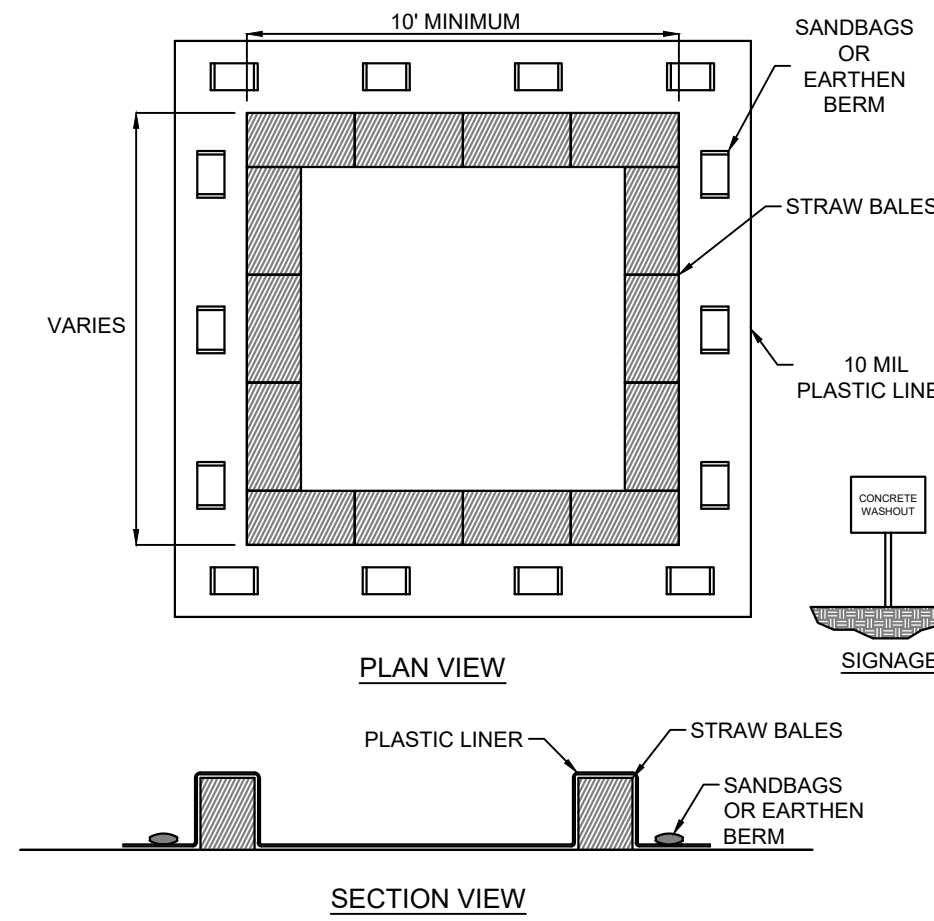
TRUCK SWEEP PATH
 ANALYSIS

DATE: MARCH 31, 2026



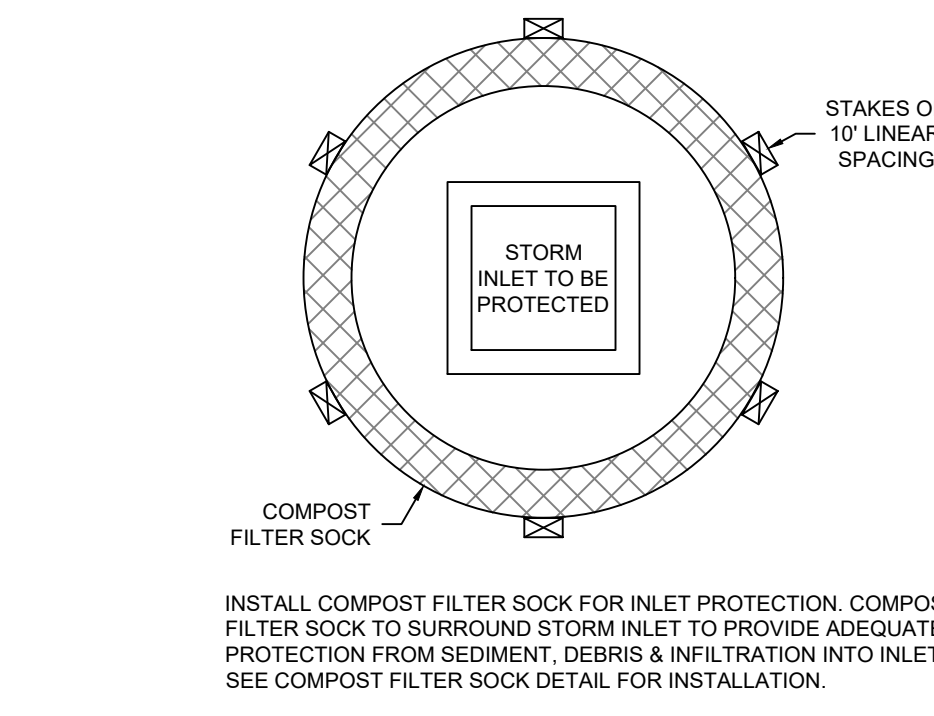
- NOTES:**
1. ALL MATERIAL TO MEET MANUFACTURER'S REQUIREMENTS.
 2. FILTER SOCK DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER ENGINEER.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

1.02 COMPOST FILTER SOCK
SCALE: NONE

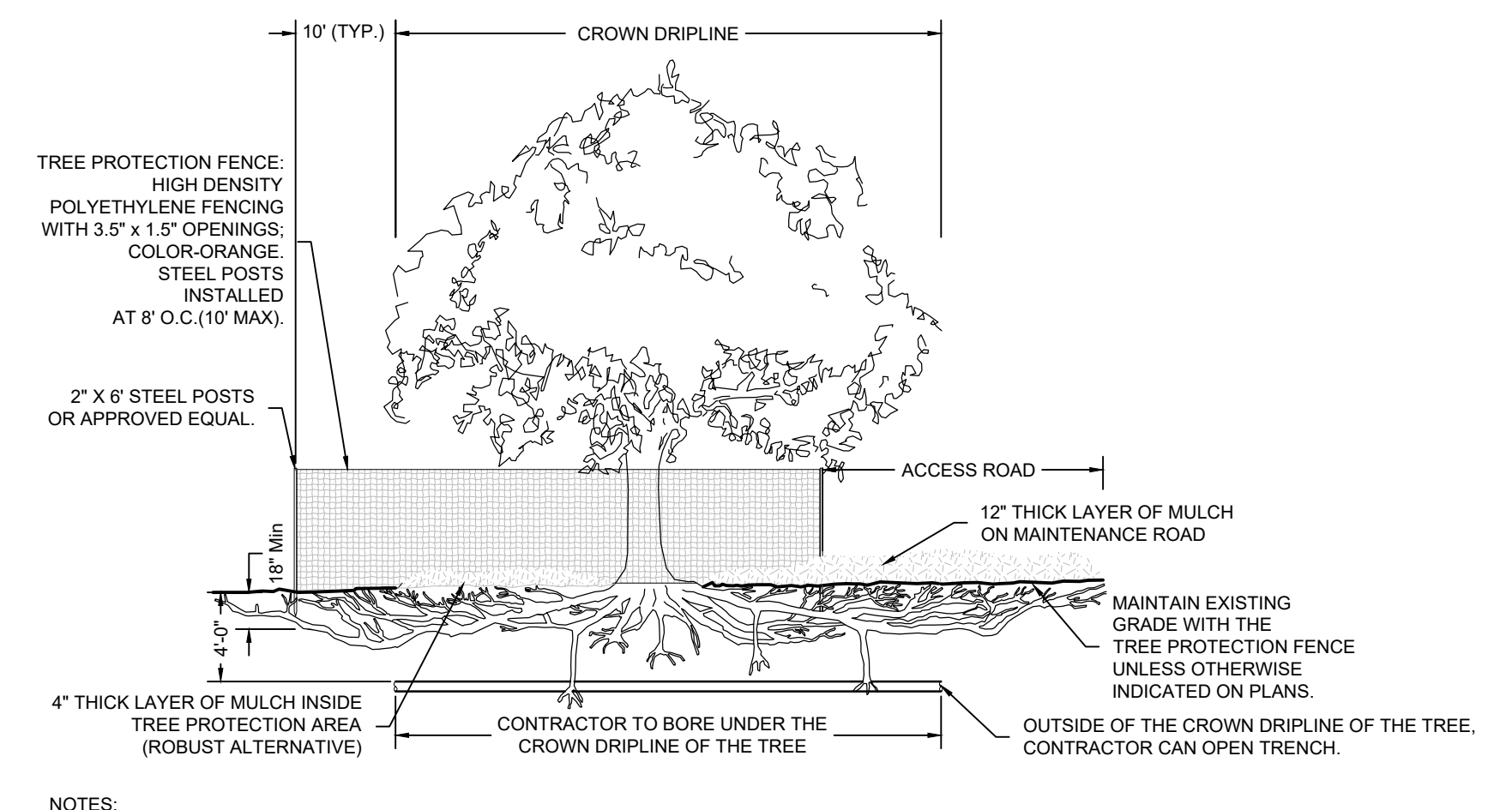


- NOTES:**
1. WASHOUT CONTAINMENT SHALL BE INSTALLED FOR DURATION OF CONCRETE WORK AND RETAIN CONCRETE AND OTHER WASHOUT LIQUIDS UNTIL EVAPORATION OR REMOVAL BY PUMP.
 2. CONTAINMENT SHALL BE SIZED FOR EXPECTED WASHOUT VOLUMES.
 3. AVOID PLACING NEAR STORM DRAINS, STREAMS, SINKHOLES, OUTFALLS OR OTHER LOW AREAS WHERE WATER PONDS OR FLOWS.
 4. OTHER APPROVED LEAK-PROOF CONTAINMENT IS ACCEPTABLE.
 5. TRAPS SHALL BE ROUTINELY MAINTAINED AT 75% CAPACITY AND REPLACED AS NECESSARY TO PERFORM.
 6. THE WASHOUT PIT SHALL BE COVERED BEFORE PREDICTED RAIN EVENTS TO PREVENT OVERFLOW.
 7. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

1.03 CONCRETE WASHOUT
SCALE: NONE

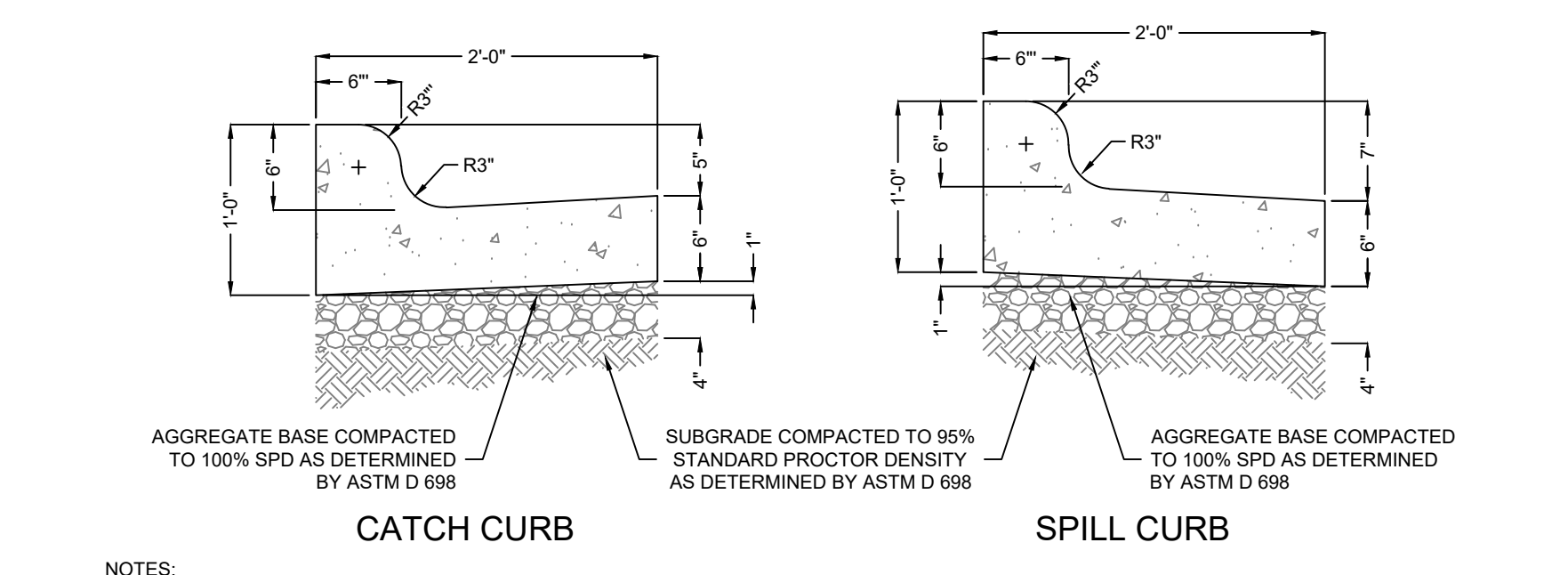


1.05 STORM INLET PROTECTION
SCALE: NONE



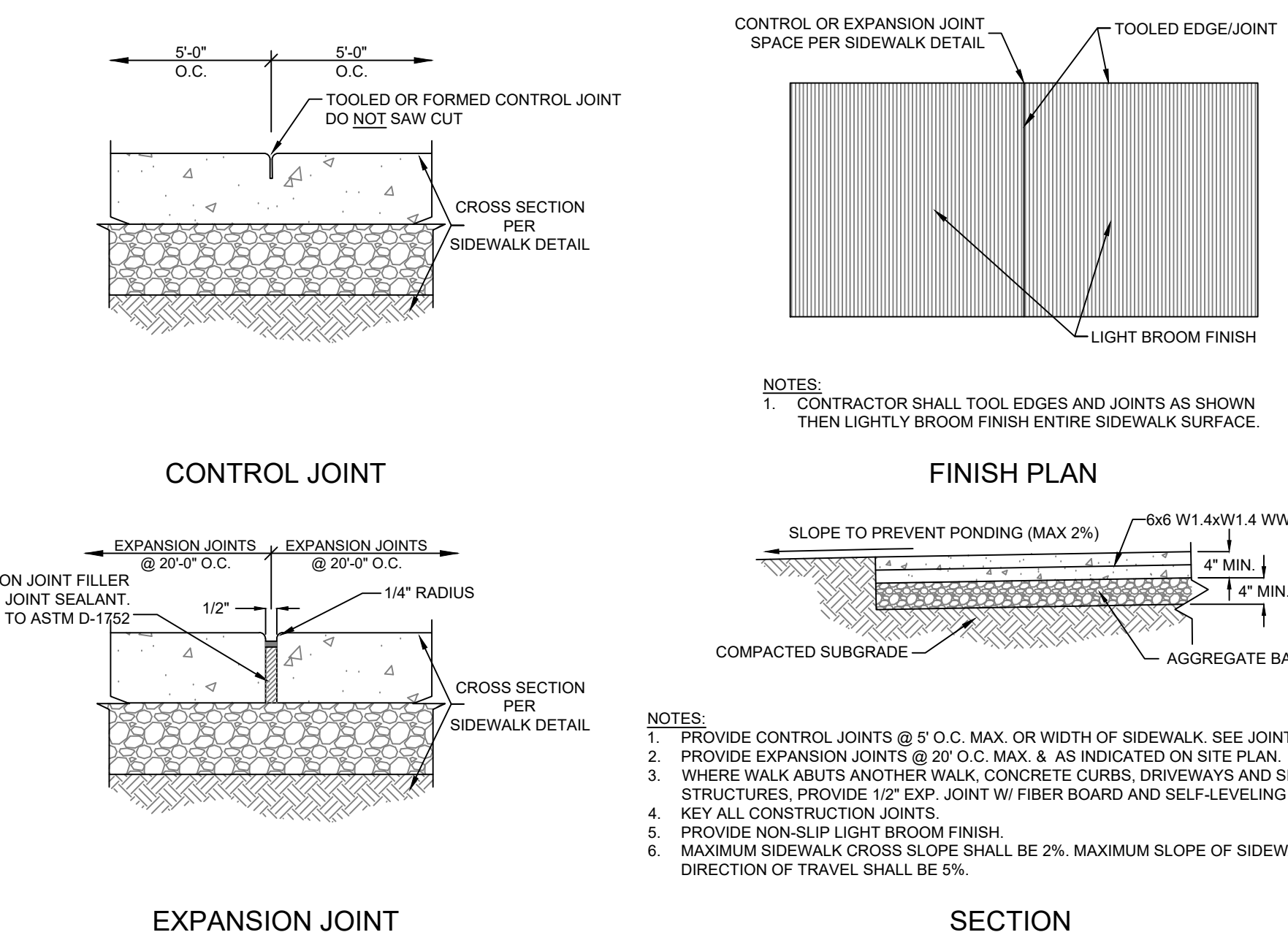
- NOTES:**
1. MAINTAIN TREE PROTECTION FENCING 10' BEYOND DRIPLINE (IN ALL DIRECTIONS).
 2. NO EQUIPMENT, MATERIALS, AND/OR DEBRIS SHALL BE STORED WITHIN THE TREE PROTECTION FENCING. THIS INCLUDES DURING FENCE INSTALLATION AND REMOVAL.
 3. NO PRUNING SHALL BE PERFORMED EXCEPT BY OR IN THE PRESENCE OF AND APPROVED ARBORIST.
 4. IF PROTECTION REQUIRES AN ACCESS ROAD WITHIN THE DRIPLINE OF A TREE, PROVIDE A MINIMUM 12" OF MULCH FOR THE ACCESS ROAD. IF CONSTRUCTION ACTIVITIES REQUIRE WORK TO CROSS THE DRIPLINE, BORE MINIMUM 4" BELOW GROUND SURFACE THE DISTANCE OF THE DRIPLINE. IF BORING 4" CANNOT BE ACHIEVED CONTACT ARBORIST IMMEDIATELY TO MONITOR WORK.
- ROOT PRUNING NOTES:**
1. ROOT PRUNING SHOULD BE COORDINATED WITH THE TREE PROTECTION FENCING. IN SOME CASES, THAT FENCE LINE IS ON THE ROOT CUT, AND PROVISIONS FOR ROOT PRUNING MAY NEED TO BE ACCOMMODATED BEFORE FENCE IS ERECTED.
 2. CAREFULLY EXPOSE ROOTS WITHIN THE LIMITS OF CONSTRUCTION AND MARK FOR PRUNING. PROPOSED ROOT CUTS SHALL BE REVIEWED BY AND ARBORIST PRIOR TO TRENCHING, EXCAVATING, OR CUTTING TO DETERMINE THE IMPACT ON ANY STRUCTURAL CRITICAL ROOTS AND THE CLOSEST POINT TO THE TREES THAT SOIL MAY BE DISTURBED.
 3. ROOT PRUNING CAN BE ACCOMPLISHED WITH CIRCULAR SAWS OF VARYING TYPES AND/OR A ROTARY-TYPE STUMP GRINDER TO A DEPTH OF 18" OR TO THE MAXIMUM DEPTH OF THE REQUIRED GRADING CUT, WHICHEVER IS LESS. SAW BLADE AND GRINDER TEETH SHOULD BE SHARPENED PRIOR TO USE. TRENCHING MACHINES ARE NOT ALLOWED IN ROOT PRUNING OPERATIONS.
 4. ROOTS OVER 1-INCH IN DIAMETER MUST BE CLEANLY AND SHARPLY CUT WITH HAND SAW.
 5. PRUNING CUTS SHOULD BE FLUSH WITH THE SIDE OF THE TRENCH CLOSEST TO THE TREE. AN ARBORIST SHOULD REVIEW AND ROOTS OVER 2-INCHES IN DIAMETER ENCOUNTERED DURING EXCAVATION AND/OR CONSTRUCTION ACTIVITIES TO DETERMINE STRUCTURAL STABILITY OF THE TREE.

1.06 TREE PROTECTION FENCING
SCALE: NONE

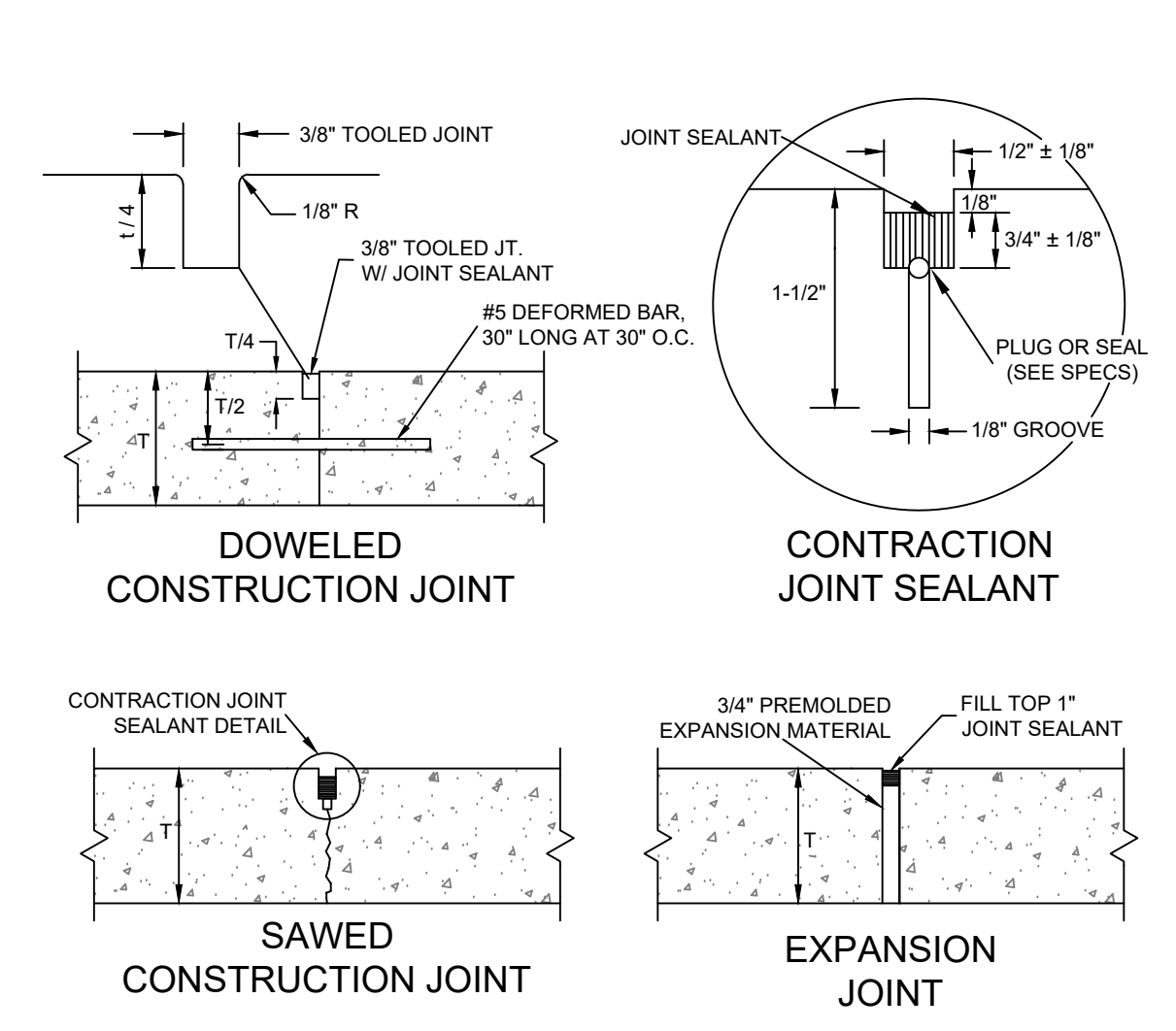


- NOTES:**
1. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, CUT TO THE CONFIGURATION OF THE FULL SIZE OF THE CURB AND GUTTER SECTION AND BEING SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. THE EDGES OF THESE JOINTS SHALL BE ROUNDED WITH AN EDGING TOOL ONE-EIGHTH (1/8) INCH RADIUS.
 2. EXPANSION JOINTS SHALL BE PLACED WHERE CURBS AND GUTTER ABUTS OTHER STRUCTURES AND AT ALL TANGENT POINTS TO CURBS. EXPANSION JOINTS SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID CURBS AND NOT MORE THAN 100 FEET APART FOR MACHINE LAID CURB AND GUTTER PROVIDED THAT ONE-HALF (1/2) INCH THICK JOINT FILLER IS USED. ALL JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE CURB AND GUTTER.
 3. CONTRACTION JOINTS SHALL BE CONSTRUCTED BY INSERTING A REMOVABLE METAL TEMPLATE IN THE FRESH CONCRETE. THEY SHALL NOT BE SAW CUT. CONTRACTION JOINTS SHALL BE TO A DEPTH OF NOT LESS THAN ONE AND ONE-FOURTH (1-1/4) INCHES BELOW THE SURFACE AND TO A WIDTH NOT TO EXCEED THREE-EIGHTHS (3/8) INCH. CONTRACTION JOINTS SHALL BE LOCATED APPROXIMATELY 10 FEET APART.

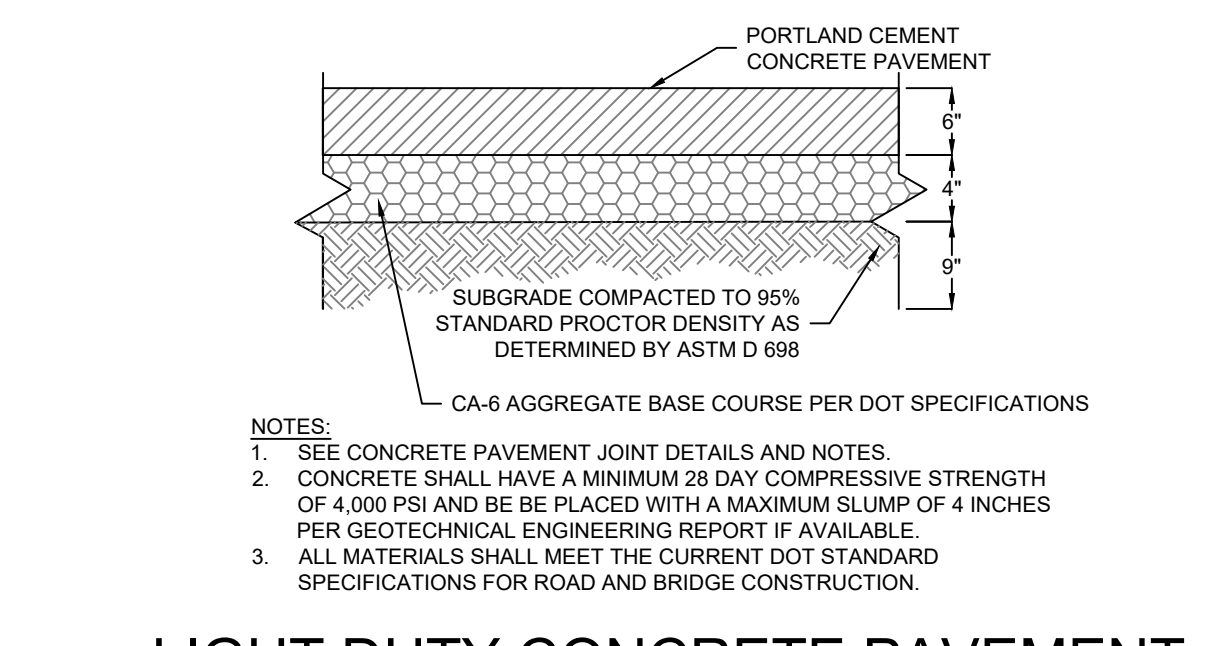
2.01 CONCRETE CURB AND GUTTER
SCALE: NONE



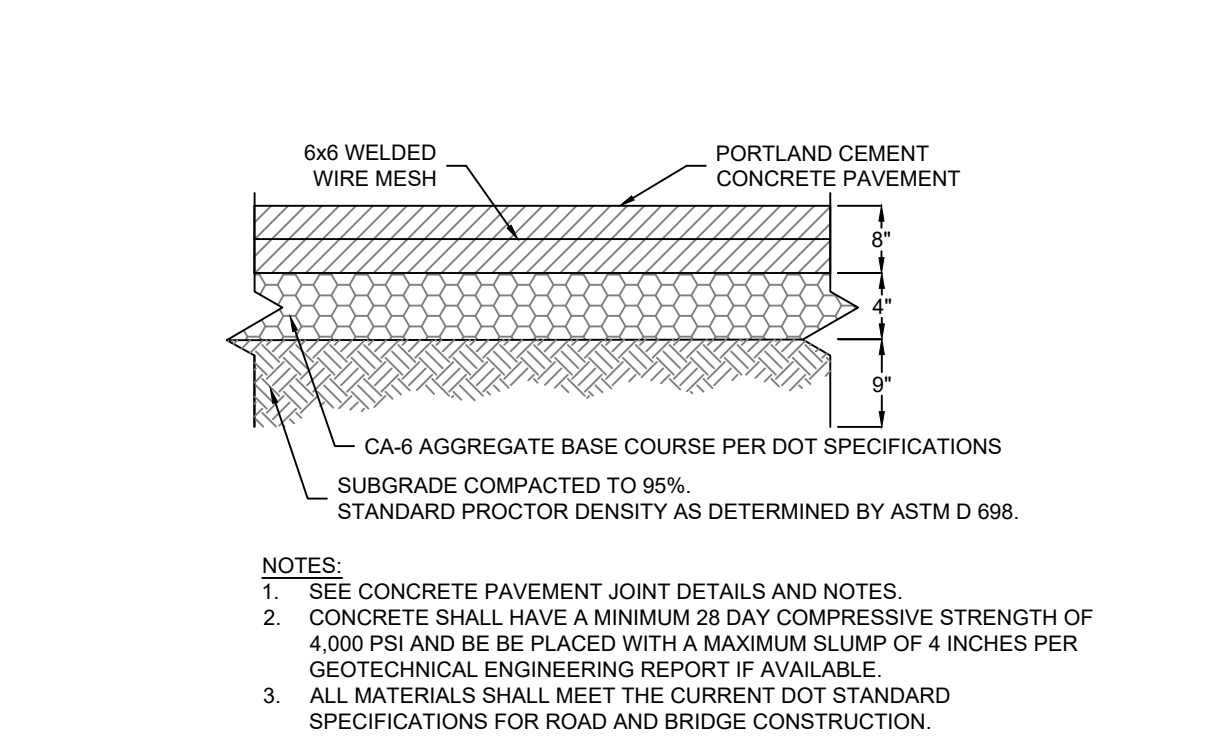
2.02 SIDEWALK DETAILS
SCALE: NONE



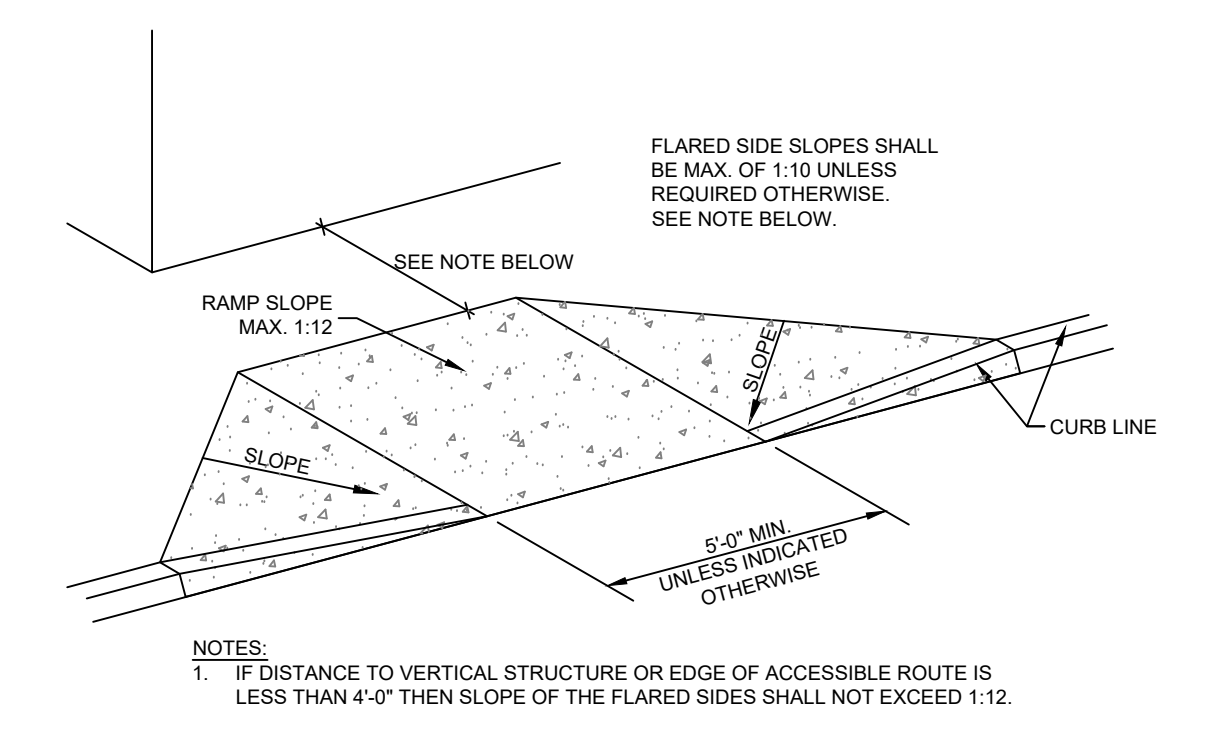
2.03 CONCRETE PAVEMENT JOINTS
SCALE: NONE



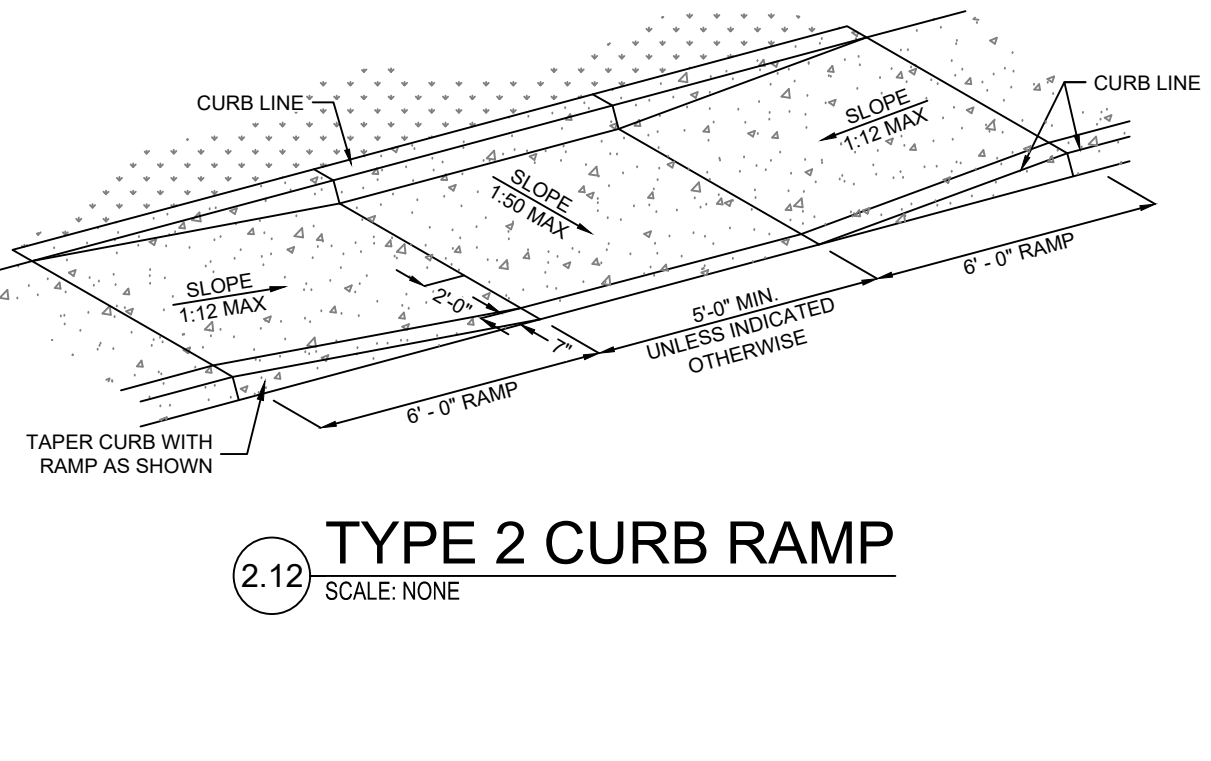
2.05 LIGHT DUTY CONCRETE PAVEMENT
SCALE: NONE



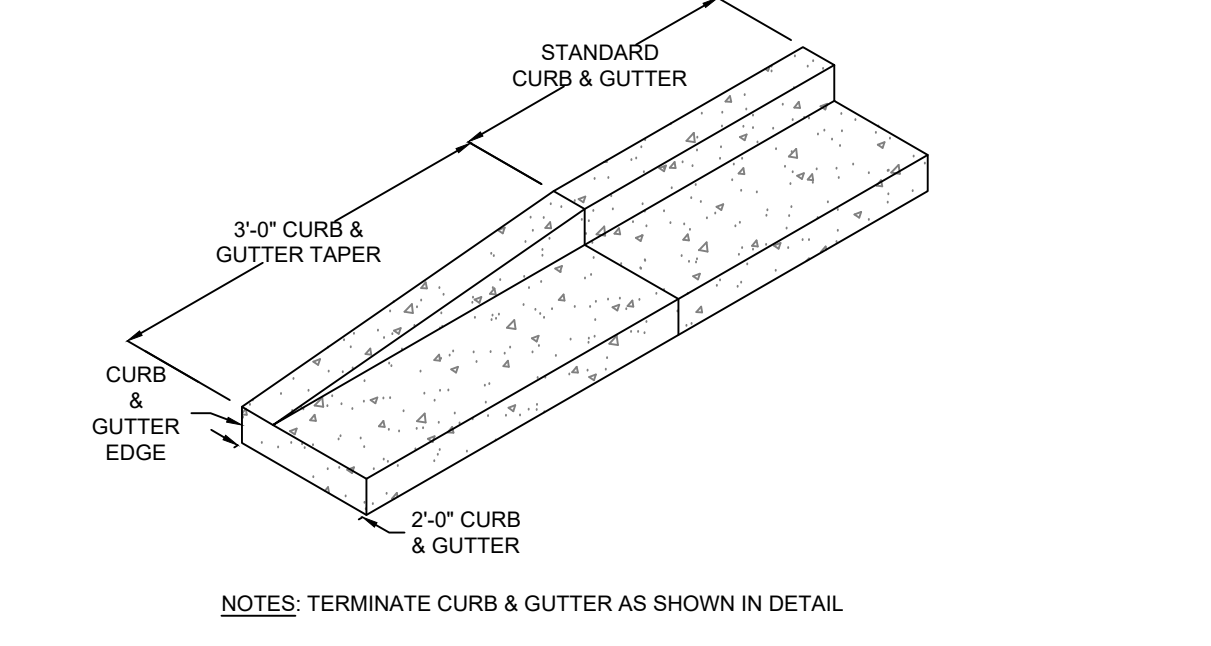
2.06 HEAVY DUTY CONCRETE PAVEMENT
SCALE: NONE



2.11 TYPE 1 CURB RAMP
SCALE: NONE



2.12 TYPE 2 CURB RAMP
SCALE: NONE



2.15 CURB TRANSITION
SCALE: NONE



ENGINEER OF RECORD:
NAME: MATTHEW STEVEN MILLER
LICENSE NO. IL #PE 062 065164

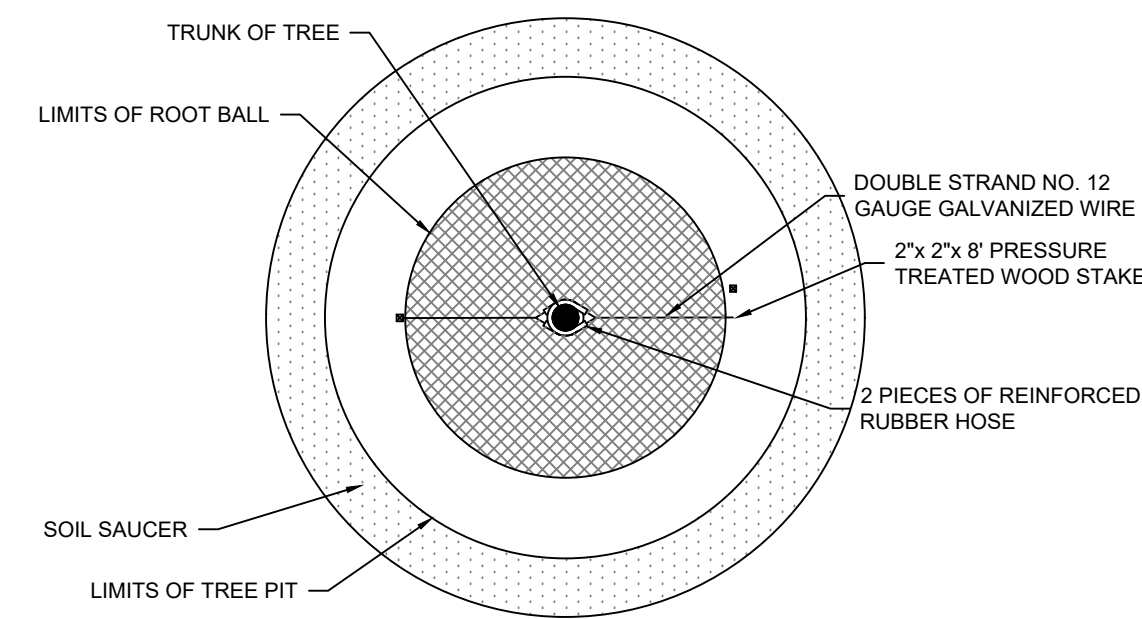
PROJECT NUMBER: 104.100

REVISION:

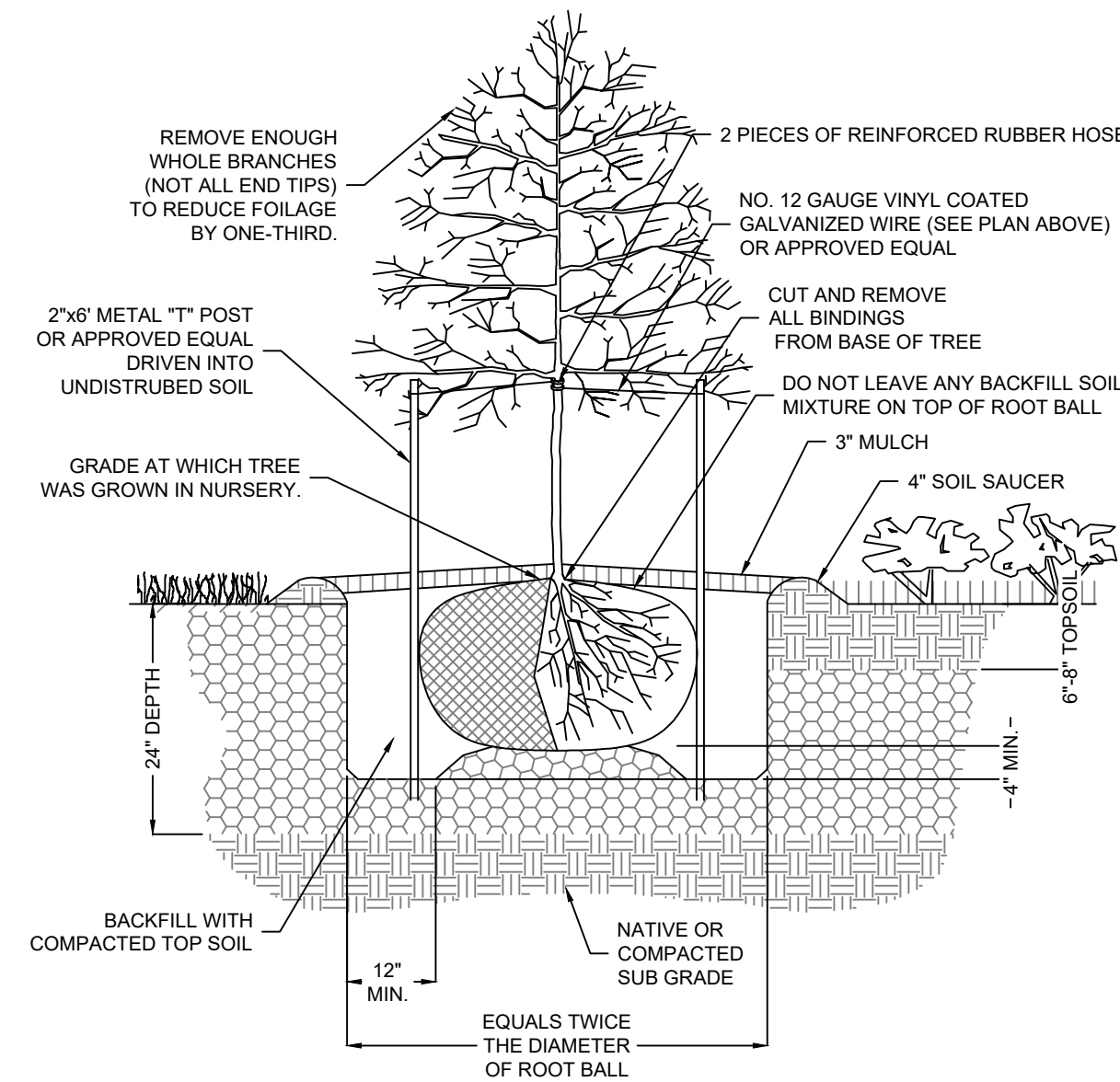
7 BREW COFFEE
ROMEIOVILLE, IL 01
440 S WEBER RD
ROMEIOVILLE, IL 60446



C7.1
DETAILS
DATE: MARCH 31, 2026

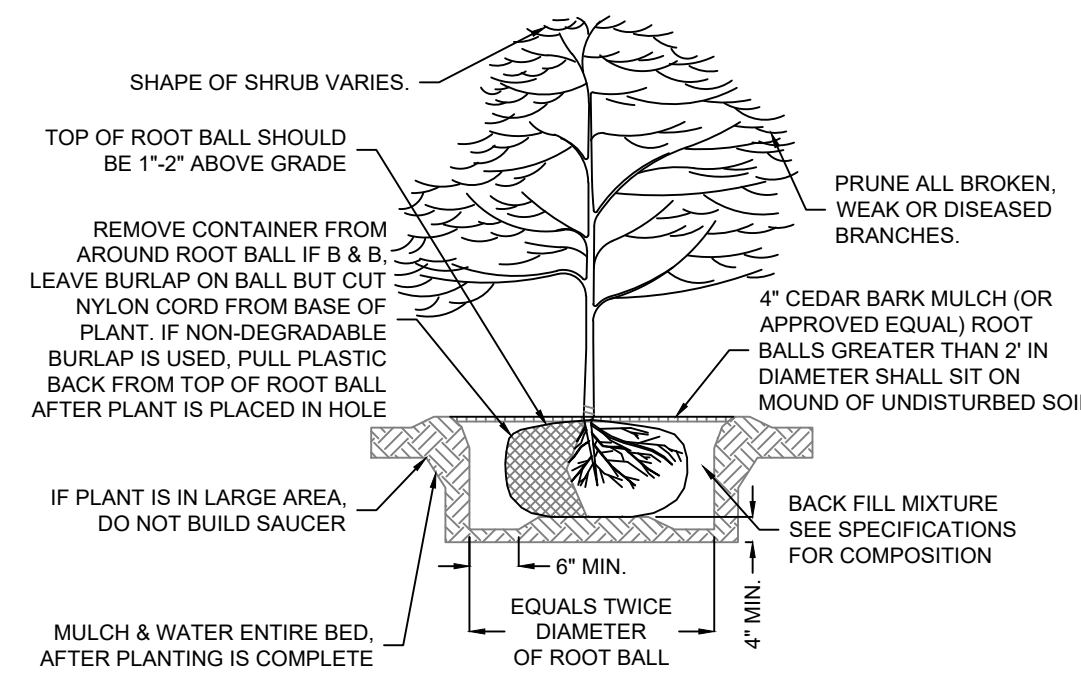


PLAN

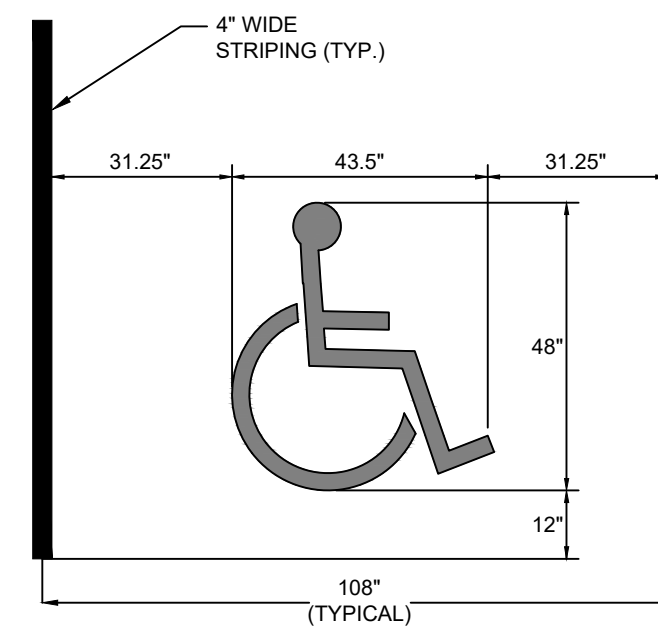


- NOTES:
- BACKFILL AROUND ROOT BALL IN 6"-8" LAYERS WATERING EACH LAYER UNTIL SETTLED TO AVOID AIR POCKETS.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TREE STABILIZATION AT THE END OF THE SECOND GROWING SEASON.

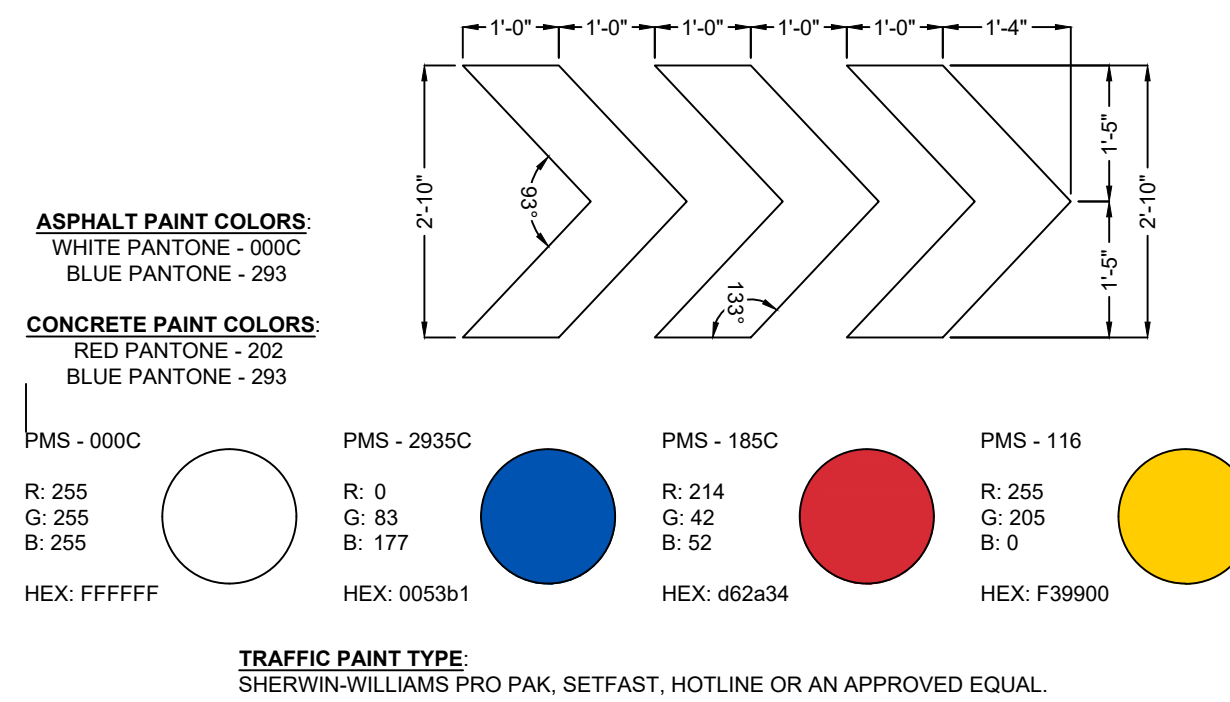
5.01 TREE PLANTING
SCALE: NONE



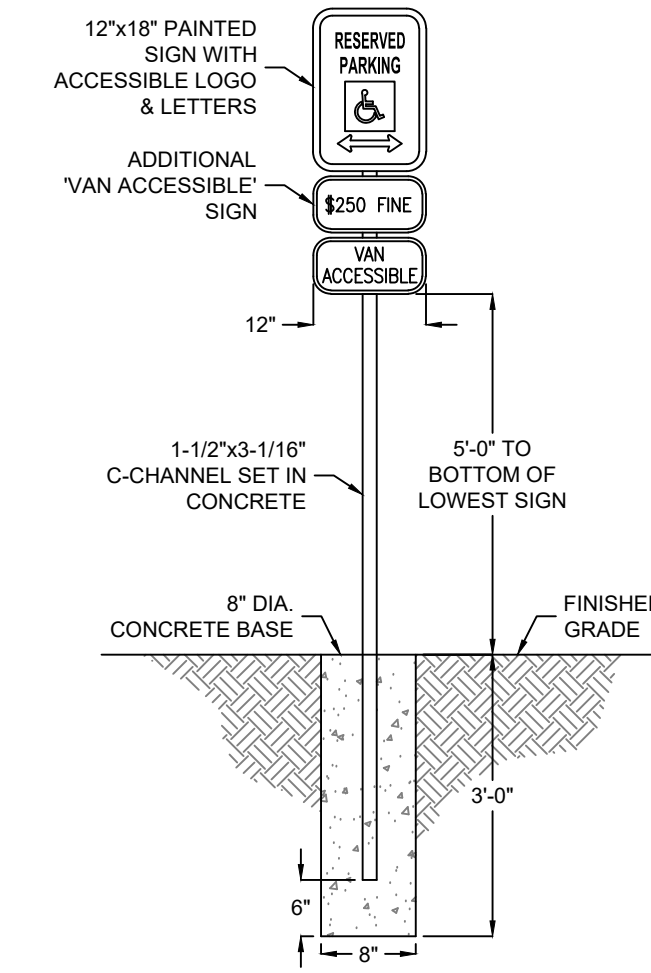
5.02 SHRUB PLANTING
SCALE: NONE



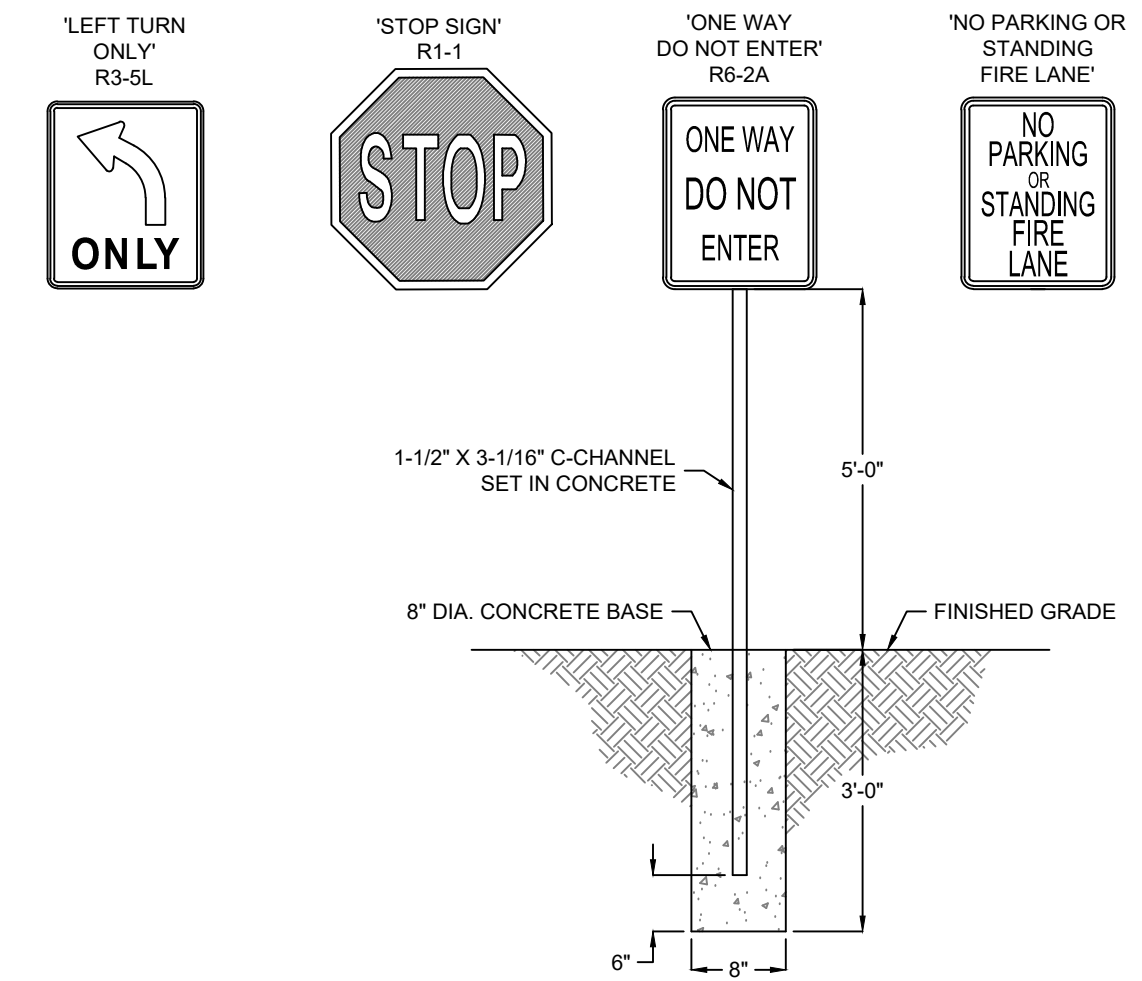
6.01 ADA ACCESSIBLE PARKING SYMBOL
SCALE: NONE



6.02 PARKING LOT STRIPING COLORS & PAINT
SCALE: NONE

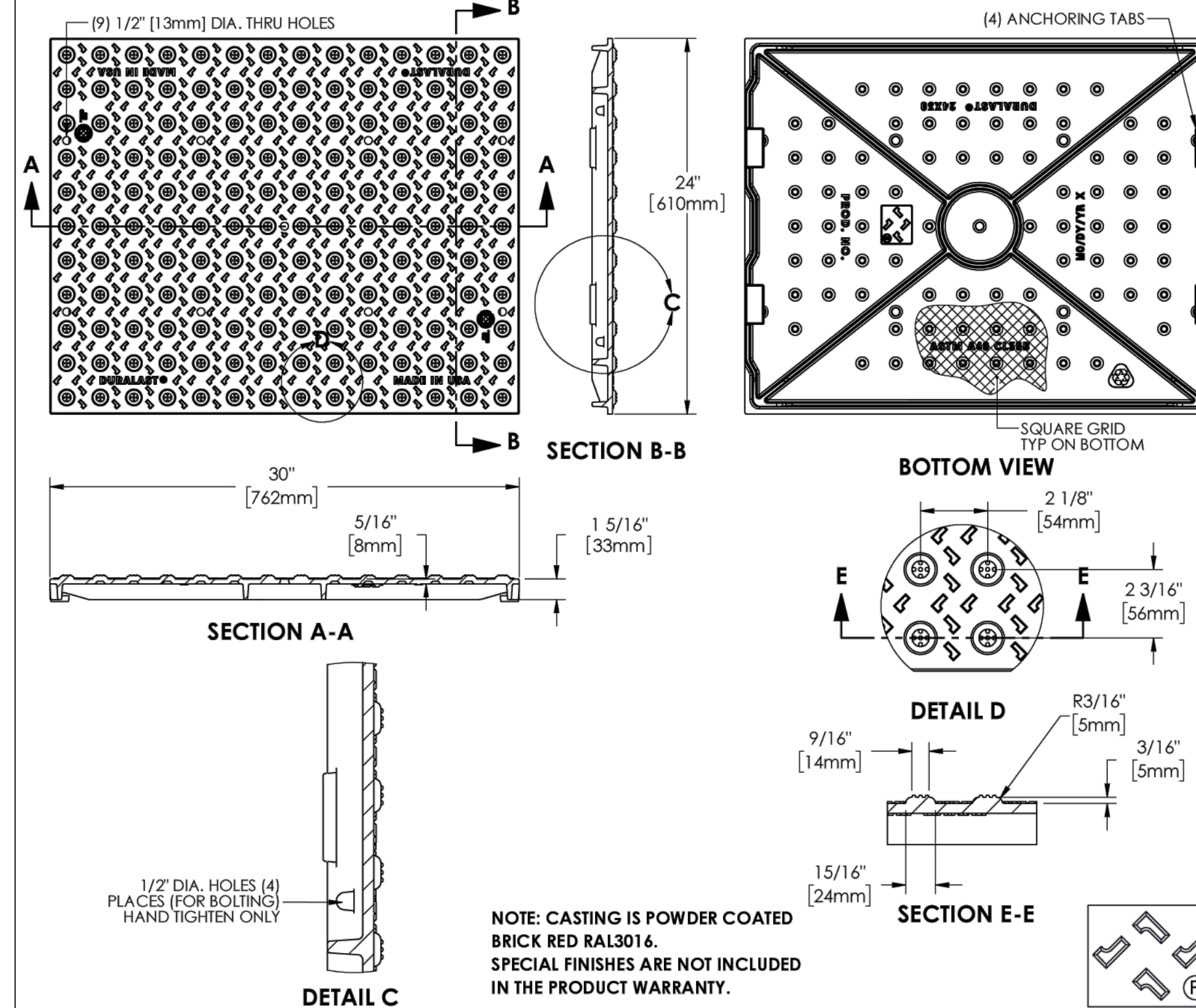


6.03 ADA ACCESSIBLE SIGN
SCALE: NONE



6.04 TYPICAL SIGN POST DETAIL
SCALE: NONE

DURALAST Detectable Warning Plate



Product Number
00700723P01

Design Features

- Materials
Gray Iron (CL35B)
- Load Rating
Heavy Duty
- Open Area
n/a
- Coating
Powder
- √ Designates Machined Surface
- Slip Resistant Surface

Certification

- ASTM A48
- AASHTO M333
- ADA
- CSA B851-18
- Country of Origin: USA

Drawing Revision

06-23-2009 Designer: DEW
07-10-2024 Revised By: EGS

Disclaimer

Weights (ba/kg), dimensions (inches/mm) and drawings provided for your guidance. We reserve the right to modify specifications without prior notice.

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Contact
800 625 4653
ejg.com

"B" CLASSIFICATION PER AASHTO T388, RESISTANCE TO IMPACT TESTING.



FIRM LICENSE NO. 63620661



ENGINEER OF RECORD:
NAME: MATTHEW STEVEN MILLER
LICENSE NO. IL #PE 062 065164

PROJECT NUMBER: 104.100
REVISION:

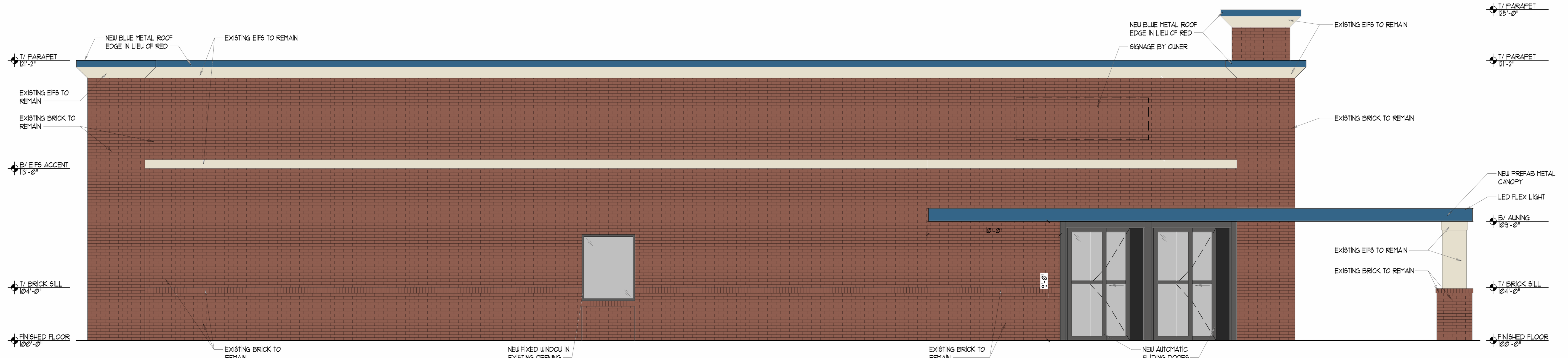
7 BREW COFFEE
ROMEOVILLE, IL 01
440 S WEBER RD
ROMEOVILLE, IL 60446



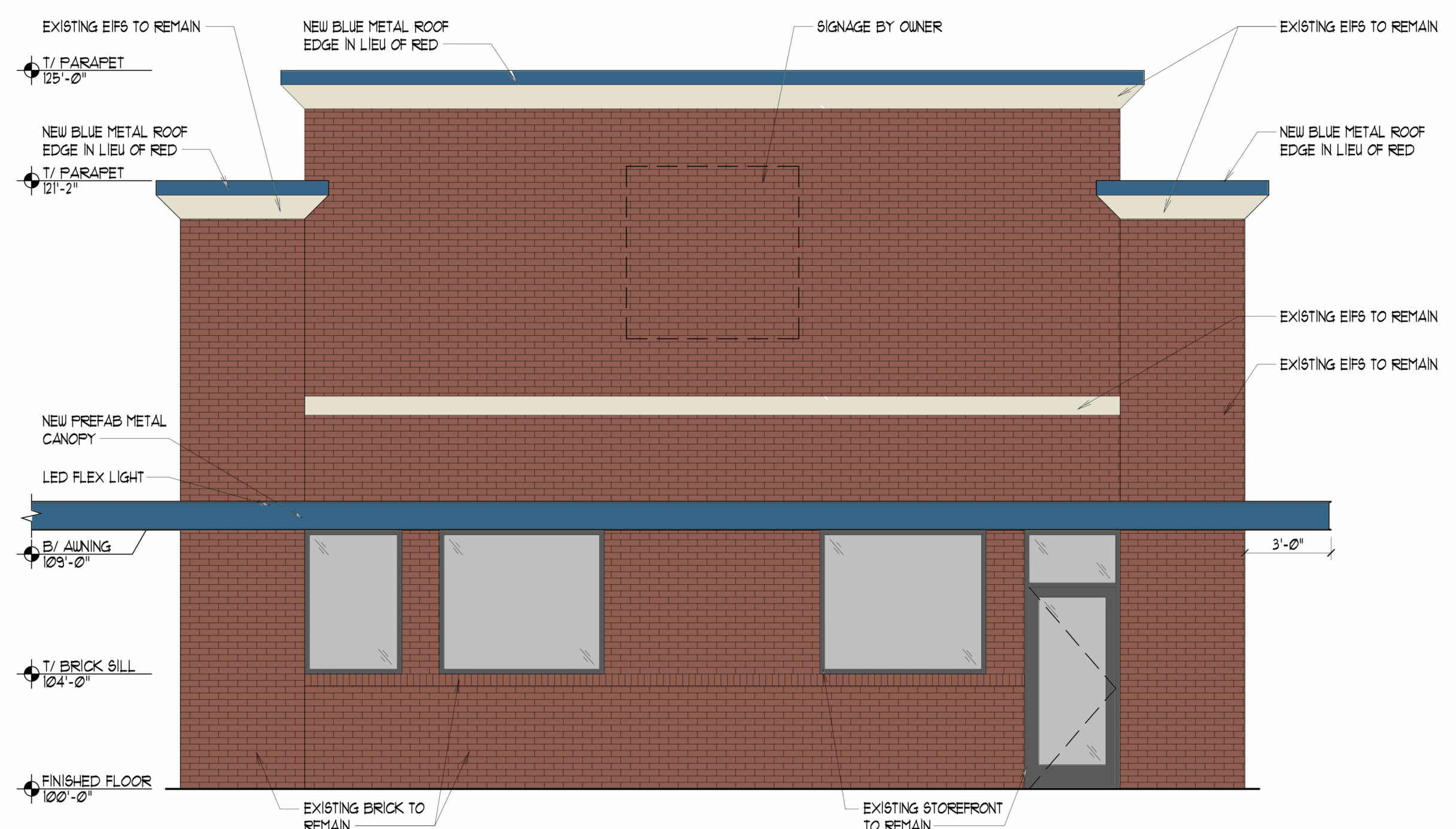
1501 E. REPUBLIC ROAD
SPRINGFIELD, MO 65804
Ph: 417-888-0645 Fax: 417-888-0657
www.tothassociates.com

C7.2
DETAILS

DATE: MARCH 31, 2026



A SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



B EAST ELEVATION
SCALE: 1/4" = 1'-0"

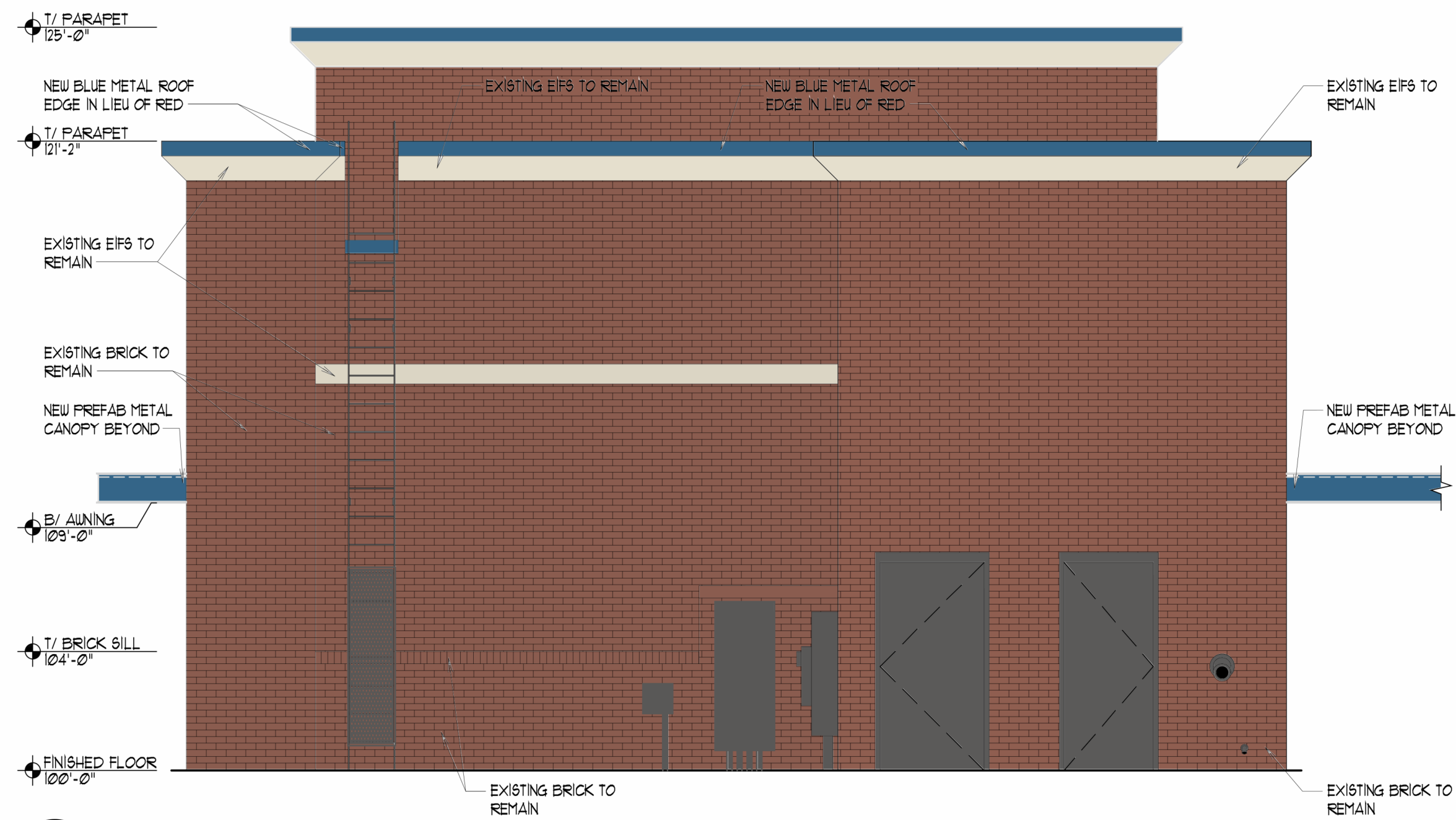
7 Brew Coffee
440 S. Weber Rd. - Romeoville, IL
January 27th, 2026 | project 2025-284



charles vincent george
ARCHITECTS
1245 E. Diehl Rd. Suite 101 • Naperville, IL 60563
P: 630.357.2023 • cvgarchitects.com



C NORTH ELEVATION
SCALE: 1/4" = 1'-0"

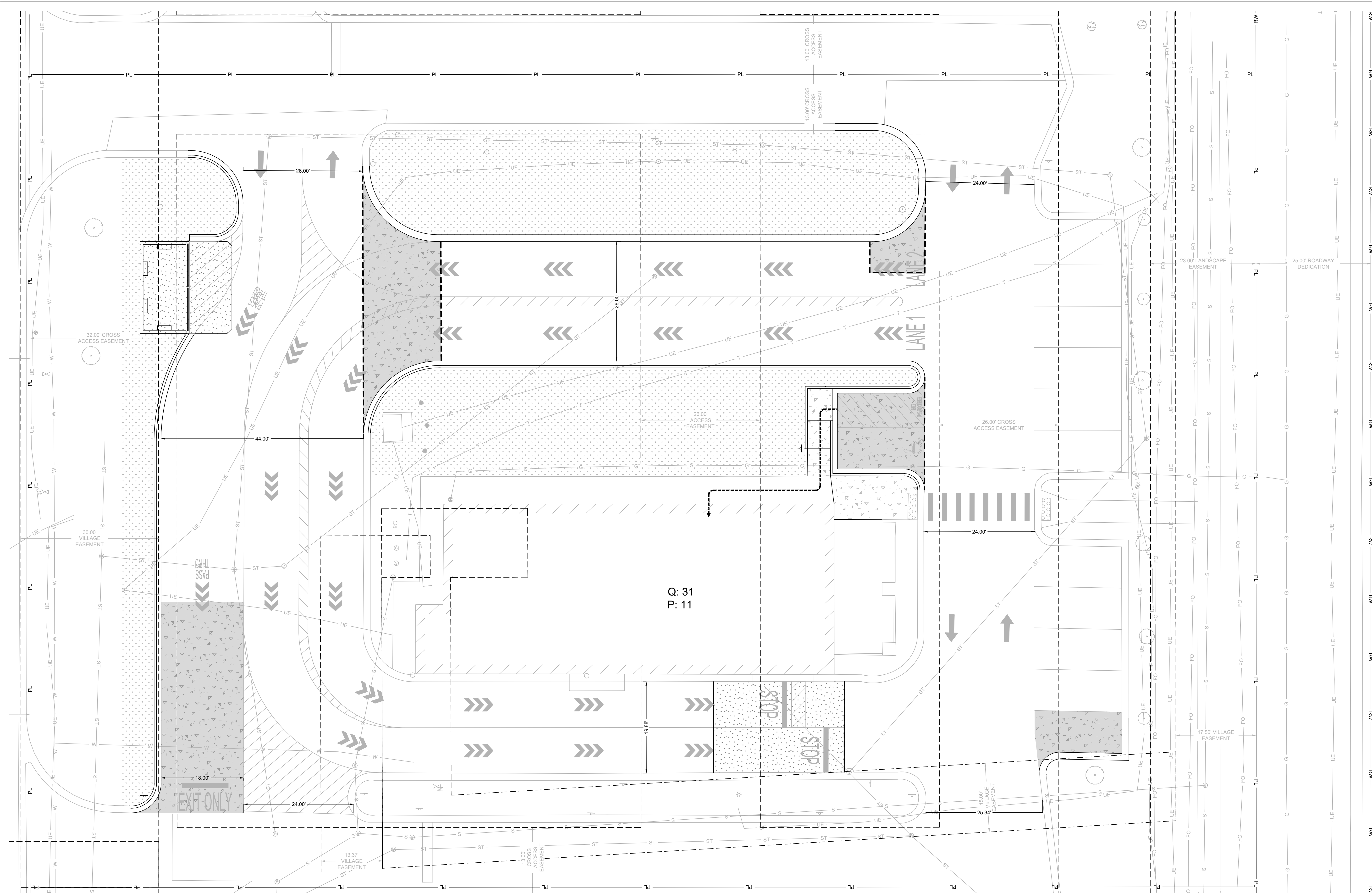


D WEST ELEVATION
SCALE: 1/4" = 1'-0"

7 Brew Coffee
440 S. Weber Rd. - Romeoville, IL
January 27th, 2026 | project 2025-284



charles vincent george
ARCHITECTS
1245 E. Diehl Rd. Suite 101 • Naperville, IL 60563
P: 630.357.2023 • cvgarchitects.com



HATCH LEGEND:

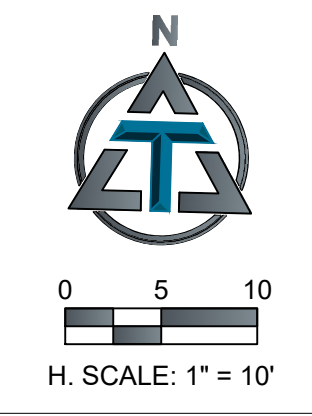
	= LIGHT DUTY CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.06, SHEET C7.1.
	= CONCRETE SIDEWALK PER SIDEWALK DETAIL 2.02, SHEET C7.1.
	= HEAVY DUTY CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05, SHEET C7.1.
	= LANDSCAPE AREA REFER TO LANDSCAPE PLAN.

PROPOSED USE:
RESTAURANT WITH DRIVE THRU.

ZONING:
ZONING: B-3 HIGHWAY/REGIONAL SHOPPING DISTRICT

PARKING REQUIREMENTS:
REQUIRED: 1 SPACE PER 100 S.F. OF GROSS FLOOR AREA = 32 STALLS.
PROVIDED: 11 STALLS, 10 STANDARD AND 1 ADA.

DRIVE-THRU QUEUE STACKING REQUIREMENTS:
REQUIRED: 5 SPACES
PROVIDED: 31 SPACES



7 BREW COFFEE
ROMEIOVILLE, IL 01
440 S WEBER RD
ROMEIOVILLE, IL 60446



FIRM LICENSE NO. 63620661

PRELIMINARY FOR REVIEW AND DISCUSSION ONLY

ENGINEER OF RECORD:
NAME: MATTHEW STEVEN MILLER
LICENSE NO. IL #PE 062 065164

PROJECT NUMBER: 104.100
REVISION:

S. WEBER ROAD (HIGHWAY 88)
HERETOFORE DEDICATED
PUBLIC RIGHT-OF-WAY

C2.1
SITE PLAN
DATE: JANUARY 30, 2026



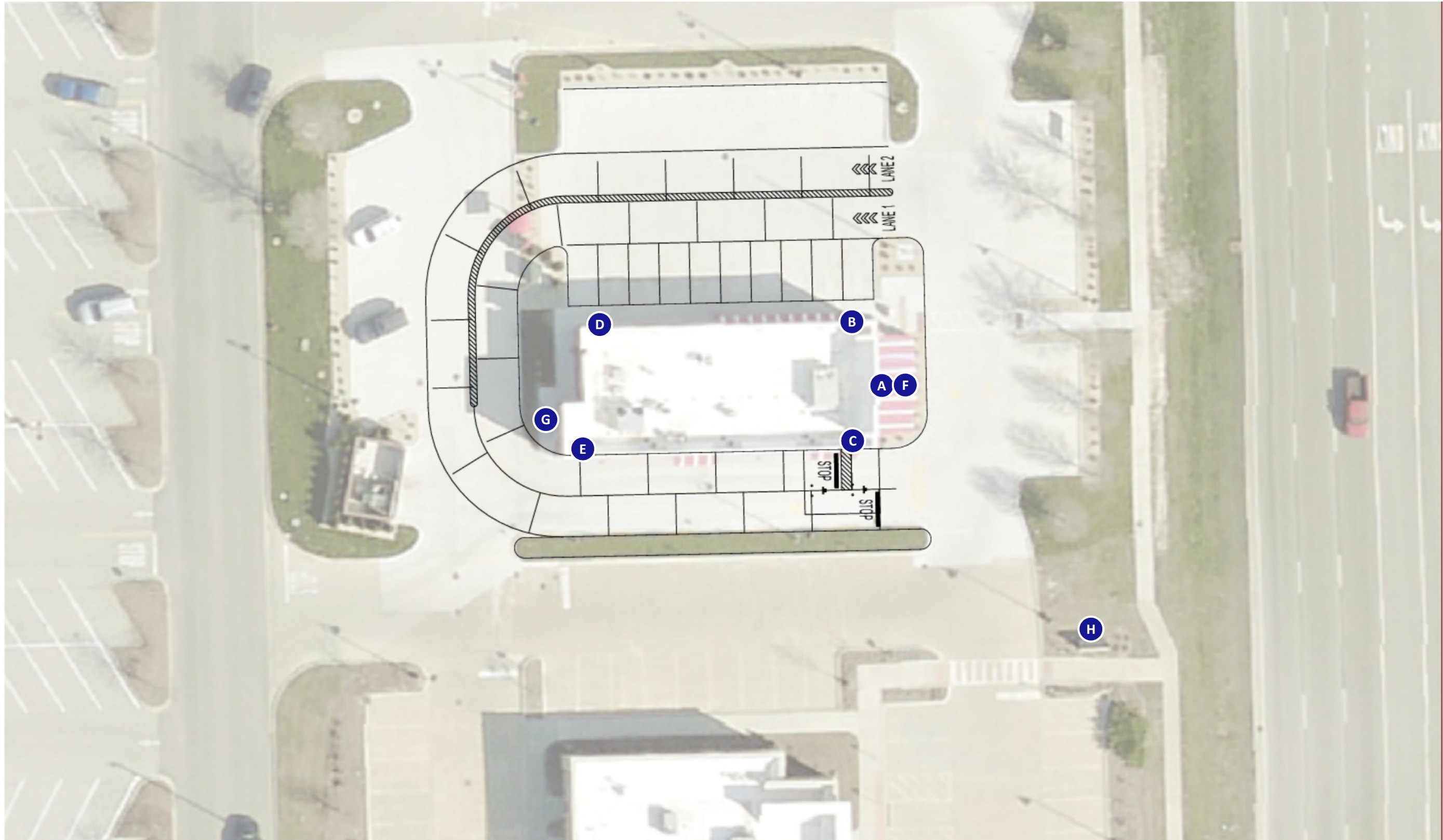
Design Proposal

PROJECT ID:	0432448Ar1
CLIENT:	SEVEN BREW COFFEE
ADDRESS:	440 SOUTH WEBER ROAD ROMEOVILLE, IL
DATE:	12/1/25
CONTACT:	W. Finninger
DESIGNER:	JMC

Pattison



1.866.635.1110
pattisonid.com



Project ID
0432448Ar1

SEVEN BREW COFFEE
440 S WEBER ROAD
ROMEIOVILLE, IL

Date: 12/1/25

Contact: WF/JR

Designer: JMC

Sign Item

SITE PLAN

Scale: AS NOTED

Revision Note

R1 TS-1/30/26: All new elevations and custom sized signage & placement.

Information Required for Production

Customer Approval

Signature

MM/DD/YYYY

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Sign Item

ELEVATIONS

Scale: AS NOTED

Revision Note

R1 TS-1/30/26: All new elevations and custom sized signage & placement.

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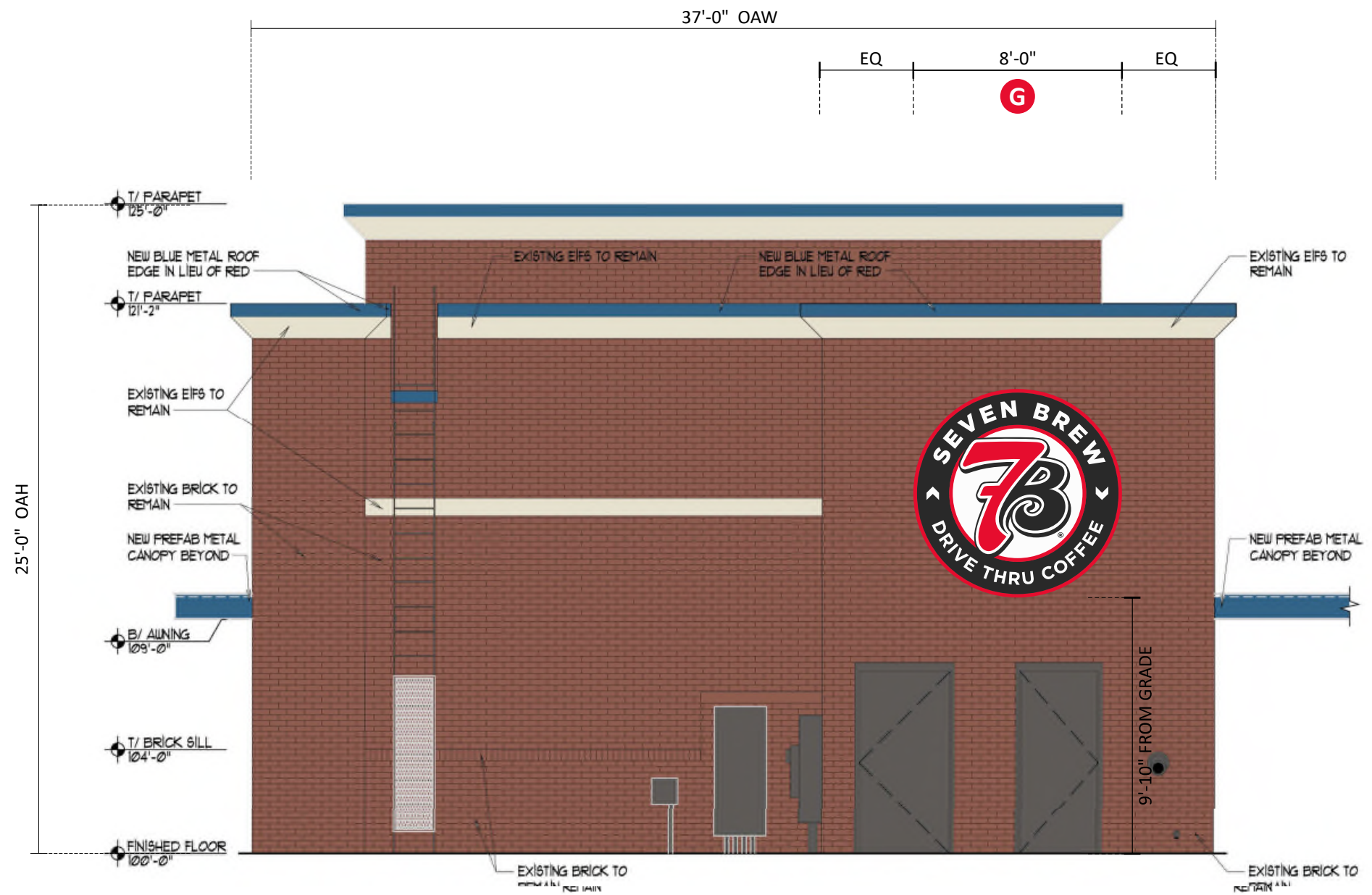
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EAST ELEVATION

EXTERIOR FRONT ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

EXTERIOR BACK

SCALE: 3/16" = 1'-0"

Project ID
0432448Ar1

SEVEN BREW COFFEE
440 S WEBER ROAD
ROMEOWILLE, IL

Date: 12/1/25
Contact: WF/JR
Designer: JMC

Sign Item

ELEVATIONS

Scale: AS NOTED

Revision Note

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Information Required for Production

Customer Approval

Signature _____

MM/DD/YYYY _____

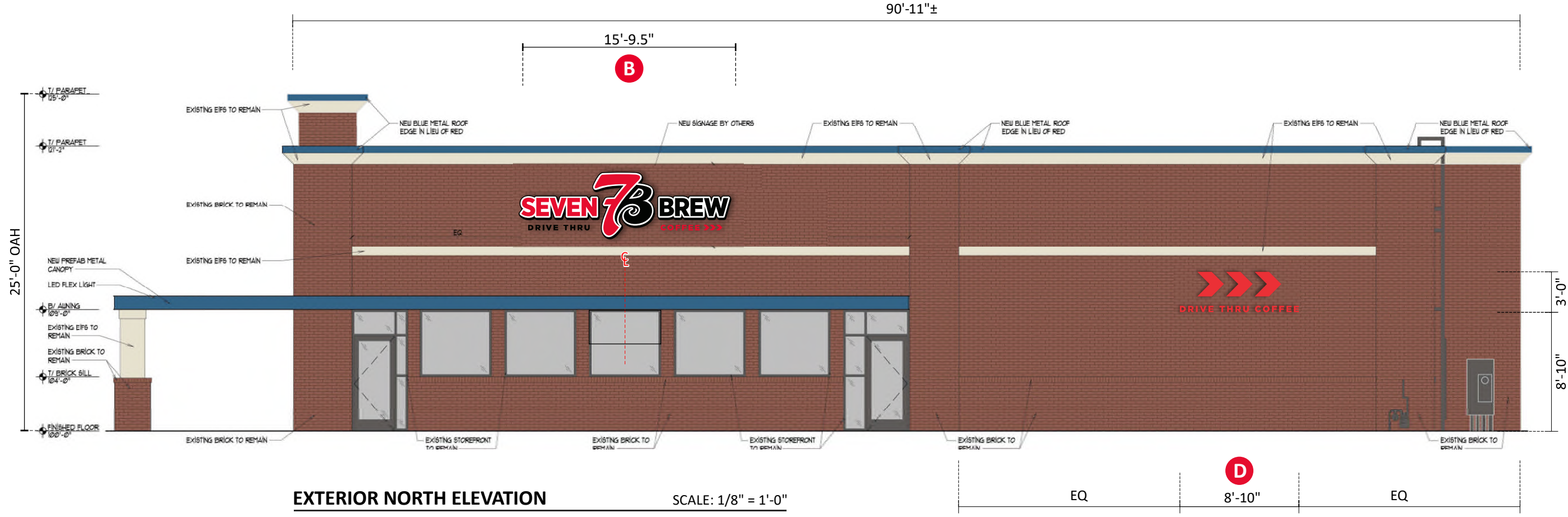
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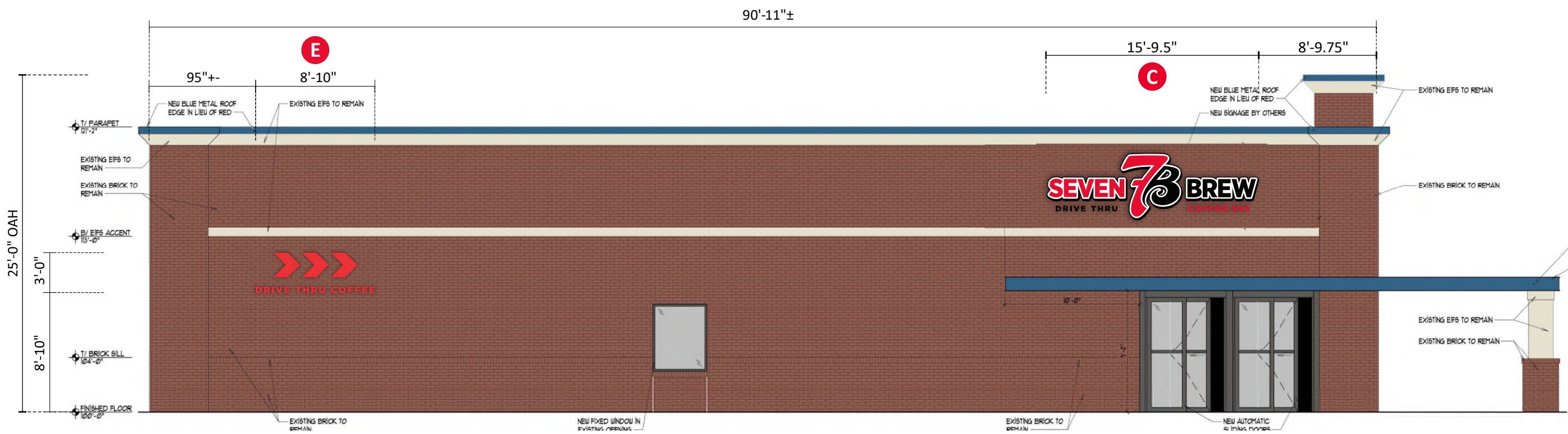


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EXTERIOR NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXTERIOR SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

Project ID
0432448Ar1

SEVEN BREW COFFEE
440 S WEBER ROAD
ROMEORVILLE, IL

Date: 12/1/25
Contact: WF/JR
Designer: JMC

Sign Item
ELEVATIONS

Scale: AS NOTED

Revision Note

R1 TS-1/30/26: All new elevations and custom sized signage & placement.

Information Required for Production

Customer Approval

Signature
MM/DD/YYYY

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PERIMETER COPY, ARROWS & "7B"
TO BE EMBOSSED ADD'L 1/4"

4" DEEP SINGLE FACED ALUMINUM SIGN CABINET
- RETURNS & BACKS PAINTED BLACK
INTERIOR PTD LIGHT ENHANCING WHITE

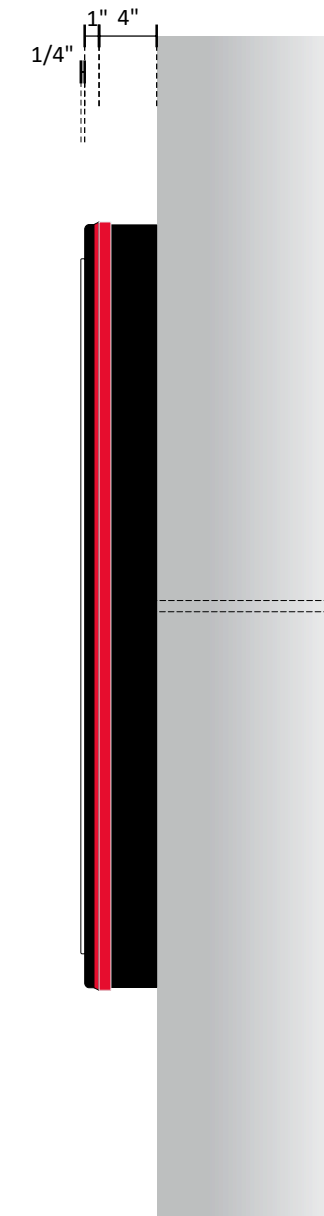
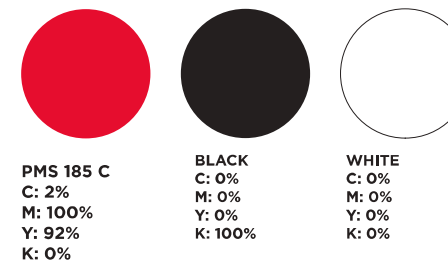
EMBOSSED FORMED FACE (SEE COLOR KEY)
- WHITE CIRCLE AREA TO BE DEBOSSSED AROUND "7B" LOGO & COPY
AS SHOWN IN PHOTO BELOW

INTERNALLY ILLUMINATED WITH WHITE LEDs
WHITE TETRA MAX 7100 LEDs - REMOTE POWER SUPPLIES
CUSTOMER TO PROVIDE POWER TO SIGN

FLUSH MOUNT MEDALLION IN FRONT FASCIA
BLOCKING TO BE PROVIDED BY GC PRIOR TO INSTALLATION

**FIELD SURVEY REQUIRED PRIOR
TO MANUFACTURE.**

BRAND COLORS



END VIEW

A G S/F ILLUMINATED SIGN
TWO [2] REQUIRED - MANUFACTURE & INSTALL

SCALE: 1/2" = 1'-0"

64.0 SQ. FT.



SIMULATED NIGHT VIEW

Project ID
0432448Ar1

SEVEN BREW COFFEE
440 S WEBER ROAD
ROMEIOVILLE, IL

Date: 12/1/25
Contact: WF/JR
Designer: JMC

Sign Item

SIGN A, G

Scale: AS NOTED

Revision Note

R1 TS-1/30/26: All new elevations
and custom sized signage &
placement.

**Information Required
for Production**

Customer Approval

Signature

MM/DD/YYYY

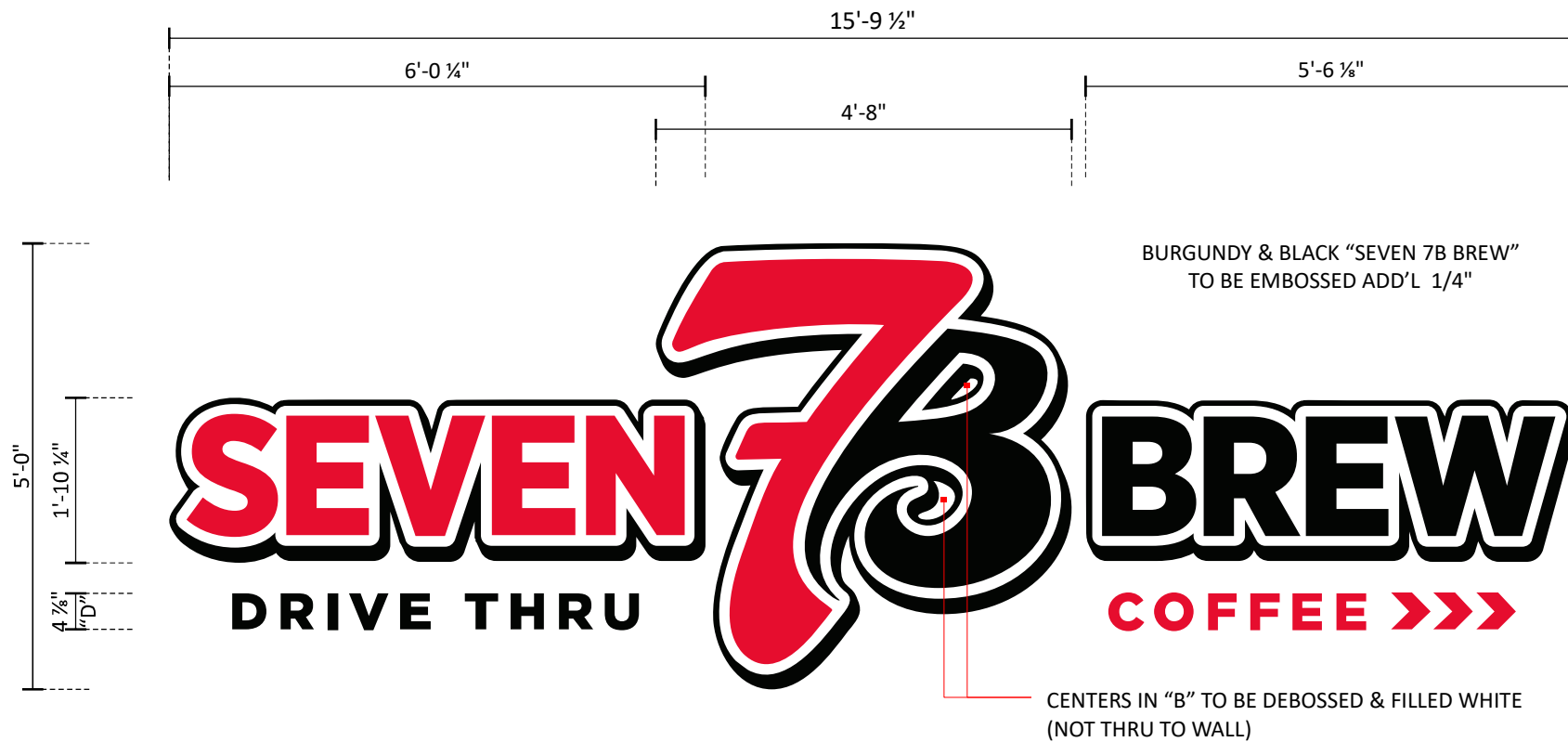
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signs being ordered. Notify Pattison ID
immediately if further details are required.

Pattison



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"SEVEN 7B BREW":

4" DEEP SINGLE FACED ALUMINUM SIGN
CABINETS - RETURNS PAINTED BLACK -
INTERIOR PAINTED LIGHT-ENHANCING WHITE

FORMED & EMBOSSED PAN POLYCARBONATE
FACES W/ TRANSLUCENT FILM GRAPHICS (SEE COLOR KEY) -
BLOCK OUT VINYL AS REQ'D
CENTERS IN "B" ON LOGO TO BE DEBOSSSED -
SEE EXAMPLE PHOTO BELOW

1/4" DIA. WEEP HOLES IN LOW POINTS OF
CABINETS w/ ALUMINUM LIGHT SCREENS @
EACH WEEP HOLE TO PREVENT LIGHT LEAKS

INTERNALLY ILLUMINATED w/ 7100k WHITE GE
TETRAMAX LED's - REMOTE POWER SUPPLIES -
CUSTOMER TO PROVIDE POWER TO SIGN

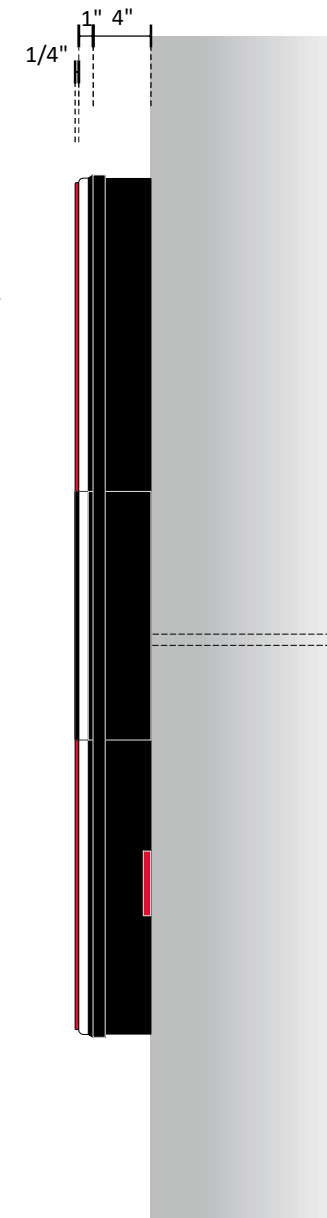
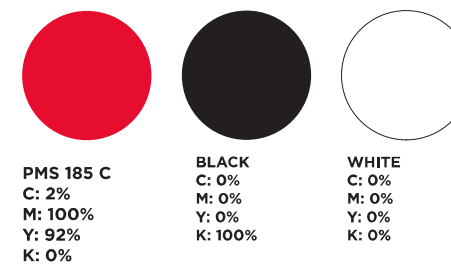
120 - 277 VAC 20A 2-POLE SWITCH w/ BELL
MX1050 COVER

TO BE FLUSH MOUNTED TO FASCIA w/ NON-
CORROSIVE HARDWARE AS REQ'D

"DRIVE THRU" & "COFFEE>>>":

1/2" DEEP ALUMINUM FLAT CUT-OUT LETTERS
(SEE COLOR KEY) - TO BE STUD-MOUNTED FLUSH
TO FASCIA

BRAND COLORS



END VIEW NTS

B C S/F ILLUMINATED SIGN

ONE [1] SET(S) REQUIRED - MANUFACTURE & STOCK:

SCALE: 1/2" = 1'-0"

78.96 Sq.Ft. EACH SET

5" DEEP ALUMINUM EMBOSSED-FACE, LED ILLUMINATED "SEVEN 7B BREW" WALL SIGN w/ RAISED VINYL GRAPHICS PER COLOR KEY -

1/2" DEEP FCO's TO READ "DRIVE THRU" & "COFFEE>>>" PAINTED PER COLOR KEY - BACKS DRILLED & TAPPED FOR STUD-MOUNTING



SIMULATED NIGHT VIEW

Project ID
0432448Ar1

SEVEN BREW COFFEE
440 S WEBER ROAD
ROMEOWILLE, IL

Date: 12/1/25
Contact: WF/JR
Designer: JMC

Sign Item

SIGN B, C

Scale: AS NOTED

Revision Note

R1 TS-1/30/26: All new elevations and custom sized signage & placement.

Information Required for Production

Customer Approval

Signature

MM/DD/YYYY

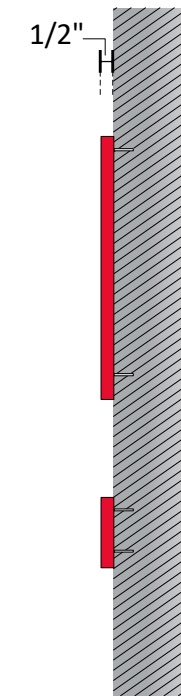
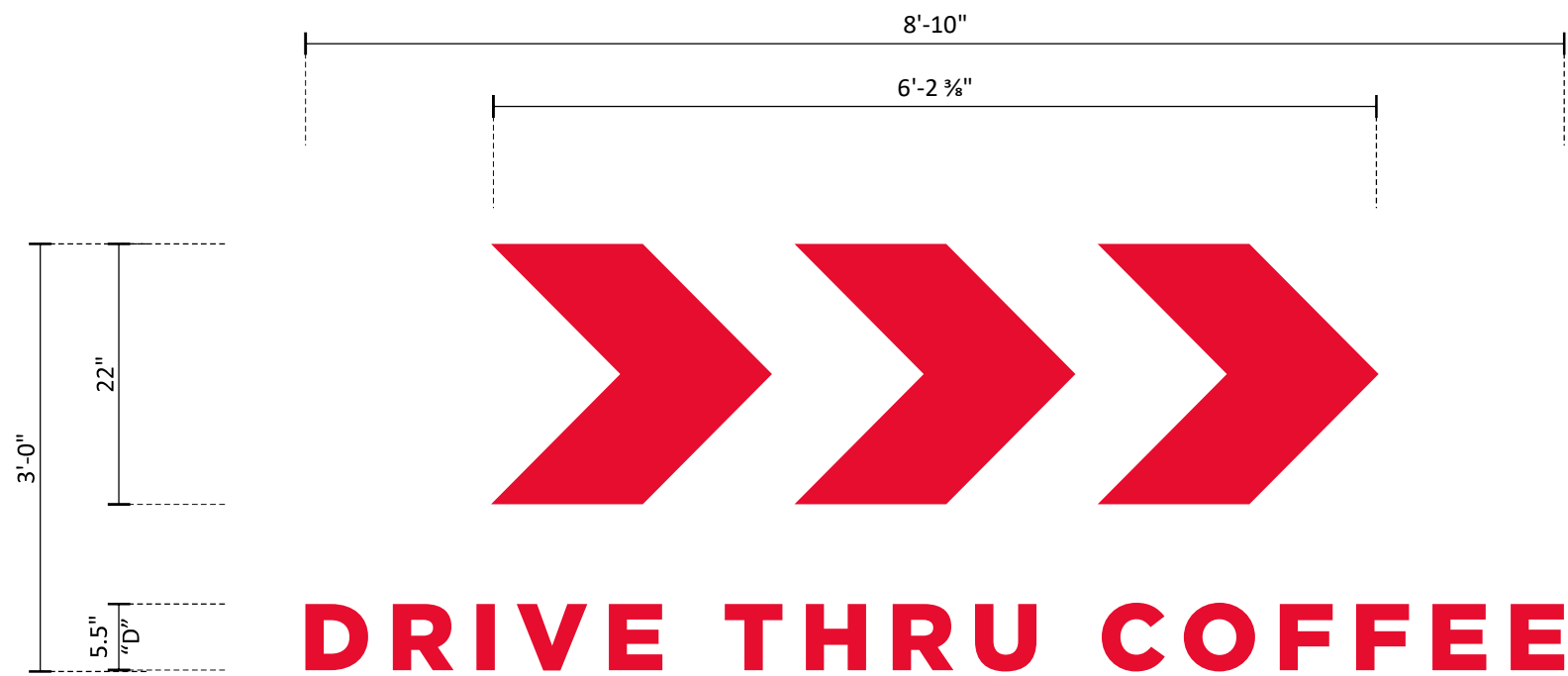
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It is the Customer's responsibility to ensure that the sign installation location is suitable to accept and support the installation of the signs being ordered. Notify Pattison ID immediately if further details are required.

Pattison



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SIDE VIEW N.T.S.

DE FLAT CUT-OUT SIGN SCALE: 3/4" = 1'-0"
 TWO [2] SET(S) REQUIRED - MANUFACTURE & STOCK:

1/2" DEEP FCO's TO READ "DRIVE THRU COFFEE>>>" -
 PAINTED TO MATCH PMS 185c RED --
 BACKS DRILLED & TAPPED FOR FLUSH STUD-MOUNTING -
 NON-ILLUMINATED

Project ID
0432448Ar1

SEVEN BREW COFFEE
 440 S WEBER ROAD
 ROMEOVILLE, IL

Date: 12/1/25
 Contact: WF/JR
 Designer: JMC

Sign Item
SIGN D, E

Scale: AS NOTED

Revision Note

R1 TS-1/30/26: All new elevations and custom sized signage & placement.

Information Required for Production

Customer Approval

Signature _____
 MM/DD/YYYY _____

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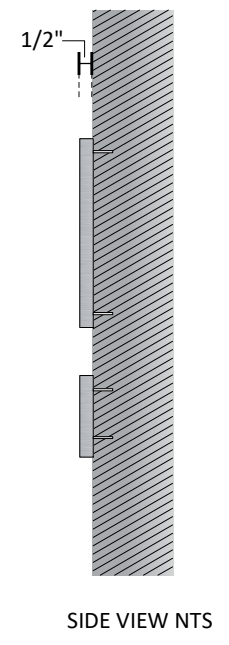
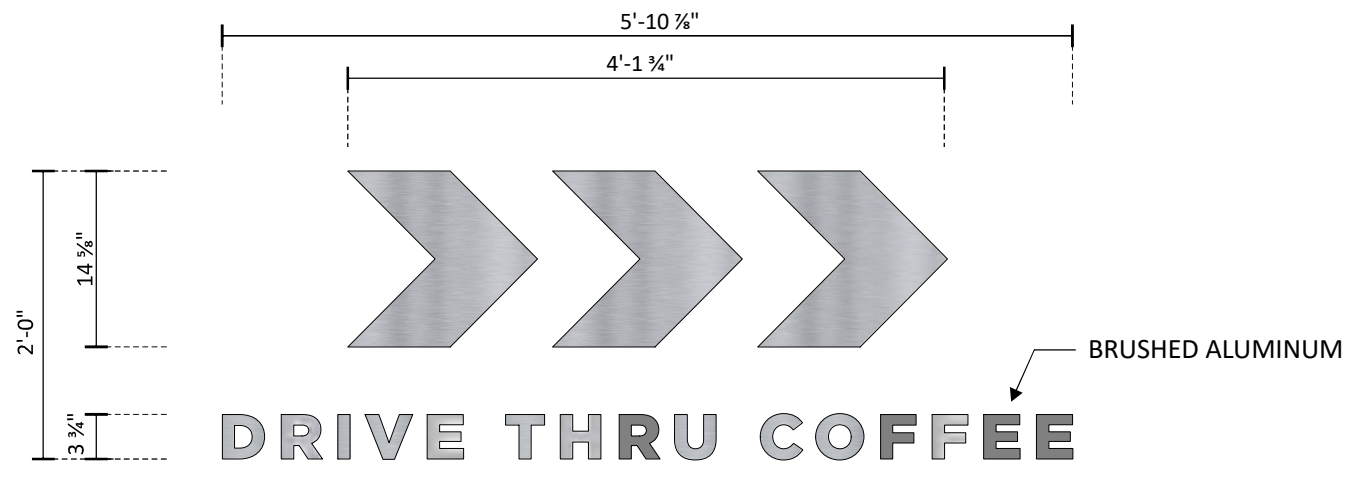
It is the Customer's responsibility to ensure that the sign installation location is suitable to accept and support the installation of the signs being ordered. Notify Pattison ID immediately if further details are required.

Signature _____

MM/DD/YYYY _____

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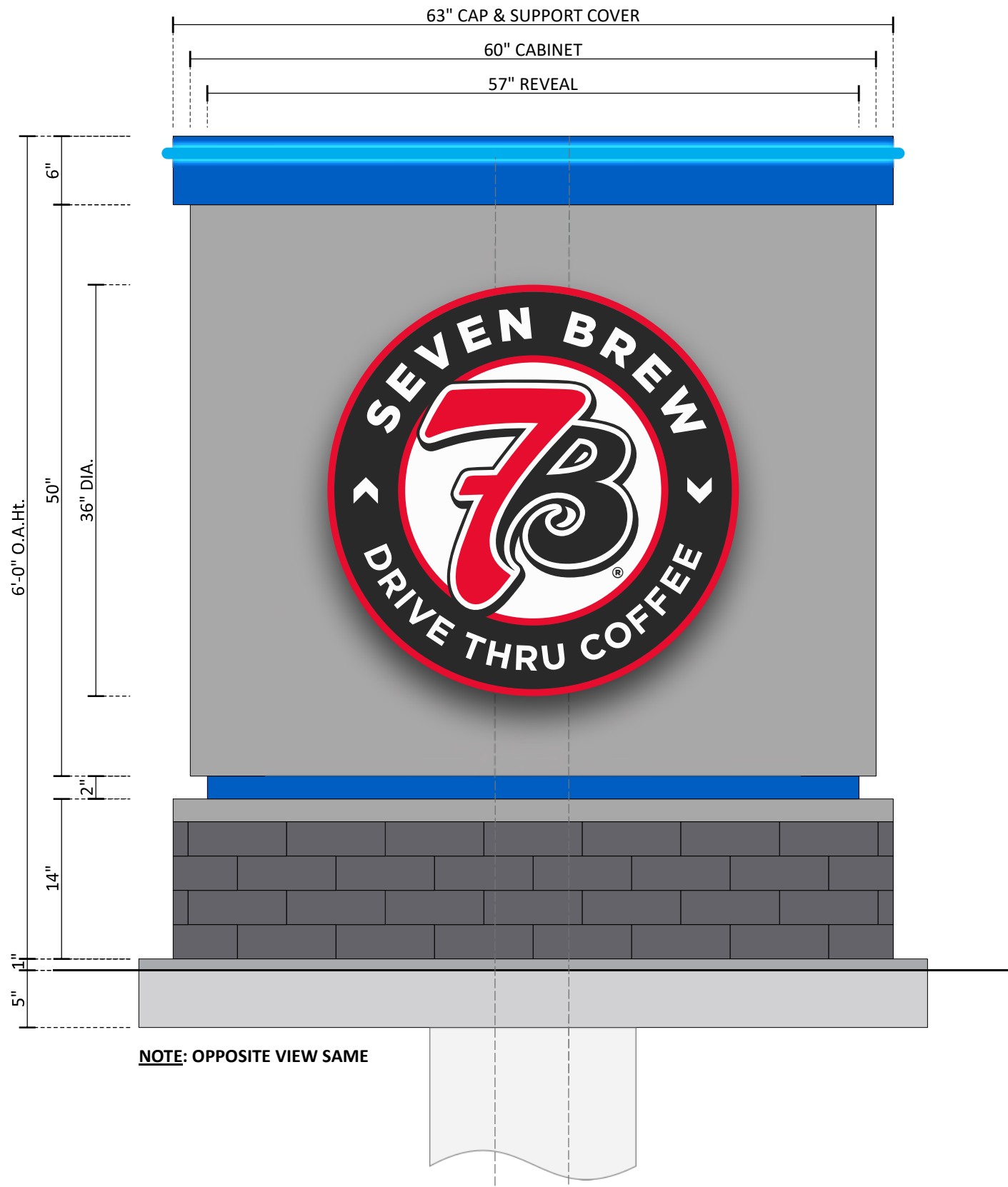
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F FLAT CUT OUT SIGN SCALE: 3/4" = 1'-0"

ONE [1] SET REQUIRED - MANUFACTURE & INSTALL
1/2" DEEP FCOS TO READ "DRIVE THRU COFFEE>>>" PIN MOUNT
FLUSH TO WALL - BRUSHED ALUMINUM, HORIZONTAL GRAIN
NON ILLUMINATED

**NOTE: EXACT SURVEY OF INSTALL AREA REQ'D PRIOR TO MANUFACTURE
EXACT PLACEMENT TO BE DETERMINED**



NOTE: OPPOSITE VIEW SAME

H D/F MONUMENT SIGN - 6'-0" O.A.Ht.
ONE [1] REQUIRED - MANUFACTURE & INSTALL

SCALE: 1" = 1'-0"

METAL COPING & REVEAL PAINTED BLUE - SEE COLOR KEY

BLUE TETRA CONTOUR GEN 2 SIDE BEND LED ACCENT LIGHTING MOUNTED TO TOPPER

FABRICATED ALUMINUM SIGN CABINET PAINTED TO MATCH PANTONE COOL GRAY 6 C

3" DEEP ILLUMINATED LOGO MEDALLION - FORMED & EMBOSSED FACE w/ LOGO TO MATCH COLOR KEY - INTERNALLY-ILLUMINATED w/ WHITE LED'S - WEEP HOLES AT LOW POINTS OF LETTERS - FLUSH-MOUNTED TO MONUMENT FACES



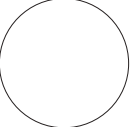

BRICK BASE w/ METAL CAP TO MATCH GC EXTERIOR BRICK FACADE **(BY INSTALLER)**

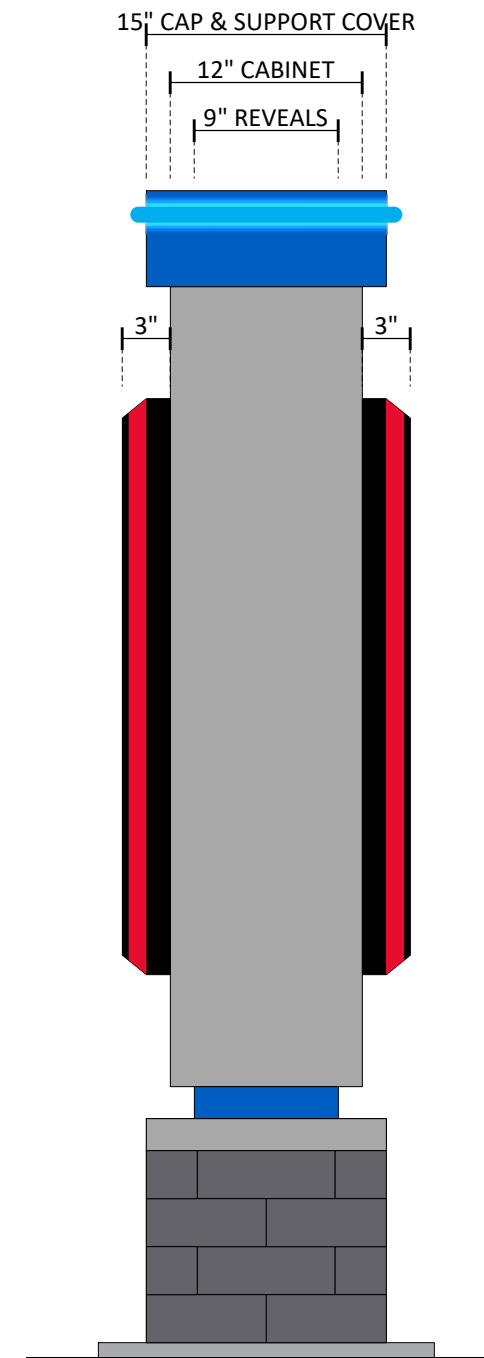
6" MOW PAD 1" ABOVE GRADE @ 3" PERIMETER

CONCRETE PIER-TYPE FOUNDATION w/ STEEL PIPE SUPPORTS AS REQUIRED PER ENGINEERING TO WITHSTAND NATIVE CONDITIONS & WIND LOAD, CODE ETC.

SUB-GRADE ELECTRICAL SERVICE REQUIRED BY GC /CUSTOMER'S ELECTRICIAN PRIOR TO INSTALLATION

BRAND COLORS

			
PMS 185 C C: 2% M: 100% Y: 92% K: 0%	BLACK C: 0% M: 0% Y: 0% K: 100%	WHITE C: 0% M: 0% Y: 0% K: 0%	PMS 2935 C C: 100% M: 68% Y: 4% K: 0%



NOTE: OPPOSITE VIEW SAME

END VIEW

Project ID
0432448Ar1

SEVEN BREW COFFEE
440 S WEBER ROAD
ROMEDEVILLE, IL

Date: 12/1/25
Contact: WF/JR
Designer: JMC

Sign Item

SIGN H

Scale: AS NOTED

Revision Note

R1 TS-1/30/26: All new elevations and custom sized signage & placement.

Information Required for Production

Customer Approval

Signature _____

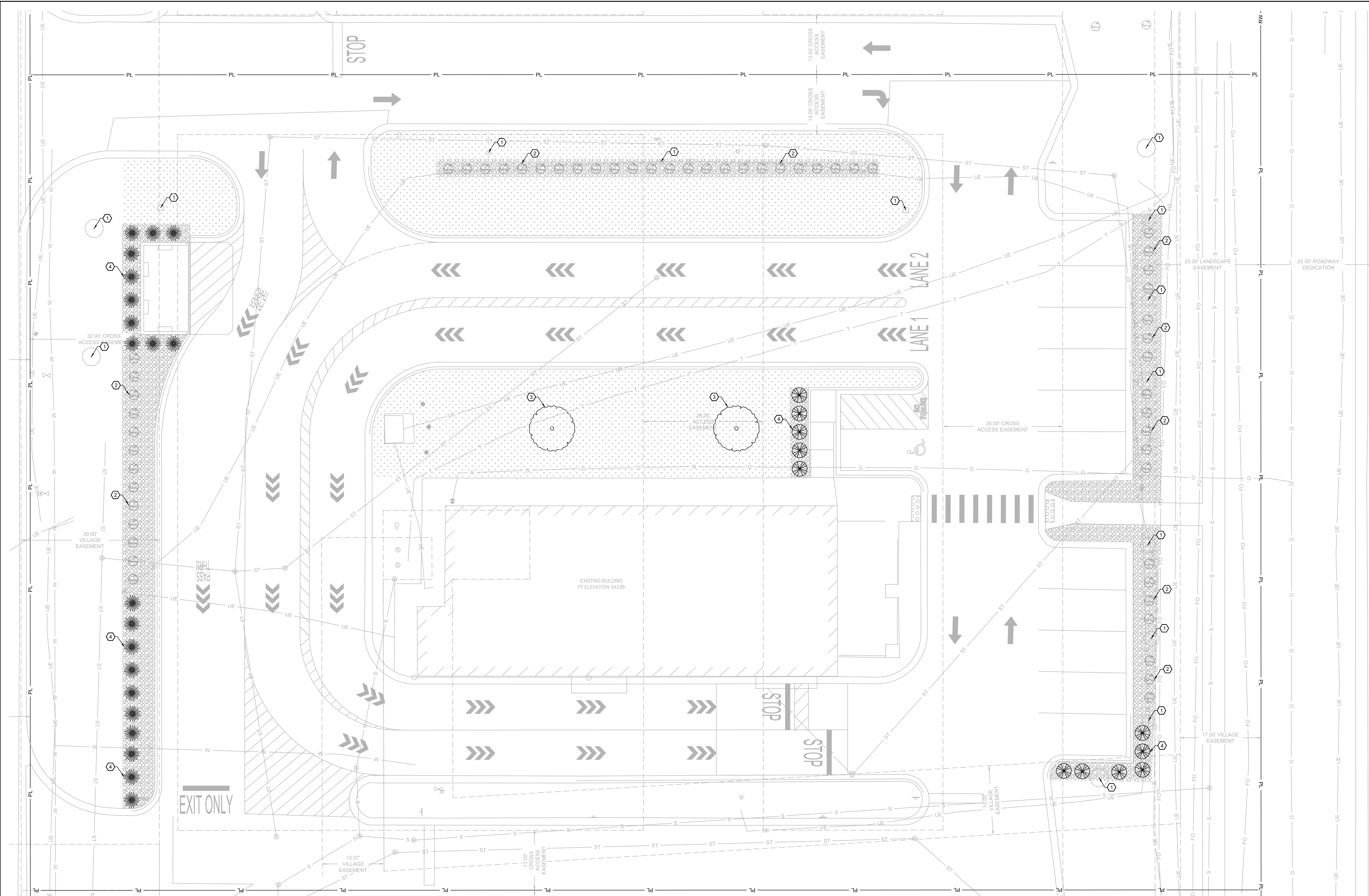
MM/DD/YYYY _____

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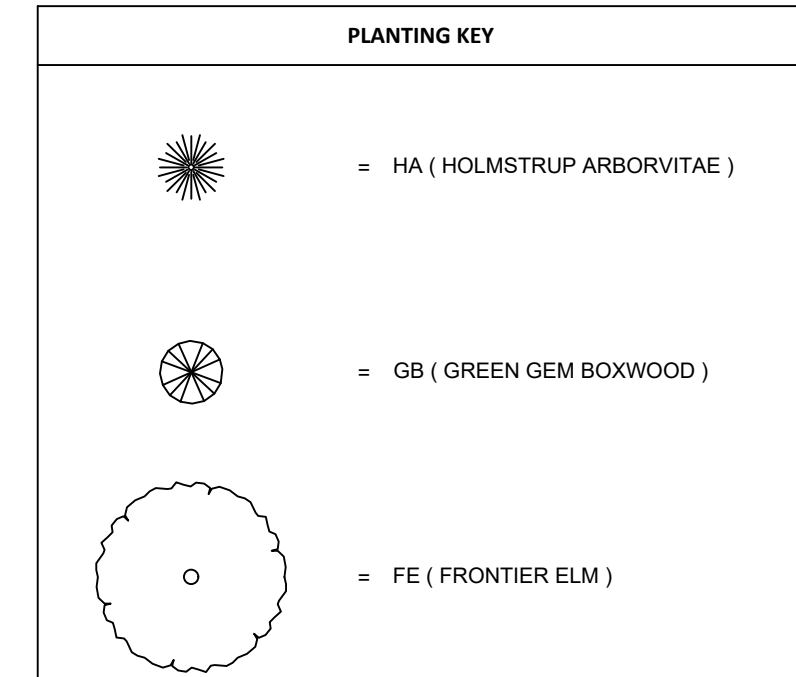


HATCH LEGEND:

- TURF GRASS SOD = 4,758 S.F.
INSTALL PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
- LANDSCAPE ROCK = 2,259 S.F.
PLACE 3" OF 1" - 2" RIVER ROCK OVER COMMERCIAL GRADE WEED FABRIC.

KEY NOTES:

- 1 EXISTING TREE.
- 2 EXISTING SHRUB.
- 3 TREES TO BE PLANTED ACCORDING TO TREE PLANTING DETAIL 5.01, SHEET C7.2.
- 4 SHRUBS TO BE PLANTED ACCORDING TO TREE PLANTING DETAIL 5.02, SHEET C7.2.



PLANTING LIST

TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY REQUIRED	QUANTITY PROVIDED	CONDITION AND SIZE	APPROXIMATE MATURE SIZE
TREES					
		2			
FE	FRONTIER ELM (ULMUS 'FRONTIER')		2	2.5" CAL. B&B	25'X30'
SHRUBS					
		31			
HA	HOLMSTRUP ARBORVITAE (THUJA O. HOLMSTRUP)		20	36" MIN.	6'X3'
GB	GREEN GEM BOXWOOD (BUXUS 'GREEN GEM')		11	18" MIN.	3'X3'

PARKING LOT PERIMETER LANDSCAPING:

ADDITIONAL SHRUBS HAVE BEEN PROVIDED AROUND THE ADDITIONAL PARKING SPACE IN THE SOUTHEAST CORNER AND ORNAMENTAL GRASS FOR THE ADA STALL IN THE BUILDING ISLAND.

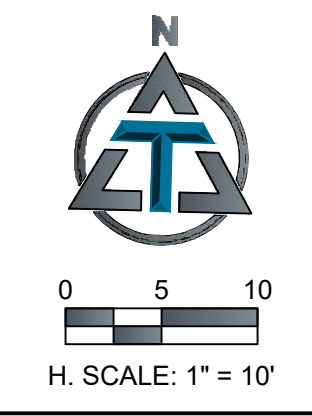
REFUSE SCREENING LANDSCAPE:

EVERGREEN SHRUBS HAVE BEEN PLACED AROUND THE TRASH ENCLOSURES FOR SCREENING REQUIREMENTS.

REPLACEMENT LANDSCAPING:

TWO TREES HAVE BEEN ADDED TO THE BUILDING ISLAND TO REPLACE THE TREES REMOVED.

FIVE SHRUBS HAVE BEEN ADDED AROUND THE NEW ADA PARKING STALL TO REPLACE THE SHRUBS REMOVED.



7 BREW COFFEE
ROMEOVILLE, IL 01
 440 S WEBER RD
 ROMEOVILLE, IL 60446



FIRM LICENSE NO. 63620661
PRELIMINARY FOR REVIEW AND DISCUSSION ONLY
 ENGINEER OF RECORD:
 NAME: MATTHEW STEVEN MILLER
 LICENSE NO. IL #PE 062 065164

PROJECT NUMBER: 104.100
 REVISION:

C5.1
 LANDSCAPE PLAN
 DATE: FEBRUARY 27, 2026

S. WEBER ROAD (HIGHWAY 88)
 HERETOFORE DEDICATED
 PUBLIC RIGHT-OF-WAY